

SITE PLAN & SPECIAL PERMIT APPLICATION - PLANNING & ZONING COMMISSION

WETLANDS PERMIT APPLICATION - INLAND WETLANDS & WATERCOURSES COMMISSION

FOR PROPOSED 15,349 sq. ft. COMMERCIAL USE BUILDING

FOR PROPERTY LOCATED AT
PROPERTY ID: 100880
#529 COTTAGE GROVE ROAD
BLOOMFIELD, CONNECTICUT

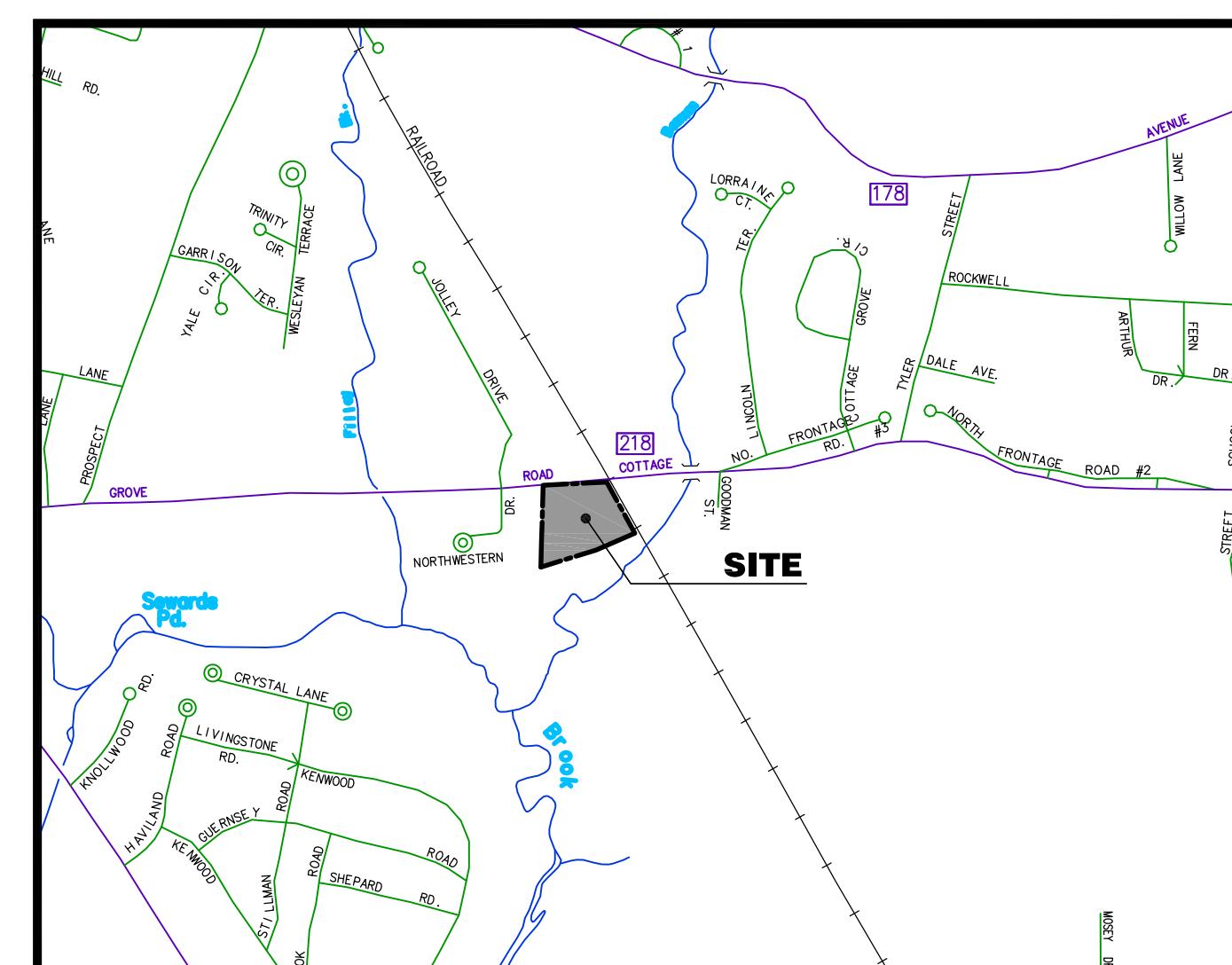
OWNER:

UNIVERSITY OF HARTFORD
200 BLOOMFIELD AVENUE
WEST HARTFORD, CT 06117

APPLICANT & DEVELOPER

ESTERO HOLDING COMPANY, LLC
ATTN.: MARK D'ADDABBO
P.O. BOX #36
NEWPORT, RI 02840
PHONE NUMBER: 860-729-6812

DATE: MAR. 09, 2025
REVISED MAY 02, 2025



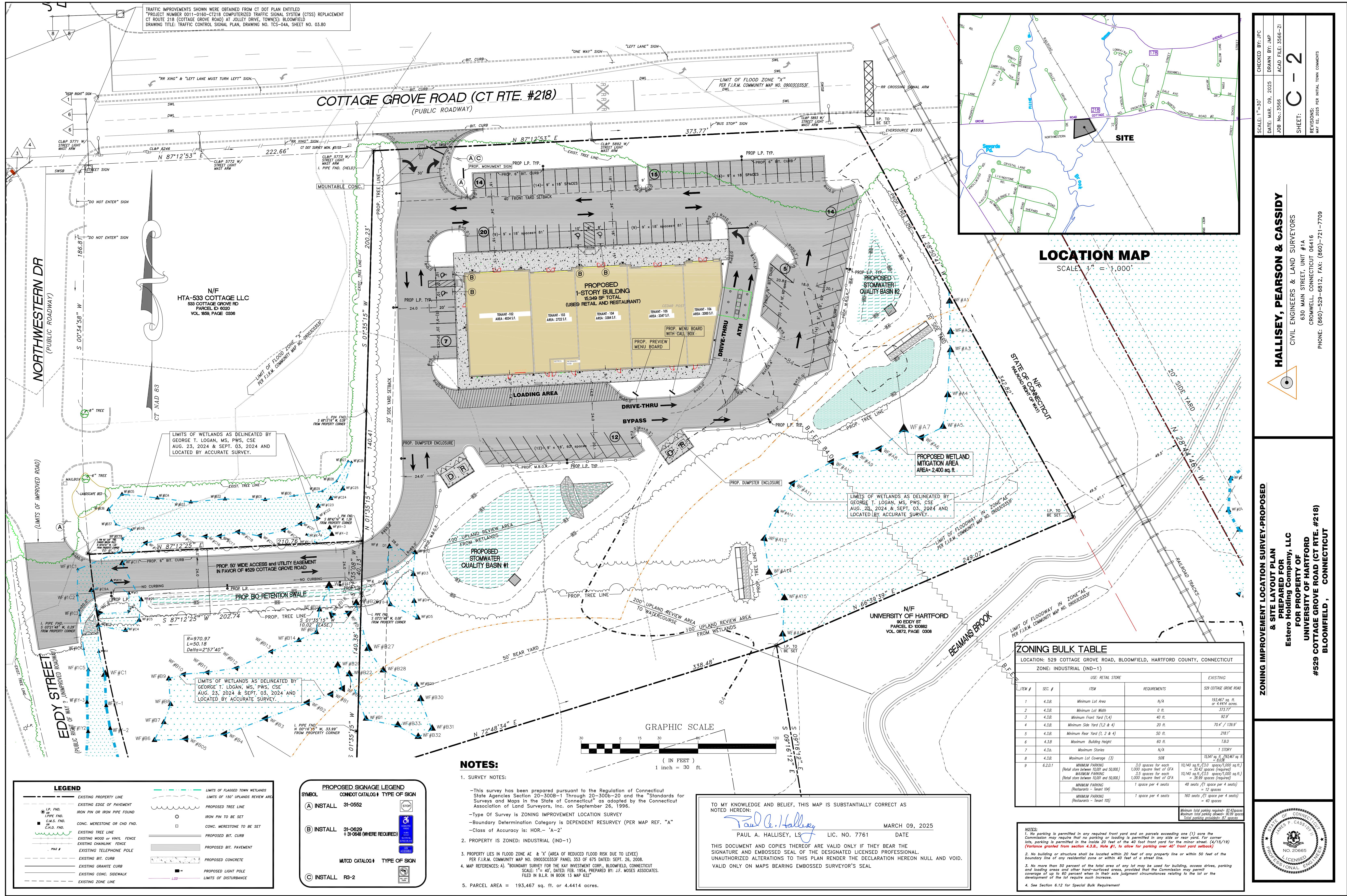
LOCATION MAP

SCALE: 1" = 1,000'

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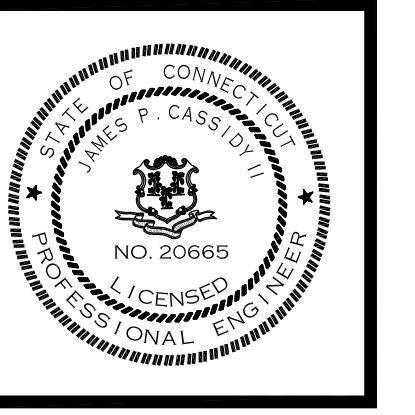
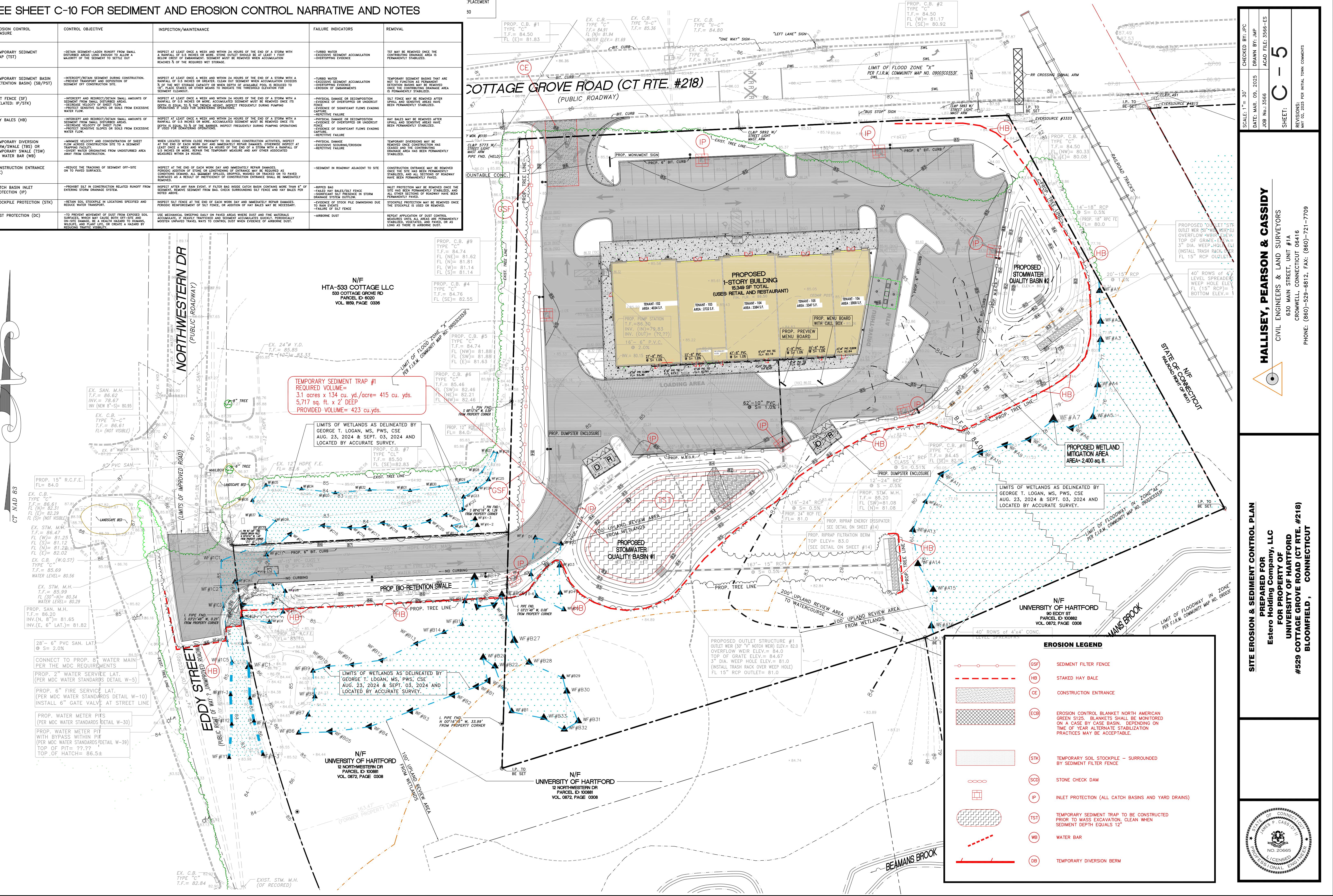
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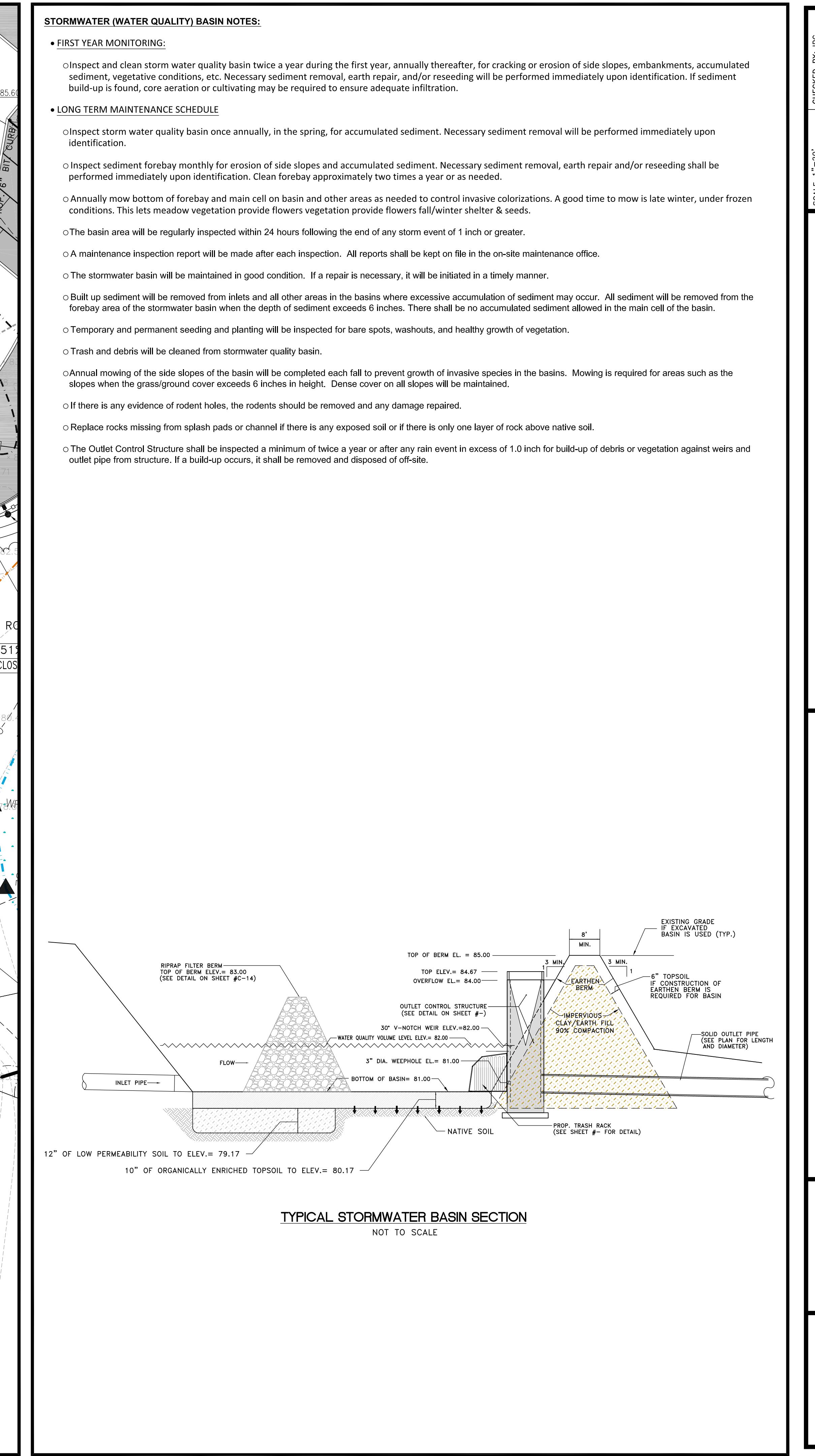
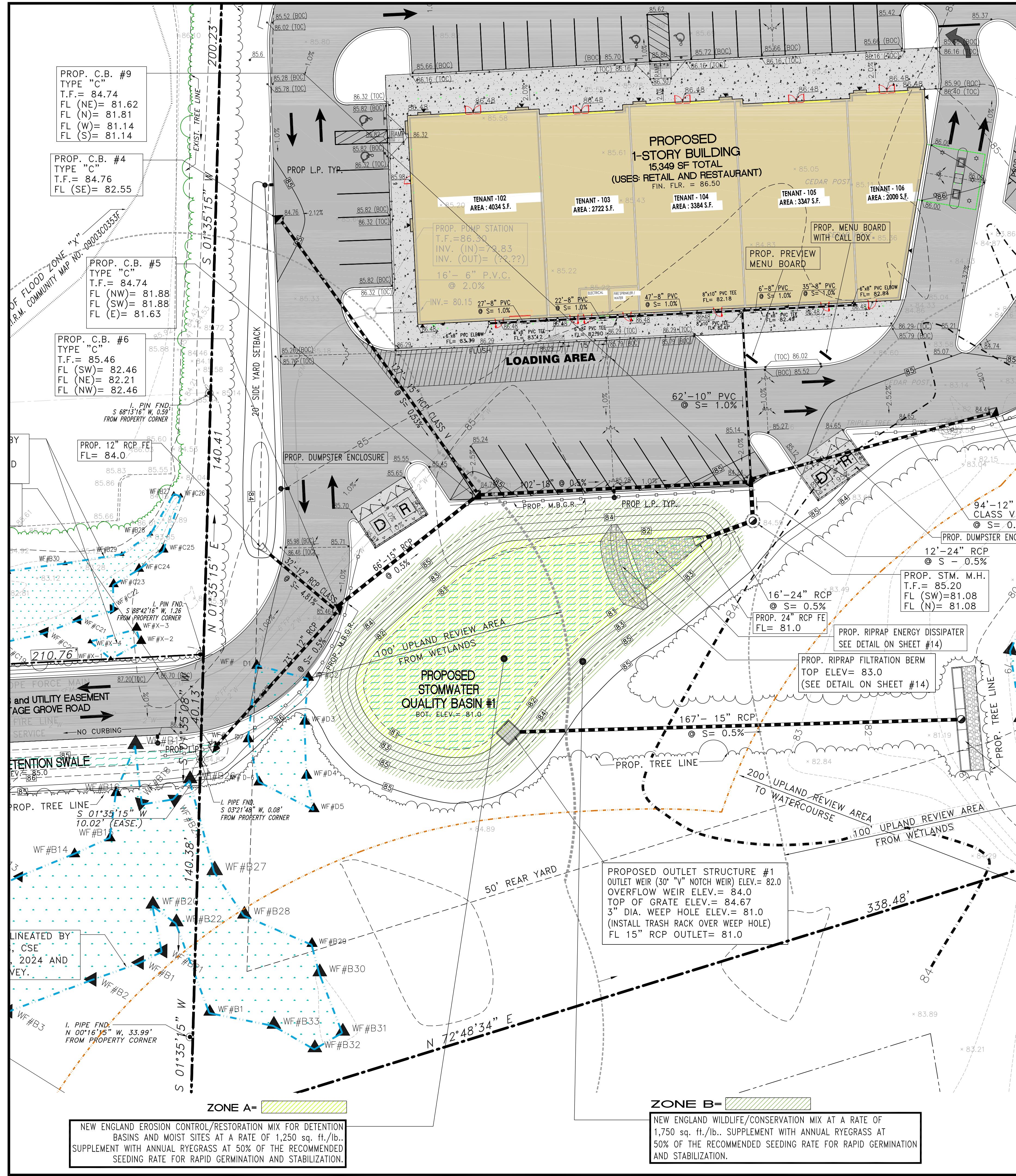
1	05/02/25	PER TOWN INITIAL COMMENT	J.P.C.
NO.	DATE	DESCRIPTION	BY



SEE SHEET C-10 FOR SEDIMENT AND EROSION CONTROL NARRATIVE AND NOTES

EROSION CONTROL MEASURE	CONTROL OBJECTIVE	INSPECTION/MAINTENANCE	FAILURE INDICATORS	REMOVAL
TEMPORARY SEDIMENT TRAP (TST)	-DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS LONG ENOUGH TO ALLOW A MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR MORE. STONE OUTLET SHOULD BE AT LEAST 1 FOOT BELOW CREST OF EMBANKMENT. SEDIMENT MUST BE REMOVED WHEN ACCUMULATION REACHES $\frac{1}{2}$ OF THE REQUIRED WET STORAGE.	-TURBID WATER -EXCESSIVE SEDIMENT ACCUMULATION -OVERTOPPING EVIDENCE	TST MAY BE REMOVED ONCE THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED.
TEMPORARY SEDIMENT BASIN (DETENTION BASIN) (SB/PST)	-INTERCEPT/RETAIN SEDIMENT DURING CONSTRUCTION. -PREVENT TRANSPORT AND DEPOSITION OF SEDIMENT OFF CONSTRUCTION SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS $\frac{1}{2}$ OF THE WET STORAGE CAPACITY OR WHEN DEPTH OF AVAILABLE POOL IS REDUCED TO 18". PLACE STAKES OR OTHER MEANS TO INDICATE THE THRESHOLD ELEVATION FOR SEDIMENT CLEANOUT.	-TURBID WATER -EXCESSIVE SEDIMENT ACCUMULATION -OVERTOPPING EVIDENCE -EROSION OF EMBANKMENTS	TEMPORARY SEDIMENT BASINS THAT ARE NOT TO FUNCTION AS PERMANENT DETENTION BASINS MAY BE REMOVED ONCE THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED.
SILT FENCE (SF) (RELATED: IP/STK)	-INTERCEPT AND REDIRECT/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -DECREASE VELOCITY OF SHEET FLOW. -PROTECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR MORE. ACCUMULATED SEDIMENT MUST BE REMOVED ONCE ITS DEPTH IS EQUAL TO $\frac{1}{2}$ OF THE TRENCH HEIGHT. INSPECT FREQUENTLY DURING PUMPING OPERATIONS IF USED FOR DEWATERING OPERATIONS.	-PHYSICAL DAMAGE OR DECOMPOSITION -EVIDENCE OF OVERTOPPED OR UNDERCUT FENCE -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPTURE. -REPETITIVE FAILURE	SILT FENCE MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED.
HAY BALES (HB)	-INTERCEPT AND REDIRECT/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -DECREASE VELOCITY OF SHEET FLOW. -PROTECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR MORE. ACCUMULATED SEDIMENT MUST BE REMOVED ONCE ITS DEPTH IS EQUAL TO $\frac{1}{2}$ OF THE BARRIER. INSPECT FREQUENTLY DURING PUMPING OPERATIONS IF USED FOR DEWATERING OPERATIONS.	-PHYSICAL DAMAGE OR DECOMPOSITION -EVIDENCE OF OVERTOPPED OR UNDERCUT FENCE -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPTURE. -REPETITIVE FAILURE	HAY BALES MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED.
TEMPORARY DIVERSION BERM/SWALE (TBS) OR TEMPORARY SWALE (TSW) OR WATER BAR (WB)	-MINIMIZE VELOCITY AND CONCENTRATION OF SHEET FLOW ACROSS CONSTRUCTION SITE TO A SEDIMENT TRAPPING FACILITY. -DIVERT WATER ORIGINATING FROM UNDISTURBED AREA AWAY FROM CONSTRUCTION.	WHEN LOCATED WITHIN CLOSE PROXIMITY TO ON GOING CONSTRUCTION ACTIVITIES, INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. OTHERWISE INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR MORE. REPAIR THE TEMPORARY MEASURE AND ANY OTHER ASSOCIATED MEASURES WITHIN 24 HOURS.	-PHYSICAL DAMAGE -EXCESSIVE SCOURING/EROSION -REPETITIVE FAILURE	TEMPORARY DIVERSIONS MAY BE REMOVED ONCE CONSTRUCTION HAS CEASED AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
CONSTRUCTION ENTRANCE (CE)	-REDUCE THE TRACKING OF SEDIMENT OFF-SITE ON TO PAVED SURFACES.	INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC ADDITION OF STONE OR LENGTHENING OF ENTRANCE MAY BE REQUIRED AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON TO PAVED SURFACES AS A RESULT OF INEFFICIENCY OF CONSTRUCTION ENTRANCE SHALL BE IMMEDIATELY REMOVED.	-SEDIMENT IN ROADWAY ADJACENT TO SITE	CONSTRUCTION ENTRANCE MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED.
CATCH BASIN INLET PROTECTION (IP)	-PROHIBIT SILT IN CONSTRUCTION RELATED RUNOFF FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AFTER ANY RAIN EVENT. IF FILTER BAG INSIDE CATCH BASIN CONTAINS MORE THAN 6" OF SEDIMENT, REMOVE SEDIMENT FROM BAG. CHECK SURROUNDING SILT FENCE AND HAY BALES PER NOTED ABOVE.	-RIPPED BAG -FAILED HAY BALES/SILT FENCE -SIGNIFICANT SILT PRESENCE IN STORM DRAINAGE SYSTEM OUTFLOW.	INLET PROTECTION MAY BE REMOVED ONCE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL OTHER SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED.
STOCKPILE PROTECTION (STK)	-RETAIN SOIL STOCKPILE IN LOCATIONS SPECIFIED AND REDUCE WATER TRANSPORT.	INSPECT SILT FENCE AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC REINFORCEMENT OF SILT FENCE, OR ADDITION OF HAY BALES MAY BE NECESSARY.	-EVIDENCE OF STOCK PILE DIMINISHING DUE TO RAIN EVENTS -FAILURE OF SILT FENCE	STOCKPILE PROTECTION MAY BE REMOVED THE STOCKPILE IS USED OR REMOVED.
DUST PROTECTION (DC)	-TO PREVENT MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, WHICH MAY CAUSE BOTH OFF-SITE AND ON-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR CREATE A HAZARD BY REDUCING TRAFFIC VISIBILITY.	USE MECHANICAL SWEEPING DAILY ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE, IF HEAVILY TRAFFICKED AND SEDIMENT ACCUMULATES QUICKLY. PERIODICALLY MOISTEN UNPAVED TRAVEL WAYS TO CONTROL DUST WHEN EVIDENCE OF AIRBORNE DUST.	-AIRBORNE DUST	REPEAT APPLICATION OF DUST CONTROL MEASURES UNTIL ALL AREAS ARE PERMANENTLY STABILIZED, VEGETATED, AND PAVED, OR AS LONG AS THERE IS AIRBORNE DUST.



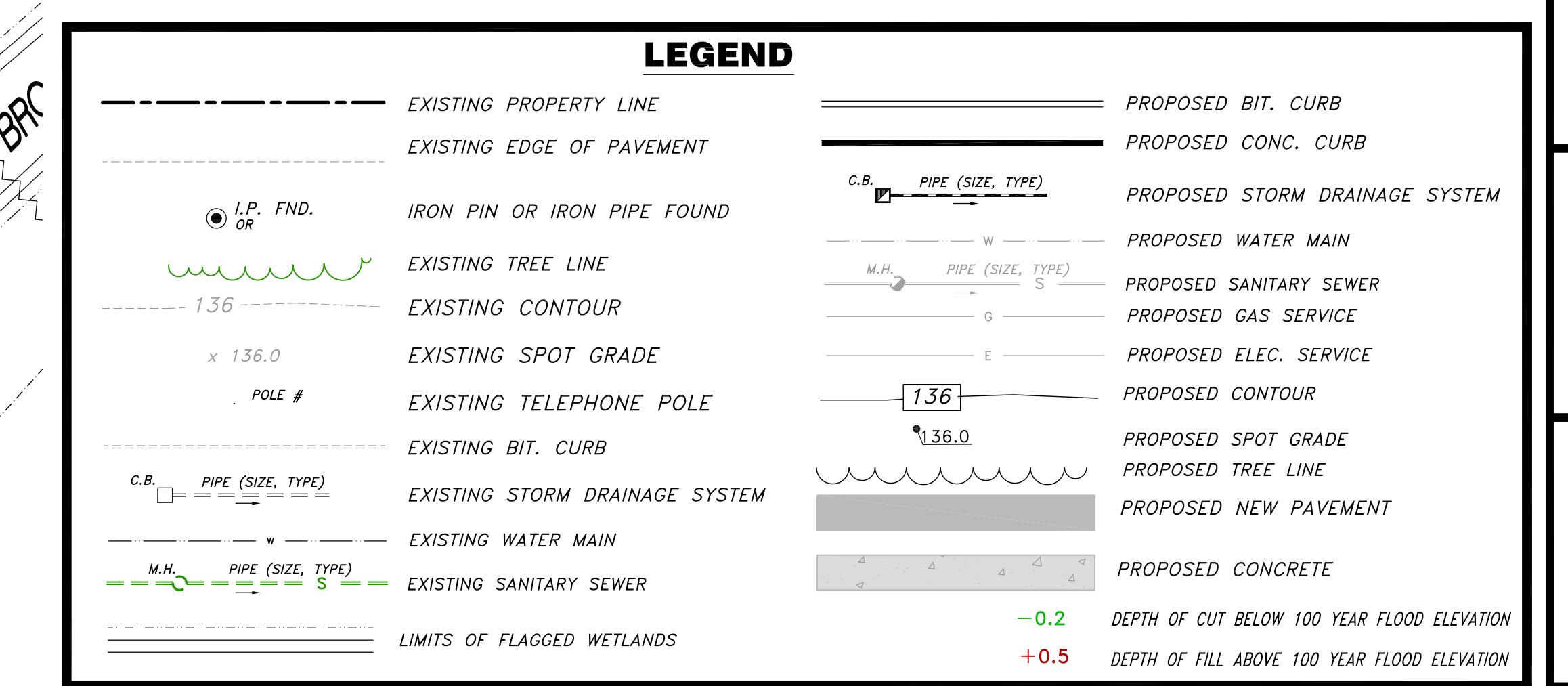
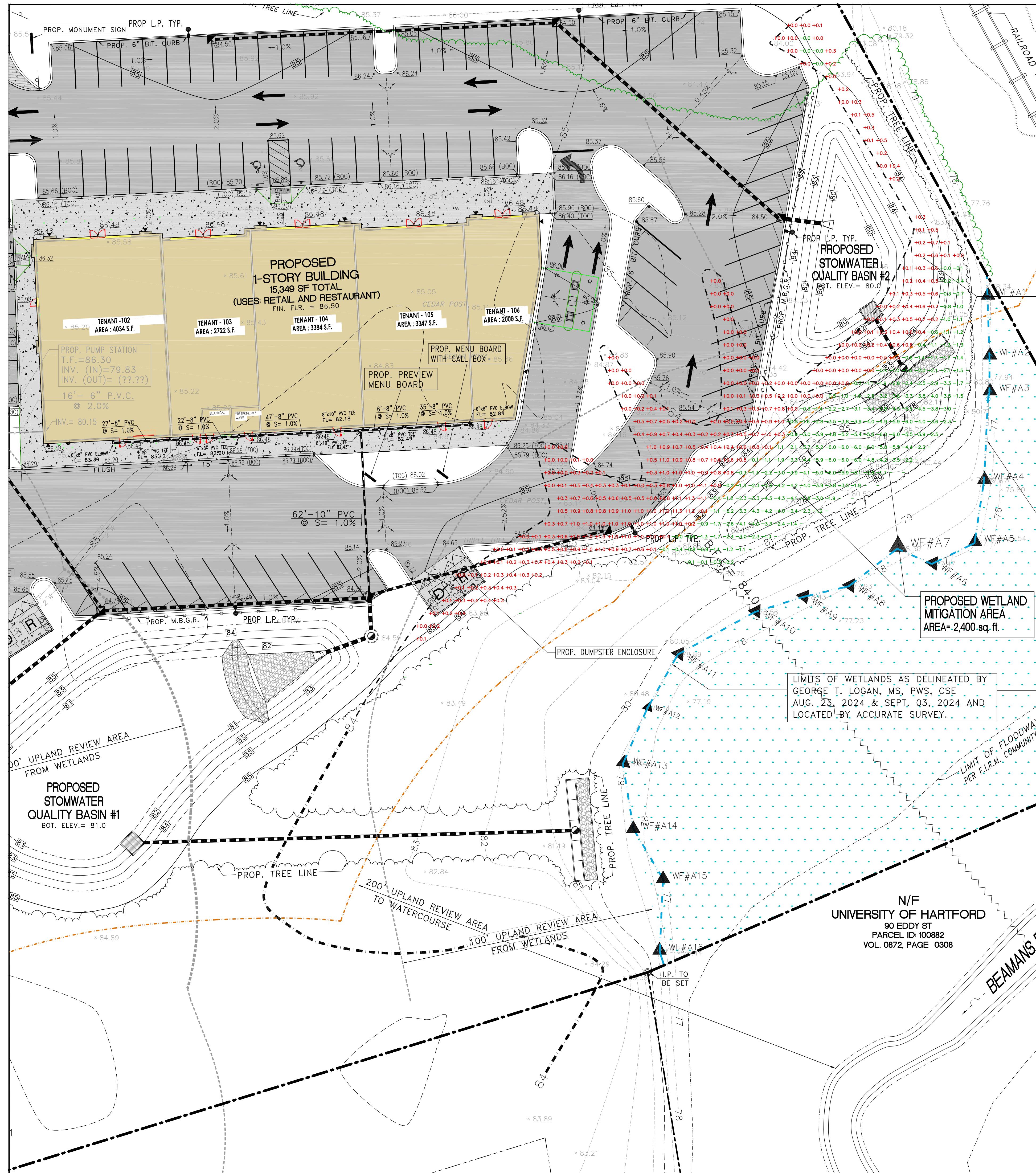


SCALE: 1"=20'	CHECKED BY: JPC
DATE: MAR. 09. 2025	DRAWN BY: JMF
JOB No.: 3566-SWB	ACAD FILE: 3566-SWB
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REVISIONS: MAY 02, 2025 FOR INITIAL TOWN COMMENTS	
SHEET:	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06116
PHONE: (860)-529-6812, FAX: (860)-721-7709

STORMWATER QUALITY BASIN #1 DETAIL
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY STREET OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT

NO. 20665
LICENCED PROFESSIONAL ENGINEER



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
CROMWELL, CONNECTICUT 06416
PHONE: (860)-549-6812, FAX: (860)-721-7709

FLOOD PLAIN MITIGATION PLAN
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT

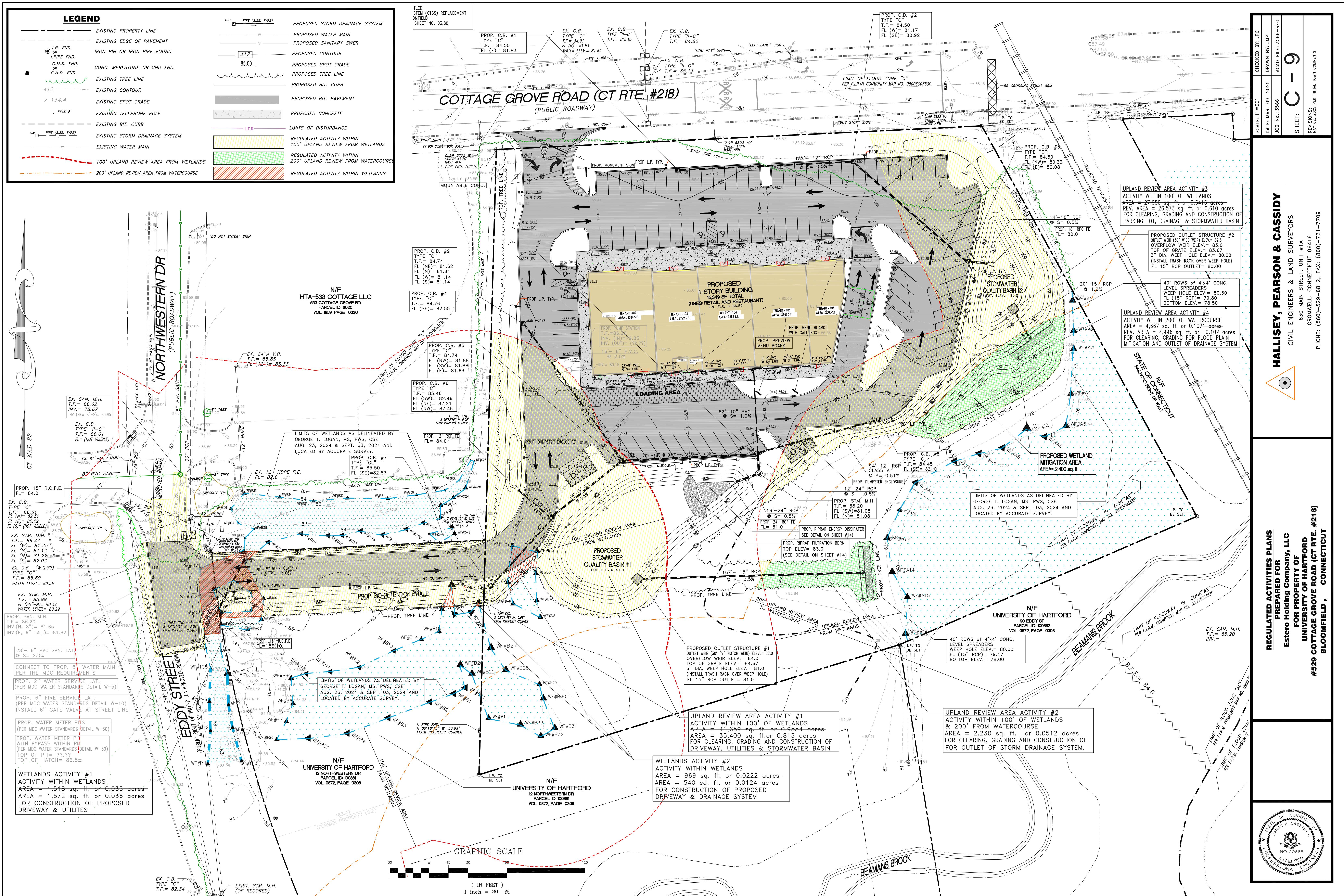
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ACAD FILE: 3566-FLOOD
REVISIONS: MAY 02, 2025 FOR INITIAL TOWN COMMENTS

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CT NAD 83

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

NO. 20665
LICENCED PROFESSIONAL ENGINEER
JAMES P. CASTRO, II
CIVIL ENGINEER
CROMWELL, CONNECTICUT



EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE
THE AUTHORIZED STARTING DATE FOR CONSTRUCTION IS JUNE 2025 WITH COMPLETION ANTICIPATED DECEMBER 2025. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

1. CONTACT TOWN OF BLOOMFIELD AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT. A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION.
2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALES SEDIMENT BARRIERS.
3. CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
4. CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
5. INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND SEDIMENT TRAPS.
6. CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
7. CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
8. ROUGH GRADING.
9. INSTALLATION OF STORM DRAINAGE.
10. FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
11. REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
12. INSTALL SANITARY LATERAL, WATER SERVICE AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
13. INSTALL SITE LIGHTING, LOADING DOCK AND TRASH ENCLOSURE.
14. FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
15. CONSTRUCT SIDEWALKS.
16. PAVING OF PARKING AREAS AND DRIVEWAYS
17. FINAL GRADING OF SLOPE AREAS.
18. PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 11 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
19. CONSTRUCT STORM WATER QUALITY BASIN AND FINAL OUTLET.
20. LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
21. UPON DIRECTION OF THE TOWN OF BLOOMFIELD AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.

2. FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.

3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.

3. AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

1. STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNSHILL SIDES OF BUILDING EXCAVATIONS, Dewatering PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

OPERATION V – FINAL GRADING AND PAVING

1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.

2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

3. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.

4. CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.

5. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION & SEDIMENTATION CONTROL MEASURES

PHASE 1

1. ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
2. STRIP TOPSOIL AND STOCKPILE.
3. PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
4. STABILIZE STOCK PILE.

PHASE 2

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

PHASE 3

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

PHASE 4

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

PHASE 5

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

PHASE 6

1. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.

PHASE 7

1. MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.

2. PERFORM FINAL INSPECTION.

3. REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

I. SILTATION FENCE

- A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.

- B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.

- C. LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.

- D. BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

A. SILTATION FENCE

- A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.

- B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

II. SEDIMENT TRAPS/BASINS

- A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.

- B. ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.

- C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.

- D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

EROSION AND SEDIMENT CONTROL PLAN

1. SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.

2. CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.

4. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.

5. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.

6. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.

7. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
8. Esterro Holding Company, LLC IS THE PERMITTE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE BLOOMFIELD ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

1. STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNSHILL SIDES OF BUILDING EXCAVATIONS, Dewatering PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

2. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.

3. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

4. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.

5. CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.

6. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

OPERATION V – FINAL GRADING AND PAVING

1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.

2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.

3. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.

4. CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.

5. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

EROSION AND SEDIMENT CONTROL PLAN, SEDIMENT AND EROSION CONTROL NOTES

1. THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THE SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.

2. ESTERO HOLDING COMPANY LLC IS THE PERMITTE RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, INFORMING THE GOVERNING AGENCY OR GOVERNING WETLANDS AGENCY, AND TRANSFERRING THE RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

3. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SEDIMENTATION AND EROSION CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.

4. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAIN A CT DEEP GENERAL PERMIT FOR THE DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE PERMIT WILL REQUIRE SPECIFIC EROSION CONTROL INSPECTIONS.

ROUTINE INSPECTIONS
The permittee shall routinely inspect the site for compliance with the general permit and the Plan for the site until a Notice of Termination has been submitted. Inspection procedures for these routine inspections shall be addressed and implemented in the following manner:

(i) The permittee shall maintain a rain gauge on-site to document rainfall amounts. At least once a week and within 24 hours of the end of a storm that generates a discharge, a qualified inspector (provided by the permittee), as defined in the "Definitions" section (Section 2) of the general permit, shall inspect, at a minimum, the following: disturbed areas of the construction activity that have not been finally stabilized; all erosion and sedimentation control measures, structural components; soil stabilizing practices; open and protected areas where vehicles enter or exit the site. These areas shall be inspected for evidence of, or the potential for, pollution entering the drainage system and impacts to the receiving waters. Locations where vehicles enter or exit the site shall also be inspected for evidence of off-site sediment tracking. For storms that end on a weekend, holiday or other time after which normal working hours will not commence within 24 hours, an inspection is required within 24 hours only for storms that equal or exceed 0.5 inches. For storms of less than 0.5 inches, an inspection shall occur immediately upon the start of the subsequent normal working hours. Where sites have been temporarily or finally stabilized, such inspection shall be conducted at least once every month for three months.

(ii) The qualified inspector(s) shall evaluate the effectiveness of erosion and sediment controls, structural controls, stabilization practices, and any other controls implemented to prevent pollution and

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF BLOOMFIELD, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL STATE AND LOCAL REGULATIONS.

2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.

4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.

5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.

6. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.

7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THE AREA.

8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.

10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCE, TRAFFIC CONTROLLER AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.

11. REFER TO DETAIL SHEETS FOR PAVING, CURBING, AND SIDEWALK INFORMATION.

12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.

13. THE CONTRACTOR SHALL ADOBE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.

14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.

15. PAVEMENT MARKING KEY:

4" SYL	4" SOLID YELLOW DOUBLE LINE
4" SYL	4" SOLID YELLOW LINE
4" SWL	4" SOLID WHITE LINE
12" SWB	12" SOLID WHITE STOP BAR
4" BWL	4" BROKEN WHITE LINE 10' STRIPE 30' SPACE

16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4' SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.

17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.

18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.

19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.

20. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.

21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.

22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT 1-800-922-4455 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.

23. PAVEMENT MARKINGS SHALL BE HOT APPLIE TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.

24. TOWN OF BLOOMFIELD STREET EXCAVATION PERMIT SHALL BE OBTAINED BY CONTRACTOR.

25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.

26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

27. THESE PLANS ARE FOR PERMITTING.

28. THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER SYSTEM.

29. PROPERTY SHOWN ON F.I.R.M. NO. 0900470004B, DATED: JUNE 15, 1982, NO DIGITAL DATA AVAILABLE.

30. THE PORTION OF THIS PROPERTY THAT IS BEING DEVELOPED IS IN A FLOOD ZONE "C".

31. 12" SWB (STOP BAR) AND 4" SYL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.

32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.

33. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.

34. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.

35. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.

36. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.

37. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.

38. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH EPOXY PAINT.

39. A BUILDING PERMIT FROM THE TOWN OF BLOOMFIELD IS REQUIRED FOR RETAINING WALLS IN EXCESS OF 30" IN HEIGHT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.

40. NO OUTDOOR STORAGE IS PROPOSED ON THE PROPERTY.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

- SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
- THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED FOR THE PROPOSED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCE, TRAFFIC CONTROLLER AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE BLOOMFIELD TOWN STAFF.
- VERTICAL DATUM IS NVGD 1988.
- CLEARING LINES SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SITING OF ANY WATERCOURSE OR MELTANS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OR CONSTRUCTION AND CONSTRUCTION METHODS FOR EARTHWORK, STORM DRAINAGE, AND UTILITY CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED ACCORDING WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3-4% PERCENT OF OPTIMUM MOISTURE CONTENT.
- ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF BLOOMFIELD AUTHORITY AND STATE OF CONNECTICUT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL MUNICIPAL'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR. PRODUCT NOTES:

- SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
- POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS, ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPICOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 1000 LBS. HDPE PIPE SHALL BE JOINED WITH A BELL-AND-SPICOT JOINT MEETING THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
- HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPICOT JOINT MEETING THE REQUIREMENTS OF AASHTO 252. HDPE PIPE SHALL BE JOINED WITH A BELL-AND-SPICOT JOINT MEETING THE REQUIREMENTS OF AASHTO D1056 GRADE 2A2. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
- GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ADOBE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

UTILITIES CONSTRUCTION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYING FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCE, TRAFFIC CONTROLLER AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
- THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEVERAL EXISTING UTILITIES AND OTHER VARIOUS CONSTRUCTION FEATURES ARE LOCATED. THE CONTRACTOR SHALL DETERMINE IF THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF BLOOMFIELD PUBLIC WORKS DEPARTMENT AND TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, RELOCATIONS, INSPECTIONS, AND DEMOLITION.
- LANDSCAPING - LANDSCAPED AREAS WILL BE MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING, MOWING LAWNS, RAKING LEAVES, ETC. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A MINIMUM OF 3" IN HEIGHT. THIS WILL ALLOW THE THE LAWN TO GROW WITH A MINIMAL IMPACT FROM MOWING/WEEDING. THE LAWN AREAS WILL BE MAINTAINED AS A MEADOW ALLOWED TO REVERT BACK TO WOODS. PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHERE NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
- MAINTAIN EXISTING NATIVE VEGETATION: EXISTING VEGETATION ALONG THE EASTERLY EDGE OF THE DEVELOPMENT, ADJACENT TO THE WETLANDS, SHALL REMAIN IN ITS NATIVE CONDITIONS NO CLEARING, STOCKPILING, STORAGE, OR DEVELOPMENT WILL OCCUR IN THESE AREAS WITHOUT PRIOR APPROVAL FROM THE APPROPRIATE AGENCIES.
- TRASH COLLECTION: ALL TRASH WILL BE CONTAINED IN DUMPSTERS. ALL DUMPSTERS WILL BE EQUIPPED WITH COVERS. ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
- OUTDOOR STORAGE: THERE WILL BE NO OUTDOOR OF HAZARDOUS CHEMICALS, FERTILIZER, PESTICIDES, OR HERBICIDES ANYWHERE AT THE FACILITY.
- THE OWNER SHALL BE KEPT AN ON-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF BLOOMFIELD INSPECTION.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:
Estero Holding Company, LLC
P.O. BOX #39
NEWPORT, RI 02840
PHONE: 860-768-4100

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:

- PAVEMENT SWEEPING: PARKING LOTS AND DRIVES SHALL BE SWEEP A MINIMUM OF TWICE A YEAR (SPRING AND FALL).
- CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES, ETC. WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK).
- THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING:
-INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
-CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
-REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.

REVISIONS:

MAY 02, 2025

PER INITIAL TOWN COMMENTS

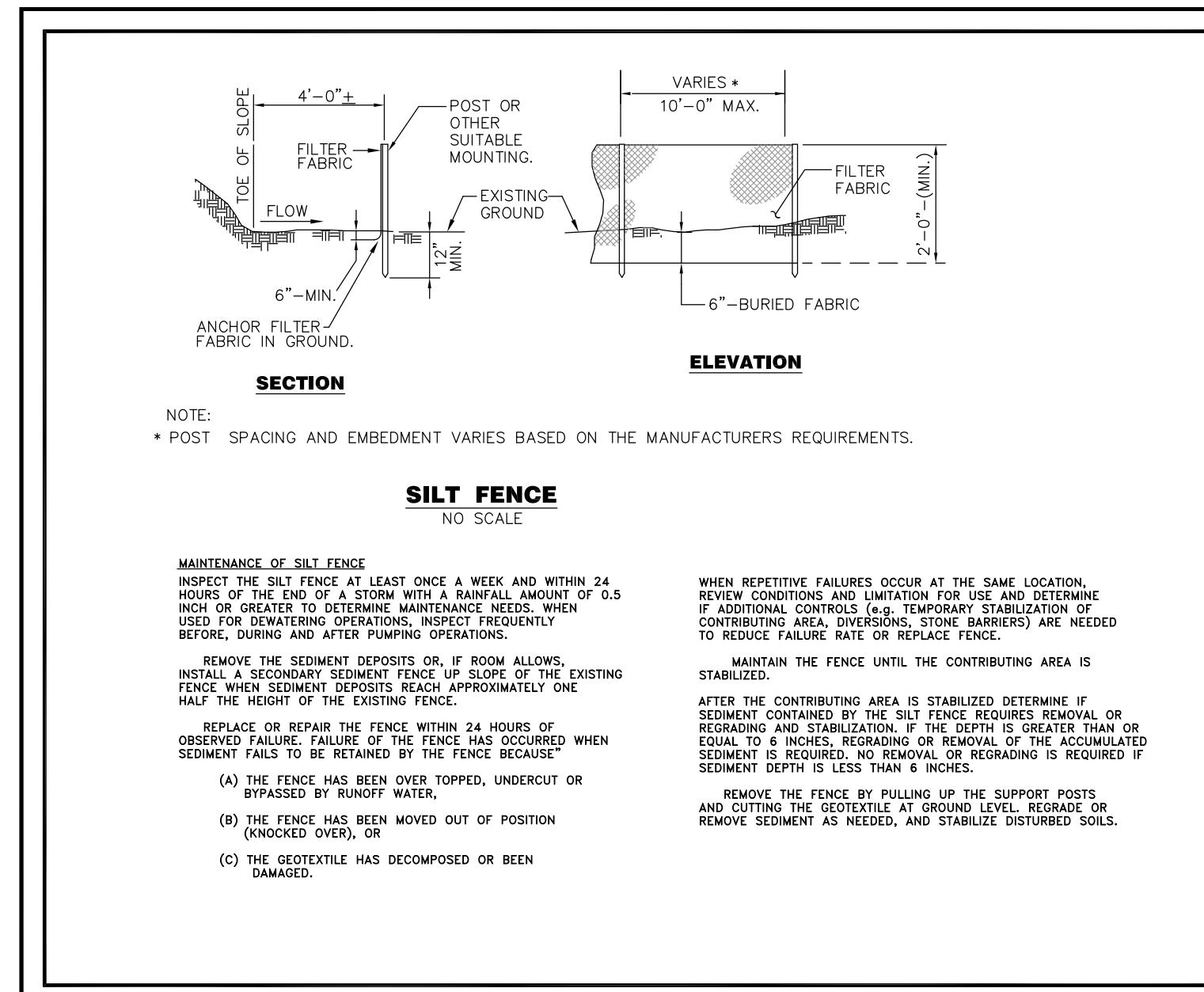
SCALES: 1"=40'
DATE: MAR. 09, 2025
JOB No.: 3566
SHEET: C - 11
CIVIL ENGINEERS & LAND SURVEYORS
CROMWELL, CONNECTICUT 06416
(860)-529-6812, FAX: (860)-771-7709

GENERAL SITE NOTES
PREPARED FOR
ESTER HOLDING COMPANY, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
BLOOMFIELD, CONNECTICUT



STATE OF CONNECTICUT
JAMES P. CASTRO, III
LICENCED PROFESSIONAL ENGINEER

NO. 20665



SILT FENCE NO SCALE

NOTE: POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURER'S REQUIREMENTS.

Maintenance of Silt Fence

INSPECT THE FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN DETERMINED, MAINTENANCE SHOULD BE CONDUCTED IMMEDIATELY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A HAY BALE BARRIER UNTIL THE CONTRIBUTING AREA IS STABILIZED.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE FENCE.

(A) THE FENCE HAS BEEN TOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER.

(B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR

(C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (E.G., TEMPORARY STABILIZATION OR SEDIMENT TRAPPING FACILITY, ETC.) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING. IF REMOVAL IS REQUIRED, PULL THE STAKES OUT AND REMOVE THE SEDIMENT. IF REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES:

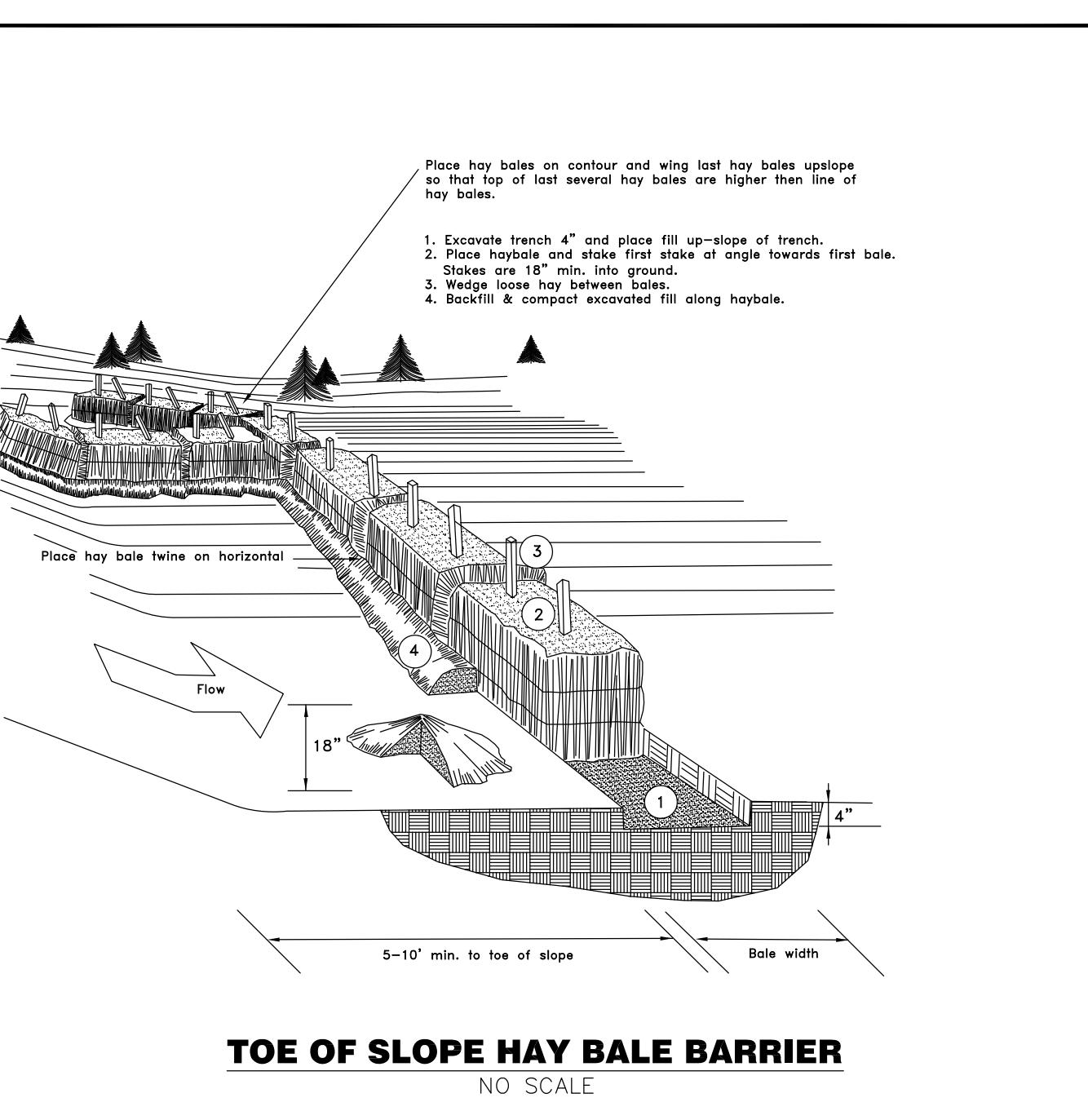
(A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER.

(B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.

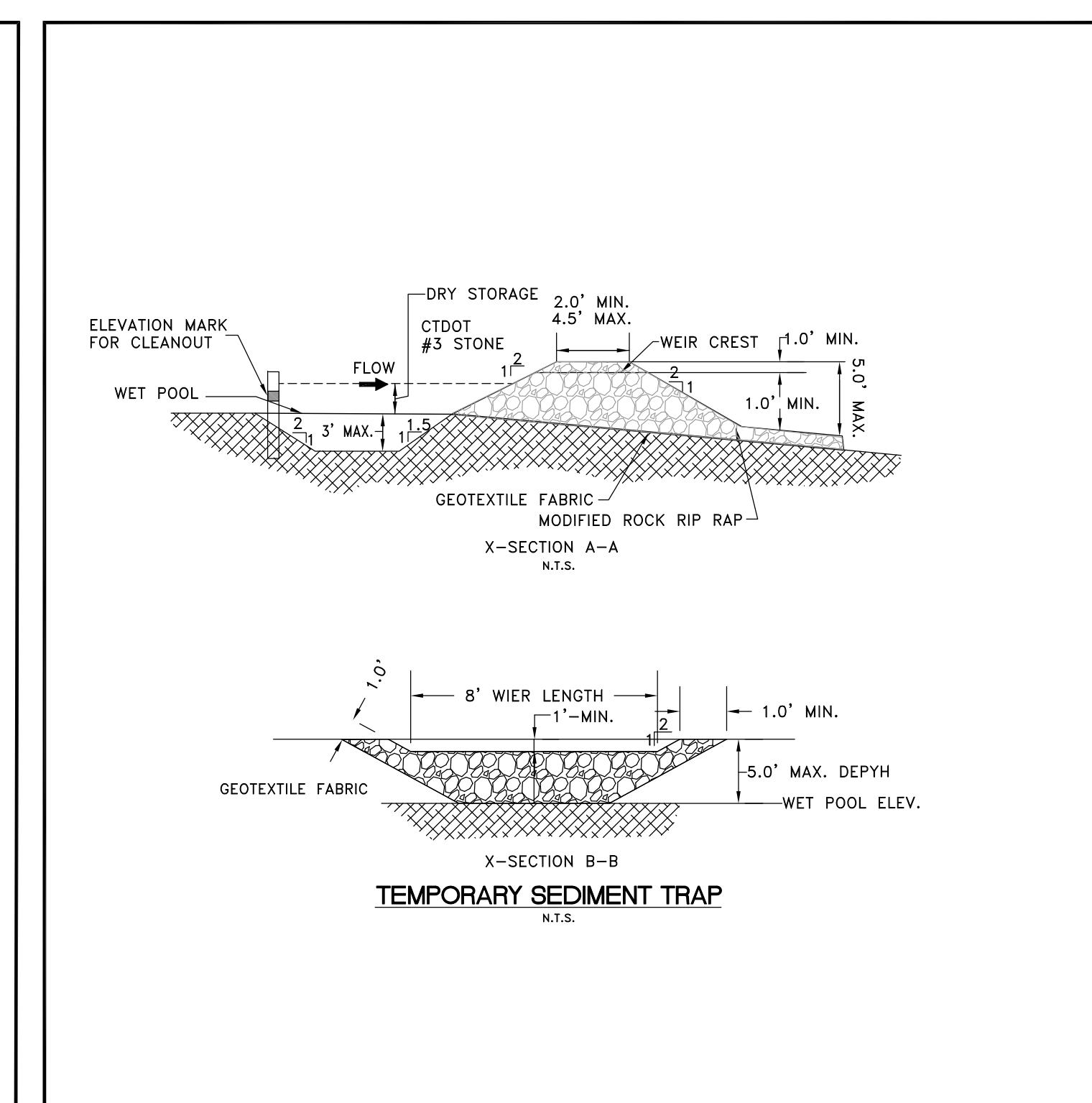
(C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

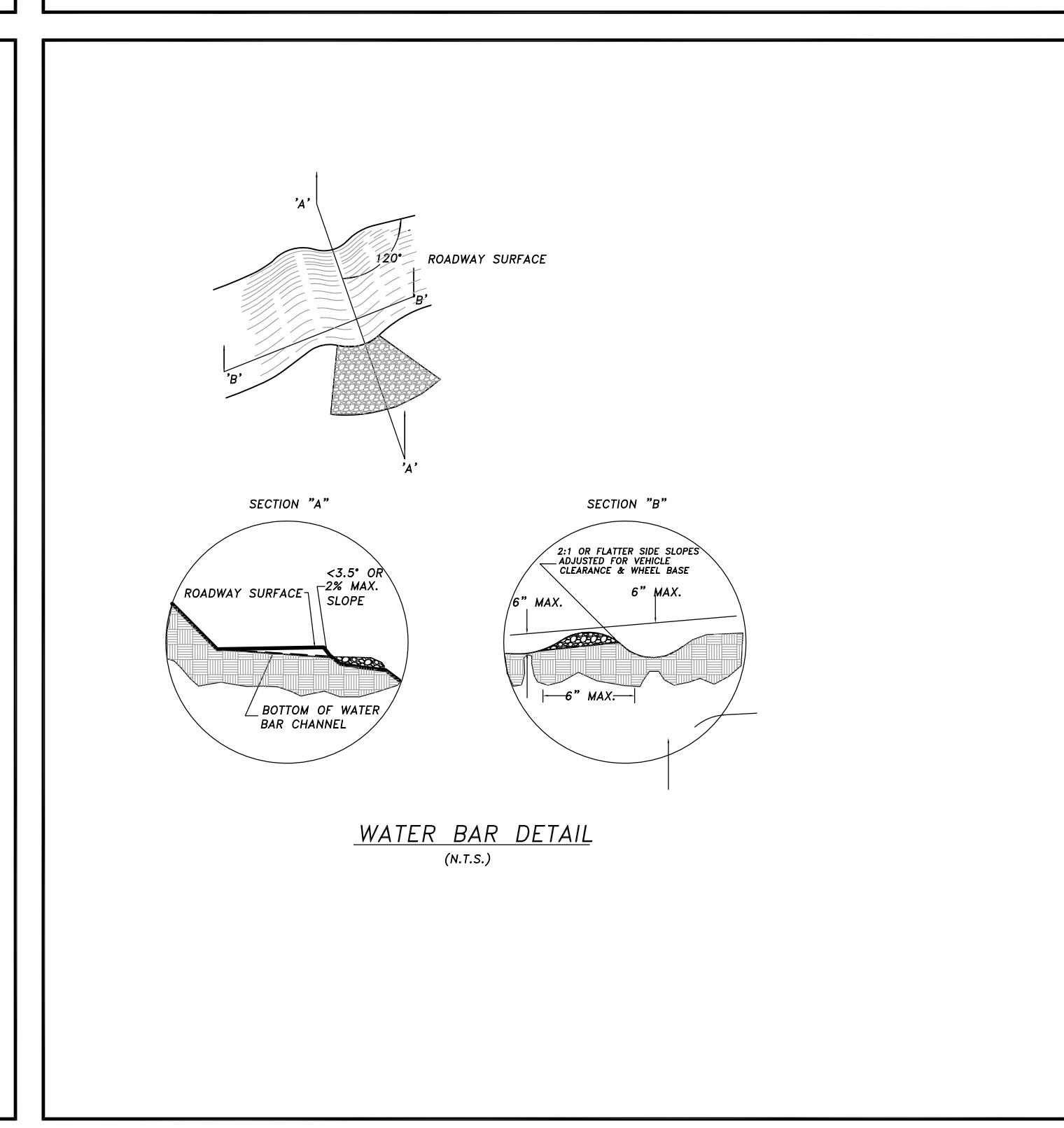
MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF HAYBALES IS REQUIRED. IF REMOVAL IS NECESSARY, THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



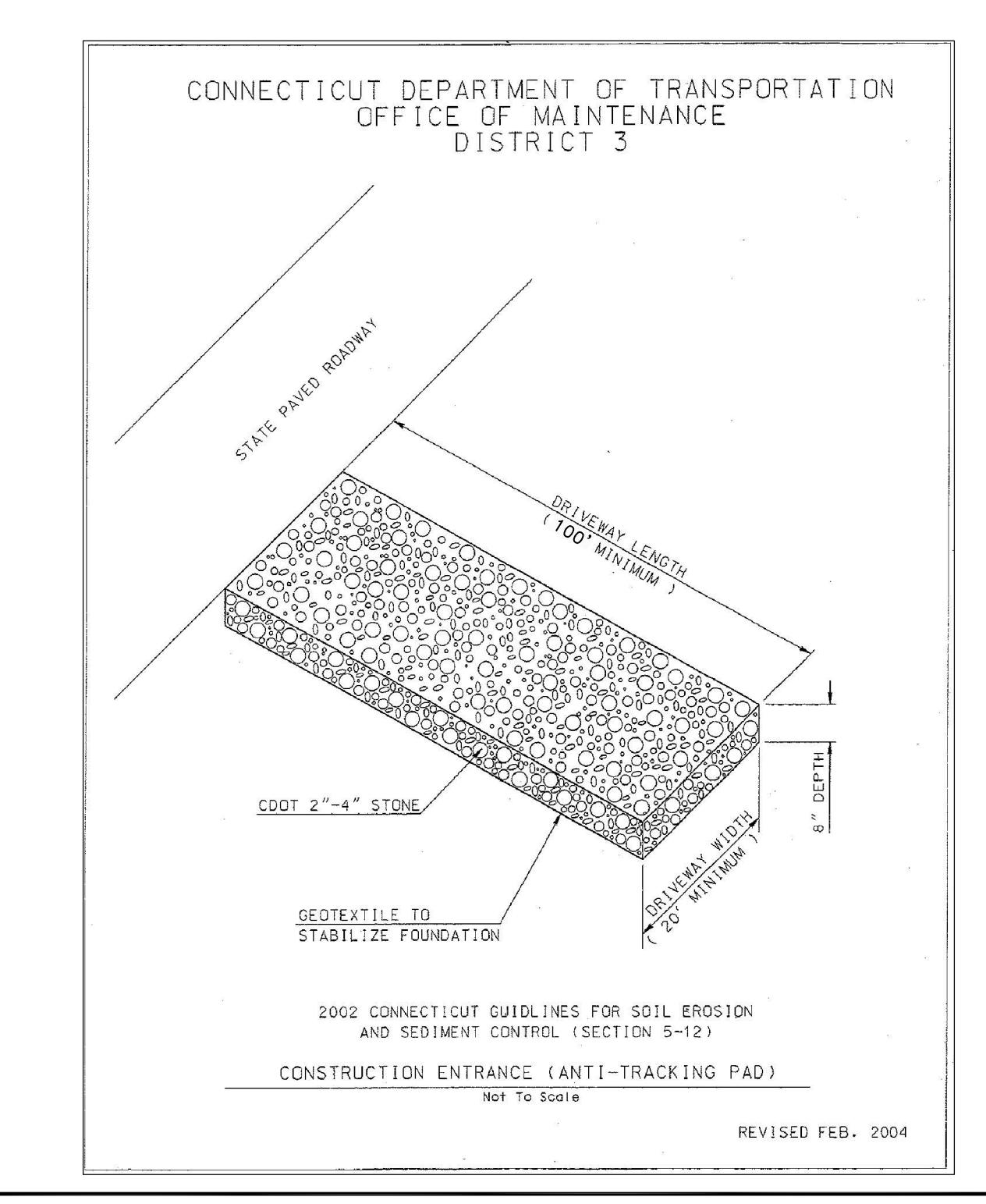
TOE OF SLOPE HAY BALE BARRIER NO SCALE



TEMPORARY SEDIMENT TRAP N.T.S.



WATER BAR DETAIL (N.T.S.)



**CONNECTICUT DEPARTMENT OF TRANSPORTATION
OFFICE OF MAINTENANCE
DISTRICT 3**

STATE PAVED ROADWAY

DRIVEWAY LENGTH (100' MINIMUM)

CDOT 2"-4" STONE

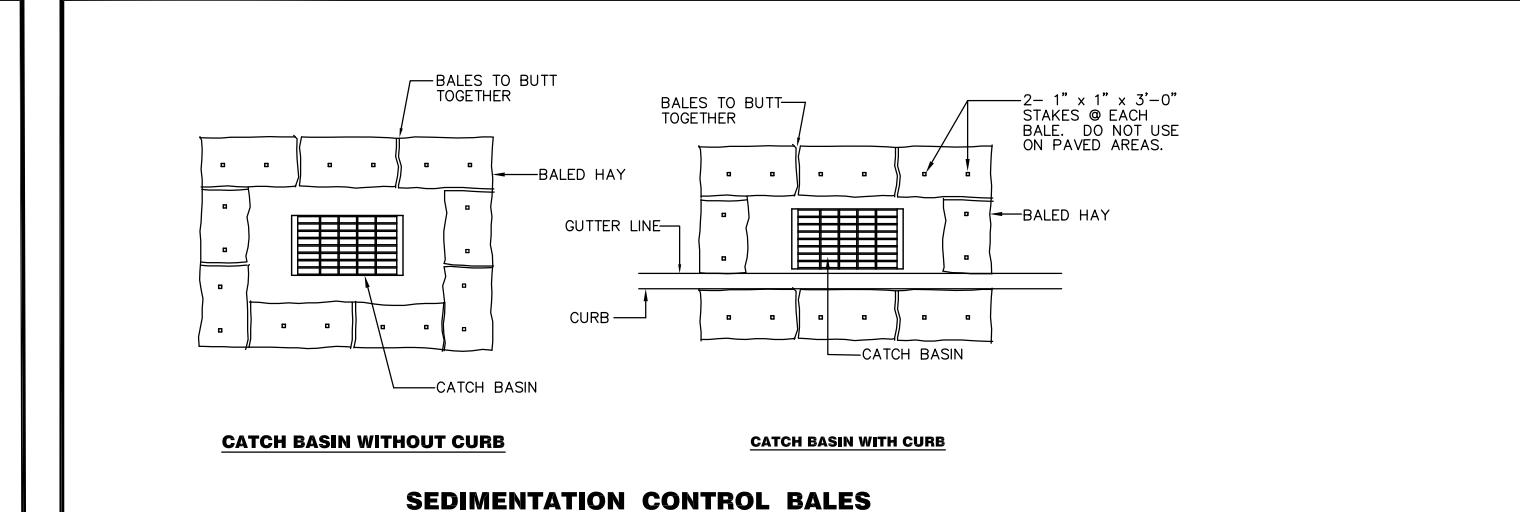
GEOTEXTILE TO STABILIZE FOUNDATION

2002 CONNECTICUT GUIDELINES FOR SOIL EROSION
AND SEDIMENT CONTROL (SECTION 5-12)

CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD)

NOT TO SCALE

REVISED FEB. 2004



SEDIMENTATION CONTROL BALES NO SCALE

Definition
A temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

Purposes
• To divert sediment laden runoff from a disturbed area to a sediment-trapping facility such as a temporary sediment trap, sediment basin or vegetative filter.

• To direct water originating from undisturbed areas away from areas where construction activities are taking place.

• To fragment disturbed areas thereby reducing the velocity and concentration of runoff.

Applicability
• Where the drainage area at the point of discharge is 5 acres or less. For drainage areas greater than 5 acres use Permanent Diversion measure.

• Where the intended use is 1 year or less. For uses greater than 1 year use Permanent Diversion measure.

Planning Considerations
A temporary diversion is used to divert sheet flow to a stabilized outlet or a sediment-trapping facility. It is also used during the establishment of permanent vegetation cover on sloping disturbed areas. When used at the top of a slope, diversion may be required to prevent erosion in the first phase of grading. Maintenance costs are very low. Often, cleaning of sediment-trapping facilities is the only associated maintenance requirement.

Design Criteria
No engineered design is required for a temporary diversion if the contributing drainage area is 1 acre or less.

If the contributing drainage area exceeds 1 acre and is 5 acres or less, design the temporary diversion to the Permanent Diversion measure standards using the 2-year frequency storm as the design storm.

Specifications
For engineered temporary diversions, construct the temporary diversion in accordance with the design standards and specifications. For all non-engineered temporary diversions, comply with the following specifications.

Height
The minimum height from the bottom of the channel to the top of the berm shall be at least 18 inches and the berm constructed of compacted material.

Side Slopes and Top Width
Side slopes shall be 1:1 or flatter inside and 1:1 or flatter outside. The top width of the berm shall be 1 foot.

Grade and Stabilization
The flow line behind the berm shall have a positive

gradient of 3% or greater. Channel grades flatter than 3% require no stabilization. Channels with grades steeper than 2% require stabilization in accordance with stabilization specifications found in the Permanent Diversion measure.

Temporary diversions shall be stabilized according to the duration of their intended use (see Short Term Non-Engineering Soil Protection Functional Group).

Outlets
Regardless of design, release the diverted runoff to a stable outlet or channel. Where diverted runoff is expected to be carrying a sediment load, the runoff shall be released to a sediment impoundments (see Sediment Impoundments and Barriers Functional Group).

Construction
Install erosion controls at the outlet where sediment laden runoff is expected.

Construct the temporary diversion (see Figure TD-1). After grading the berm, tamp or compact it to prevent failure.

Apply stabilization measures (may include temporary or permanent seed and mulch) immediately following construction.

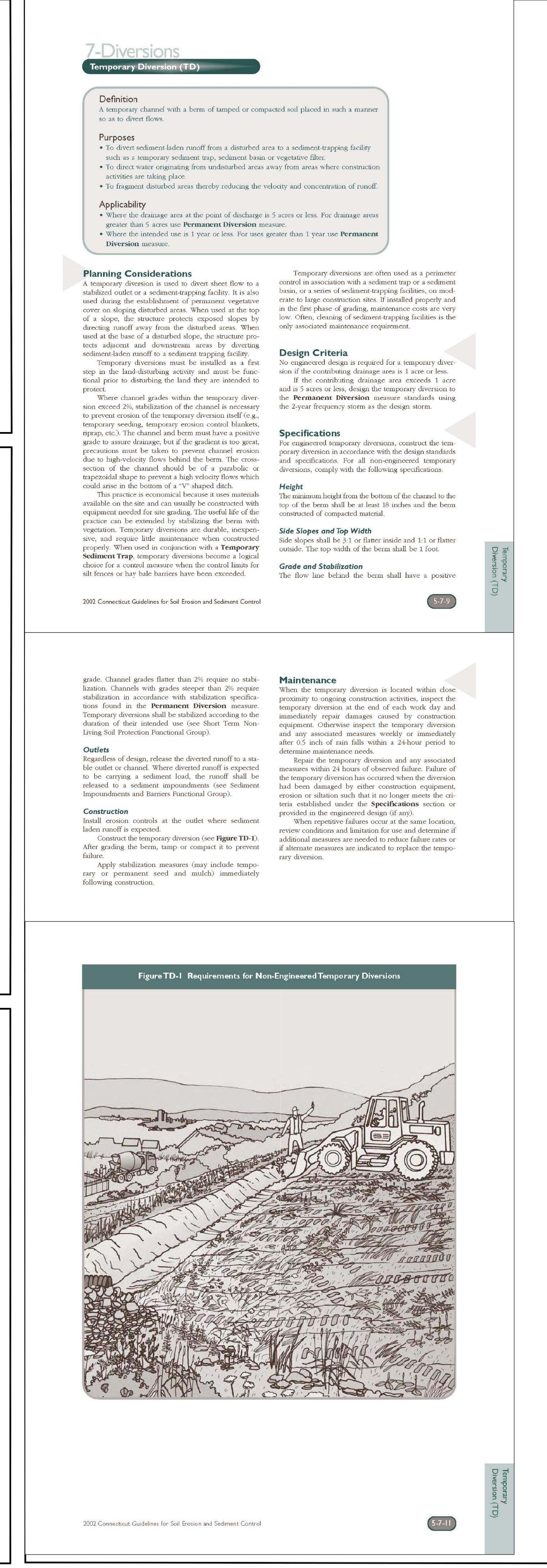
Maintenance
When the temporary diversion is located within close proximity to ongoing construction activities, inspect the temporary diversion at the end of each work day and immediately repair damage caused by construction equipment. Otherwise, inspect the temporary diversion and any associated measures weekly or immediately after 0.5 inch of rain falls within a 24-hour period to determine if any measures are needed.

Repair the temporary diversion and any associated measures within 24 hours of observed failure. Failure of the temporary diversion has occurred when the diversion had been damaged by either construction equipment, erosion or silting and no longer meets the criteria established under the Specifications section or provided in the engineered design of any diversion.

When repetitive failures occur at the same location, review conditions and limitation for use and determine if additional measures are needed to reduce failure rates or if alternate measures are indicated to replace the temporary diversion.

Apply stabilization measures (may include temporary or permanent seed and mulch) immediately following construction.

Source: USDA-NRCS



7-Diversions

Temporary Diversion (TD)

Definition
A temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

Purposes
• To divert sediment laden runoff from a disturbed area to a sediment-trapping facility such as a temporary sediment trap, sediment basin or vegetative filter.

• To direct water originating from undisturbed areas away from areas where construction activities are taking place.

• To fragment disturbed areas thereby reducing the velocity and concentration of runoff.

Applicability
• Where the drainage area at the point of discharge is 5 acres or less. For drainage areas greater than 5 acres use Permanent Diversion measure.

• Where the intended use is 1 year or less. For uses greater than 1 year use Permanent Diversion measure.

Planning Considerations
A temporary diversion is used to divert sheet flow to a stabilized outlet or a sediment-trapping facility. It is also used during the establishment of permanent vegetation cover on sloping disturbed areas. When used at the top of a slope, diversion may be required to prevent erosion in the first phase of grading. Maintenance costs are very low. Often, cleaning of sediment-trapping facilities is the only associated maintenance requirement.

Design Criteria
No engineered design is required for a temporary diversion if the contributing drainage area is 1 acre or less.

If the contributing drainage area exceeds 1 acre and is 5 acres or less, design the temporary diversion to the Permanent Diversion measure standards using the 2-year frequency storm as the design storm.

Specifications
For engineered temporary diversions, construct the temporary diversion in accordance with the design standards and specifications. For all non-engineered temporary diversions, comply with the following specifications.

Height
The minimum height from the bottom of the channel to the top of the berm shall be at least 18 inches and the berm constructed of compacted material.

Side Slopes and Top Width
Side slopes shall be 1:1 or flatter inside and 1:1 or flatter outside. The top width of the berm shall be 1 foot.

Grade and Stabilization
The flow line behind the berm shall have a positive

gradient of 3% or greater. Channel grades flatter than 3% require no stabilization. Channels with grades steeper than 2% require stabilization in accordance with stabilization specifications found in the Permanent Diversion measure.

Temporary diversions shall be stabilized according to the duration of their intended use (see Short Term Non-Engineering Soil Protection Functional Group).

Outlets
Regardless of design, release the diverted runoff to a stable outlet or channel. Where diverted runoff is expected to be carrying a sediment load, the runoff shall be released to a sediment impoundments (see Sediment Impoundments and Barriers Functional Group).

Construction
Install erosion controls at the outlet where sediment laden runoff is expected.

Construct the temporary diversion (see Figure TD-1).

After grading the berm, tamp or compact it to prevent failure.

Apply stabilization measures (may include temporary or permanent seed and mulch) immediately following construction.

Maintenance
When the temporary diversion is located within close proximity to ongoing construction activities, inspect the temporary diversion at the end of each work day and immediately repair damage caused by construction equipment. Otherwise, inspect the temporary diversion and any associated measures weekly or immediately after 0.5 inch of rain falls within a 24-hour period to determine if any measures are needed.

Repair the temporary diversion and any associated measures within 24 hours of observed failure. Failure of the temporary diversion has occurred when the diversion had been damaged by either construction equipment, erosion or silting and no longer meets the criteria established under the Specifications section or provided in the engineered design of any diversion.

When repetitive failures occur at the same location, review conditions and limitation for use and determine if additional measures are needed to reduce failure rates or if alternate measures are indicated to replace the temporary diversion.

Apply stabilization measures (may include temporary or permanent seed and mulch) immediately following construction.

Source: USDA-NRCS

Location
Locate the pumping settling basin on the site such that surface water is directed away from the pumping settling basin (See Temporary Water Diversion measure).

Installation
All dewatering basins, regardless of type, contain a water/sediment storage area, an energy dissipator for pump discharges entering the basin (See Pump Intake and Outlet Protection measure) and an emergency overflow that provides for a stable filtration surface through which water may leave the basin. For dewatering basins, the design of the dewatering basin that is furthest from the basin outlet.

Depending upon existing soil conditions and side slopes of excavated pumping settling basin, soil stabilizations may be required. The excavation may be lined with geotextile or stone to help reduce scour and to prevent the erosion of soil from within the structure.

Type 1 - Small Volumes
Consist of an above ground enclosure created by a Hay Bale Barrier. See Hay Bale Barrier measure for material specifications and general installation requirements. This type of basin is located only on flat grades and is limited for use by its storage volume where the anticipated sediment delivery would not require cleaning of the excavation for a very short duration. For example, a large excavation for a foundation or a deep excavation for a trench where no adequate vegetated filter exists (See Vegetated Filter measure) before the discharge enter into critical area such as a wetland, watercourse, street

lization may be required. The excavation may be lined with geotextile or stone to help reduce scour and to prevent the erosion of soil from within the structure.

Temporary Diversion (TD)

Temporary channel with a berm of tamped or compacted soil placed in such a manner so as to divert flows.

Purposes

• To divert sediment laden runoff from a disturbed area to a sediment-trapping facility such as a temporary sediment trap, sediment basin or vegetative filter.

• To direct water originating from undisturbed areas away from areas where construction activities are taking place.

• To fragment disturbed areas thereby reducing the velocity and concentration of runoff.

Applicability

• Where the drainage area at the point of discharge is 5 acres or less. For drainage areas greater than 5 acres use Permanent Diversion measure.

• Where the intended use is 1 year or less. For uses greater than 1 year use Permanent Diversion measure.

• Where the intended use is 1 year or less. For uses greater than 1 year use Permanent Diversion measure.

Depending upon existing soil conditions and side slopes of excavated pumping settling basin, soil stabilizations may be required. The excavation may be lined with geotextile or stone to help reduce scour and to prevent the erosion of soil from within the structure.

Design Criteria

• One row of hay bales placed and staked in accordance with Hay Bale Barrier Standard.

• Support berthing hose on hay bale.

• Overflow discharge to vegetative filter or other stable outlet.

• Cover entire area with CDT#3 stone.

• Dewatering pump.

• Dewatering hose from dewatering pump.

• Filter or other stable outlet.

• Yards (NOT TO SCALE)

Source: USDA-NRCS

2002 Connecticut Guidelines for Soil Erosion and Sediment Control

Figure PSB-1 Example of Type I Pumping Settling Basin

Figure PSB-1 Example of Type I Pumping Settling Basin

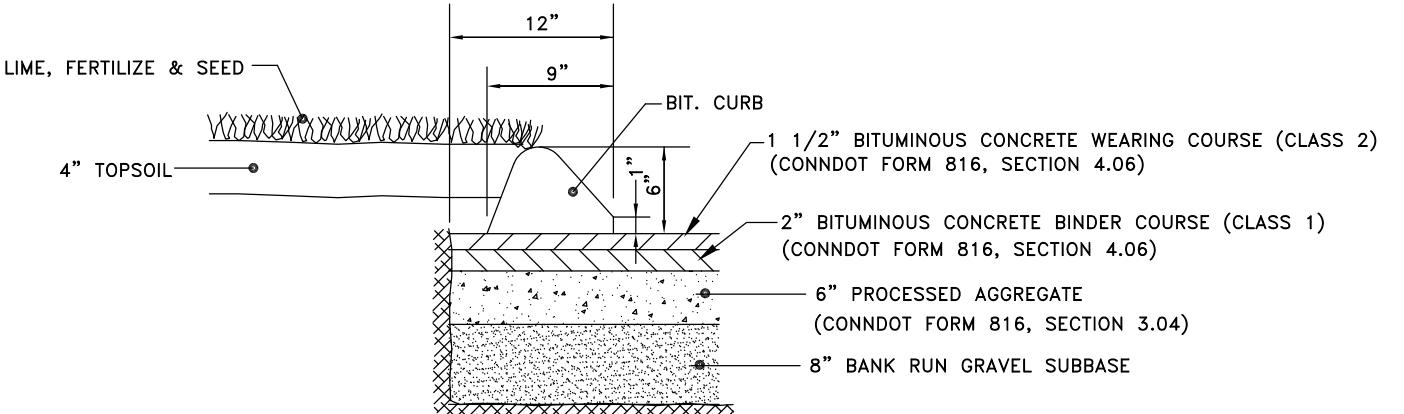
Figure PSB-1 Example of Type I Pumping Settling Basin

Figure PSB-1 Example of Type I Pump



HANDICAPPED ACCCESIBLE PARKING SYMBOL

NO SCA

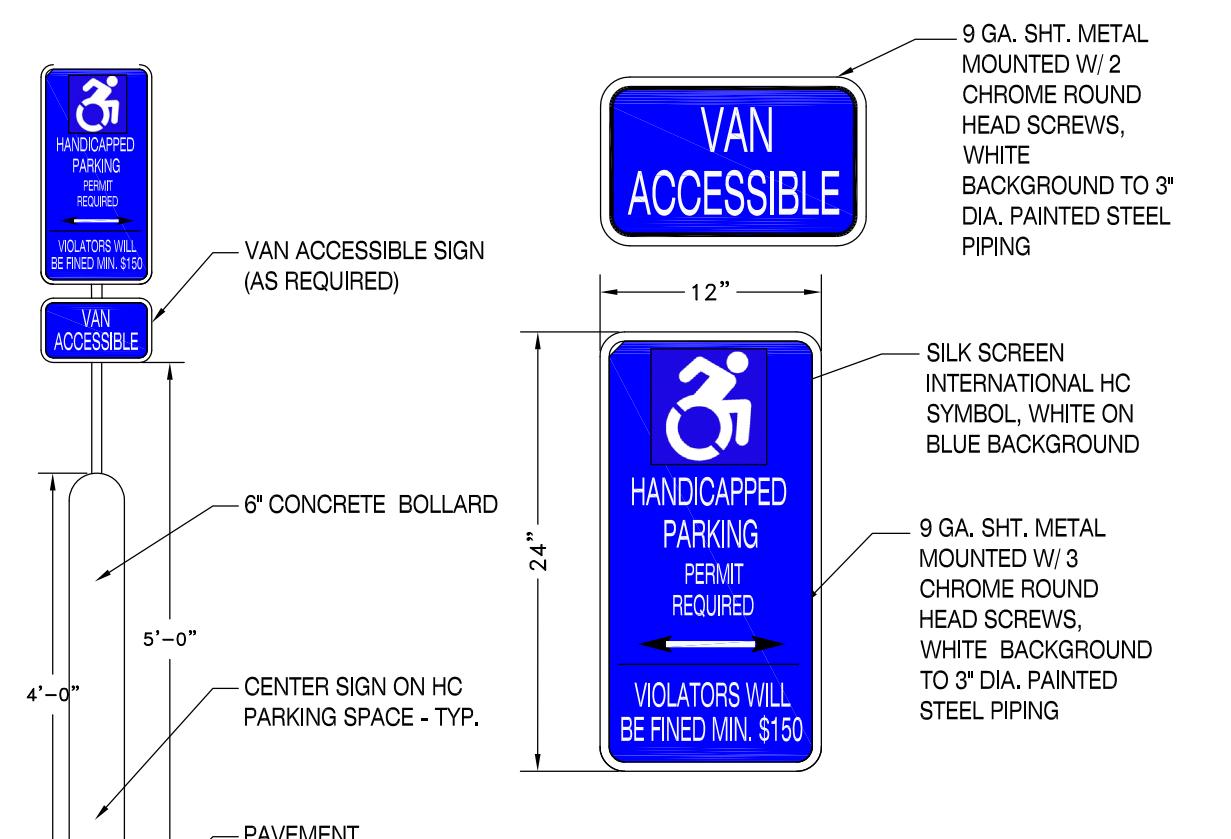


BITUMINOUS CONCRETE PAVEMENT

PARKING AREA SPACES

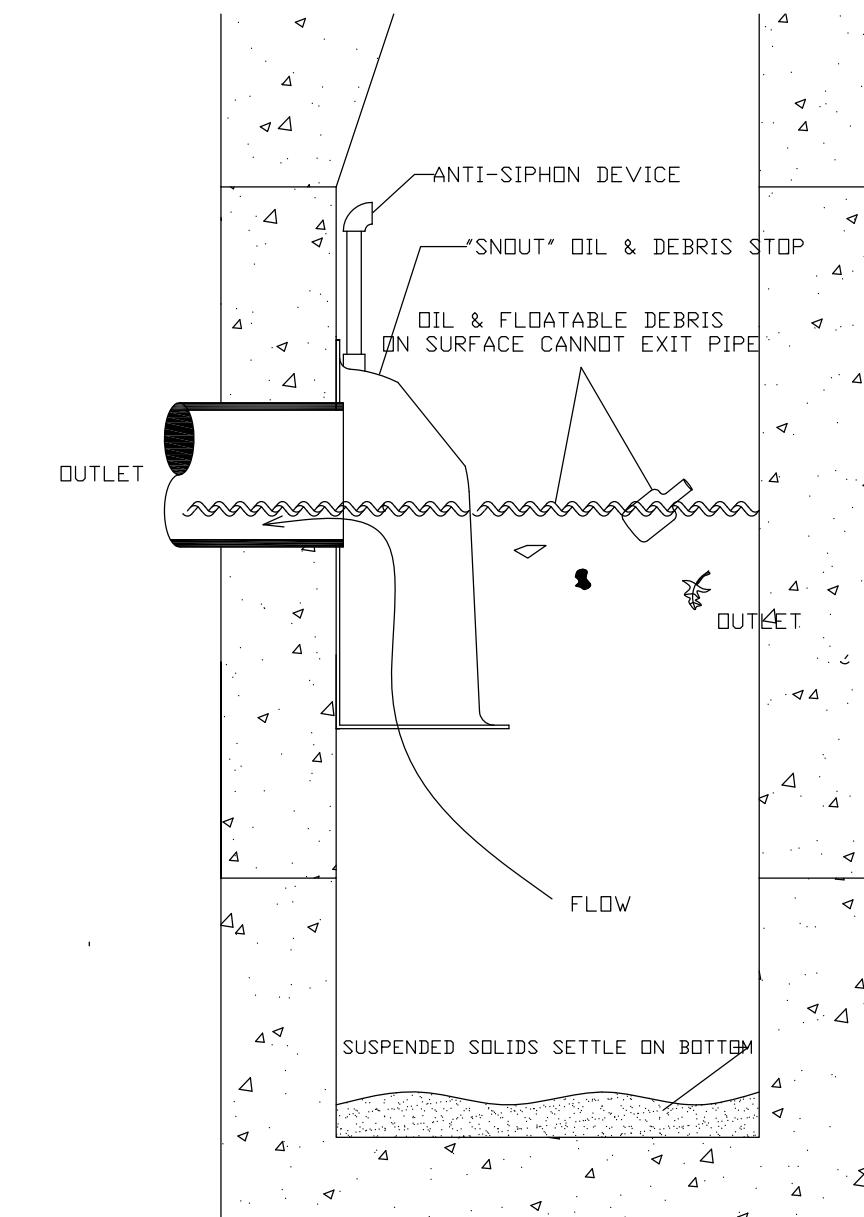
**WORKING AREA SPACE
(STANDARD DUTY)**

N.I.

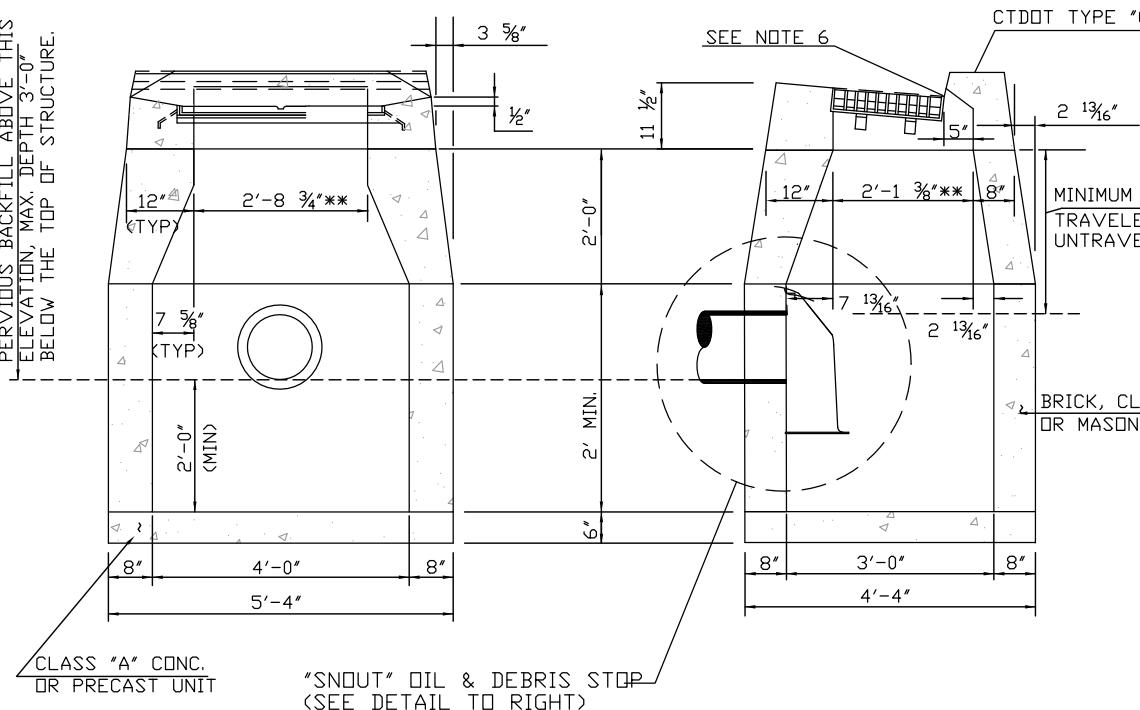


HANDICAPPED PARKING SIGN DETAIL

NO SC/



SNOUT CATCH BASIN INSTALLATION (TYPICAL)

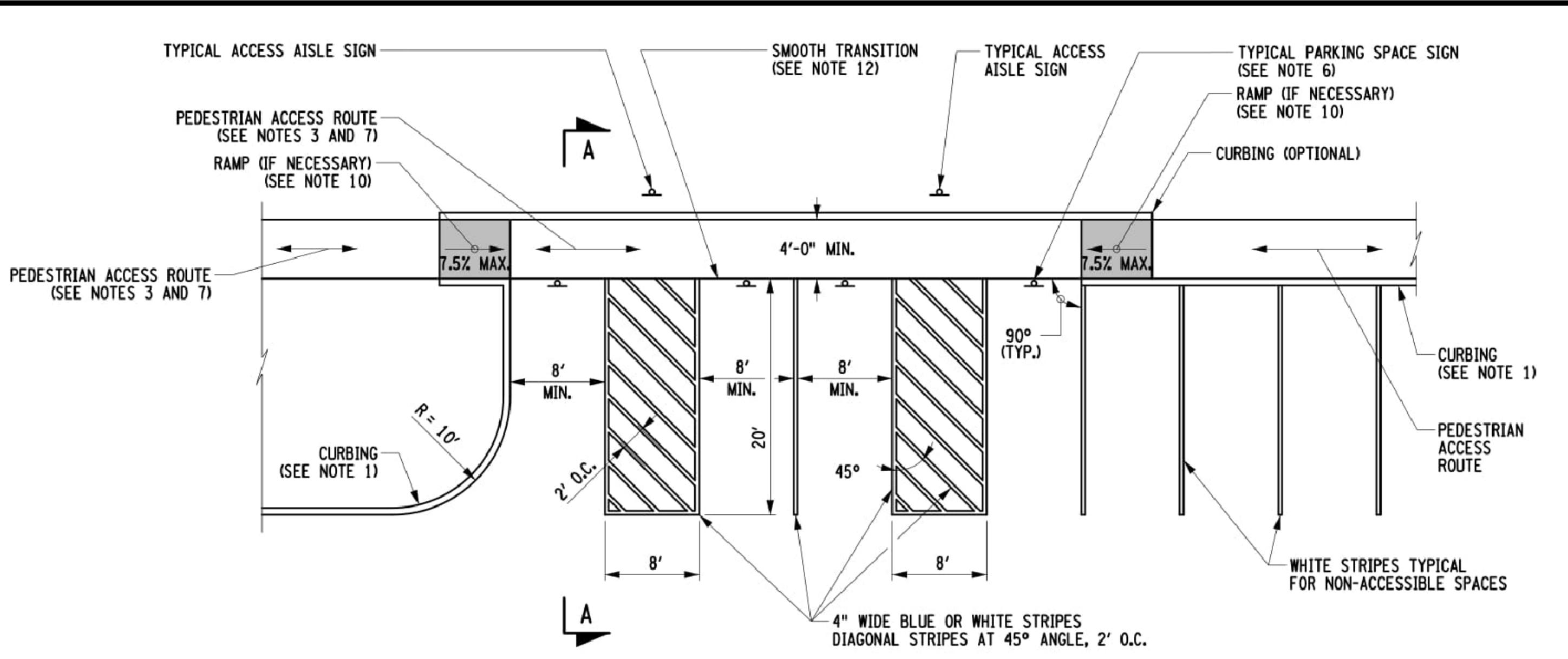


NOTES:

- 1) WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS SHALL REMAIN THE SAME.
- 2) PROVIDE DRAINAGE OPENING IN EACH WALL AT LOWEST INVERT ELEVATION.
- 3) WHERE BRICK OR MASONRY CONCRETE UNITS ARE USED, CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL SHALL BE NO PROJECTION SHALL EXTEND INSIDE OF LIMITS NOTED BY **.
- 4) PRECAST CONCRETE CATCH BASIN UNITS MAY BE USED, AS DESCRIBED IN THE STANDARD SPECIFICATIONS.
- 5) WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN.
- 6) TOP OF FRAME ELEVATION SHALL BE DEPRESSED 1" BELOW NORMAL GUTTER GRADE.
- 7) PROVIDE 6"(MIN.) GRANULAR FILL UNDER STRUCTURE TO REPLACE UNSUITABLE MATERIAL.

TYPICAL CATCH BASIN

NOT TO SCALE



TYPICAL ACCESSIBLE PARKING LOT LAYOUT

NOTES:

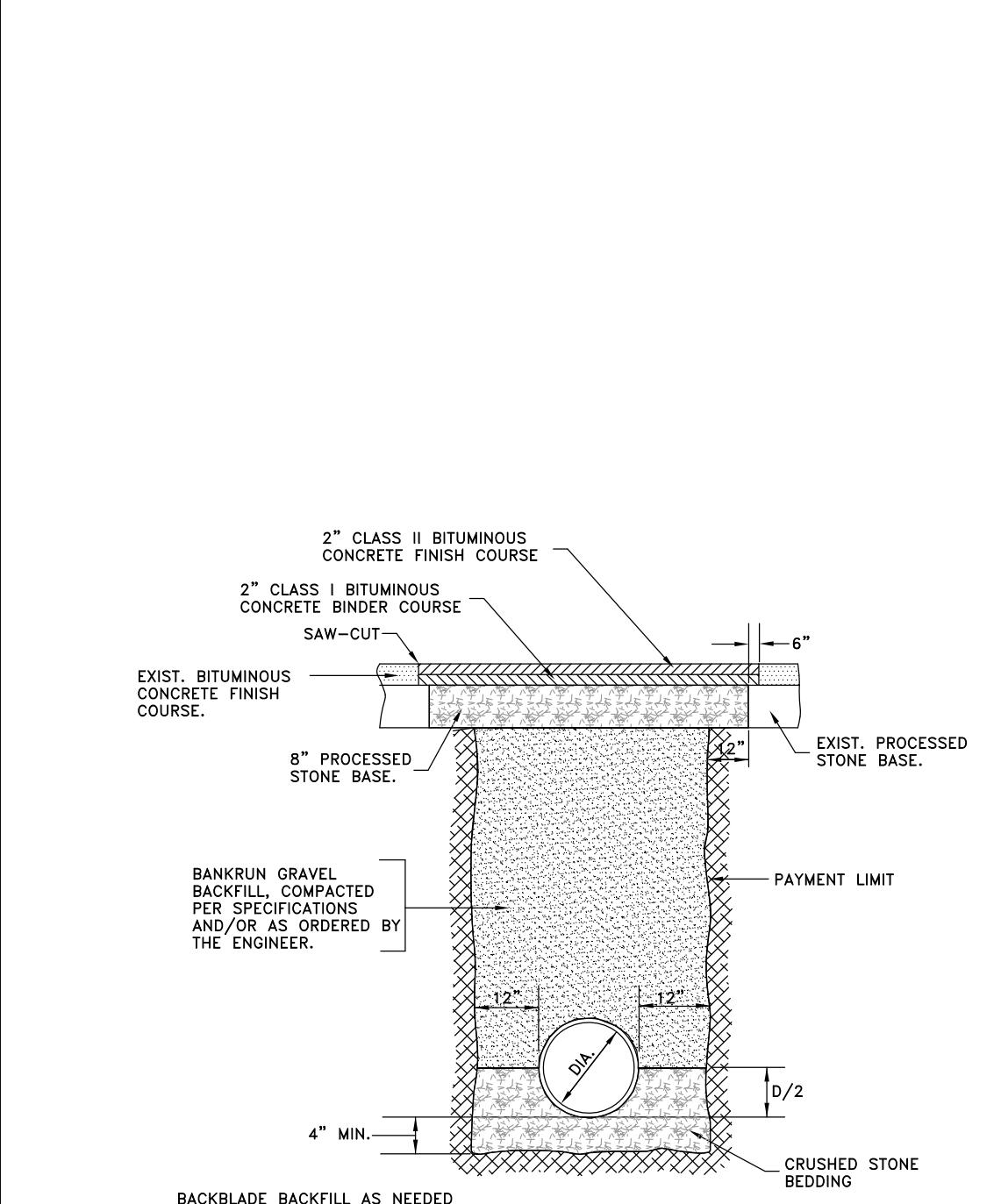
1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING LOT SPACES. THE SIDEWALK, CURBING, AND PAVEMENT MATERIALS SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
2. MINIMUM NUMBER OF ACCESSIBLE SPACES:

2. MINIMUM NUMBER OF ACCESSIBLE SPACES:			
TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES	TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1	201 TO 300	7
26 TO 50	2	301 TO 400	8
51 TO 75	3	401 TO 500	9
75 TO 100	4	501 TO 1,000	2% OF TOTAL
101 TO 150	5	1,001 AND OVER	20, PLUS ONE FOR EACH 100, OR FRACTION THEREOF, OVER 1,000
151 TO 200	6		

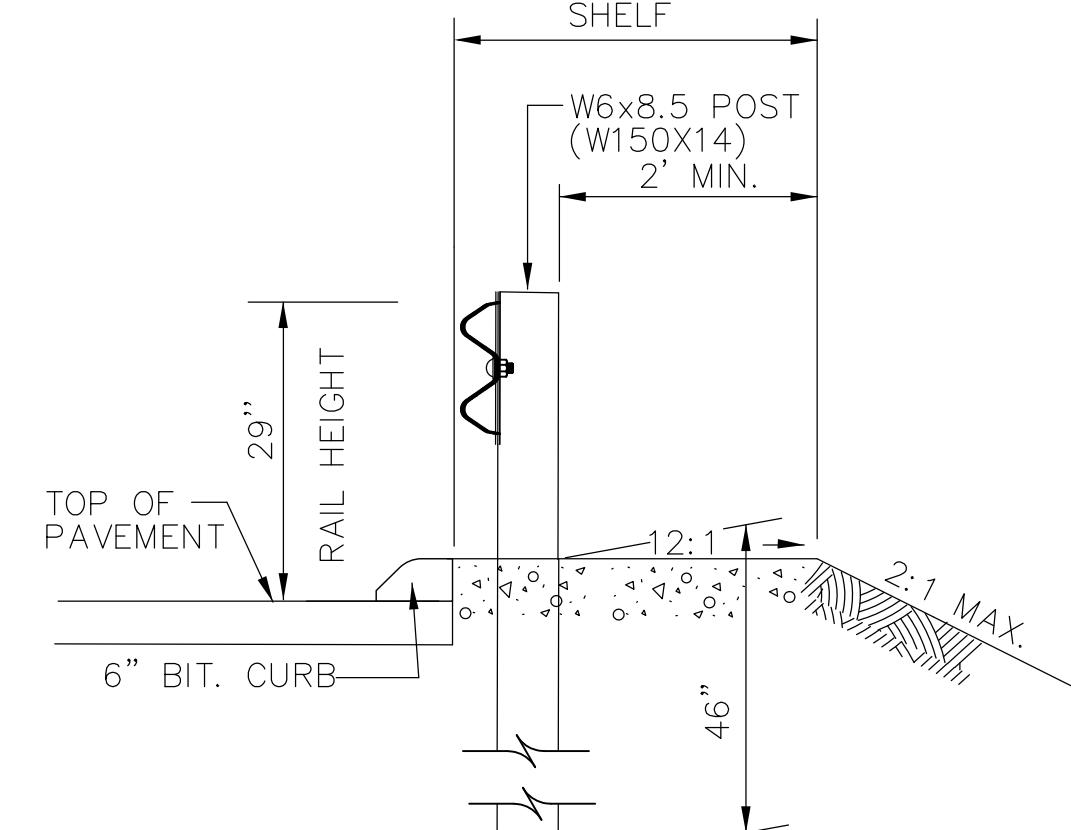
EXCEPTION: PARKING AREAS ON THE PREMISES OF, OR IMMEDIATELY ADJACENT TO, MEDICAL SERVICES FACILITIES PROVIDING TREATMENT FOR MOBILITY IMPAIRED PERSONS AND OTHER SIMILAR LOCATIONS MAY REQUIRE A GREATER NUMBER OF ACCESSIBLE PARKING SPACES THAN INDICATED ABOVE. REFER TO THE APPLICABLE ACCESSIBILITY STANDARD.

WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7' MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7' MINIMUM ABOVE THE PAVEMENT SURFACE.

3. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
4. DIMENSIONS - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 8' WIDE AND SHALL HAVE AN ADJACENT ACCESS AISLE 8' WIDE MEASURED PERPENDICULAR TO THE STALL STRIPE TO ACCOMMODATE VANS WITH LIFTS.
5. COMMON ACCESS AISLES FOR 90° PARKING - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. FOR ACUTE ANGLED PARKING, SUCH AS 60° PARKING, OR WHERE ONE WAY DRIVEWAY AISLES WOULD PREVENT VANS WITH PASSENGER SIDE LIFTS FROM BACKING INTO ACCESSIBLE SPACES, AN ACCESSIBLE ACCESS AISLE MUST BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE. WIDTH OF ACCESS AISLES AND PARKING SPACES ARE MEASURED PERPENDICULAR TO THE STRIPING.
6. SIGNING - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS INDICATING THAT STOPPING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7' MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7' MINIMUM ABOVE THE PAVEMENT SURFACE.
7. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1.5% MAXIMUM IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND 2.0% MAXIMUM FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.
8. OVERHEAD CLEARANCE - VEHICLE ACCESS ROUTES TO AND FROM ACCESSIBLE PARKING SPACES, INCLUDING IN GARAGES AND OPEN PARKING STRUCTURES, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2".
9. PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED WHITE OR BLUE.
10. REFER TO STANDARD SHEETS 608-01 TITLED "SIDEWALK AND CURB RAMP DETAILS" FOR CURB RAMP REQUIREMENTS. DETECTABLE WARNING SURFACES ARE NOT REQUIRED.
11. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS, ACCESSIBLE PARKING SPACES AND AISLES.
12. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE 4'-0" x 4'-0" MINIMUM SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. THE CROSS SLOPE OF TURNING SPACES SHALL NOT EXCEED 1.5% IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND 2.0% FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.



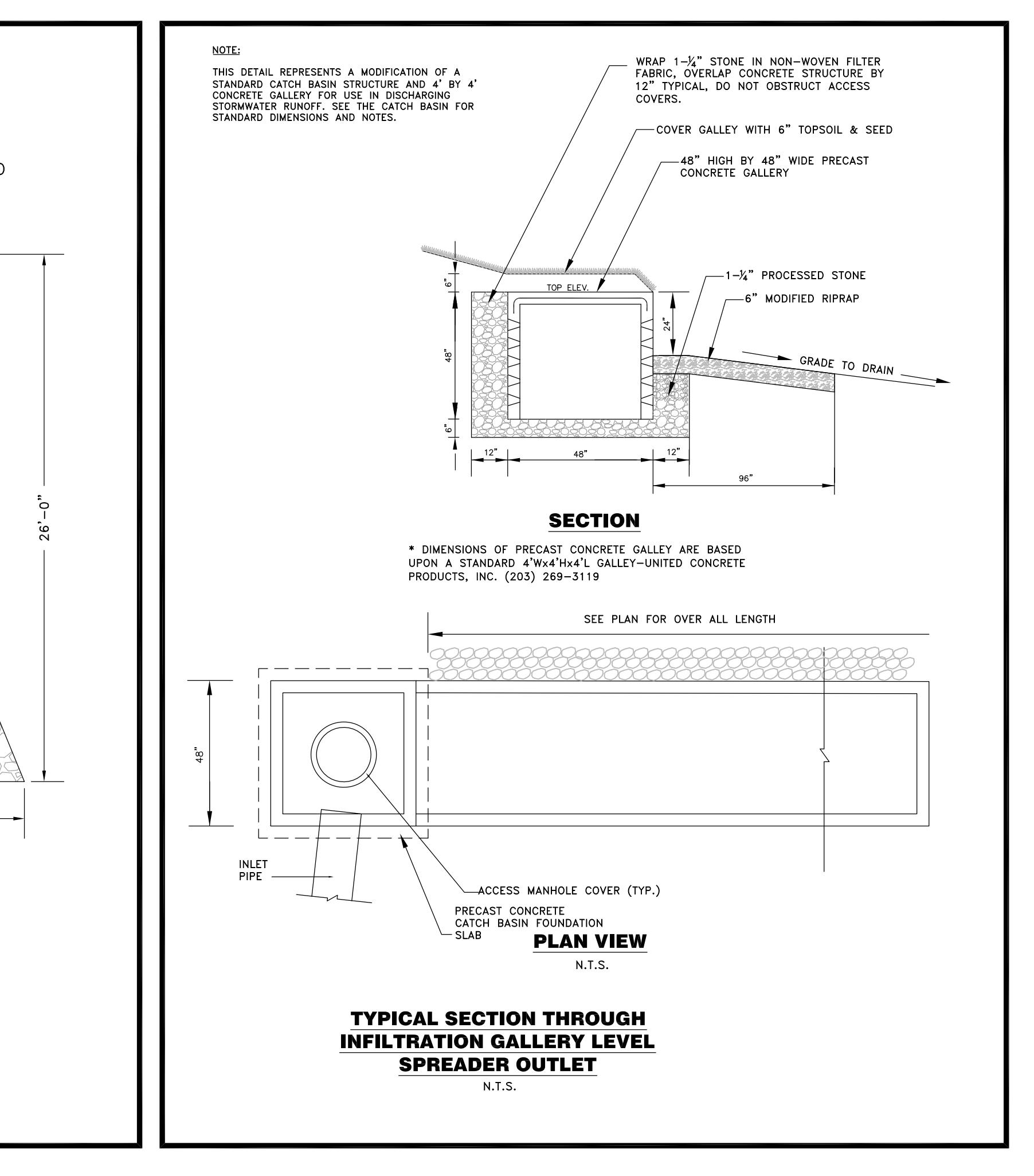
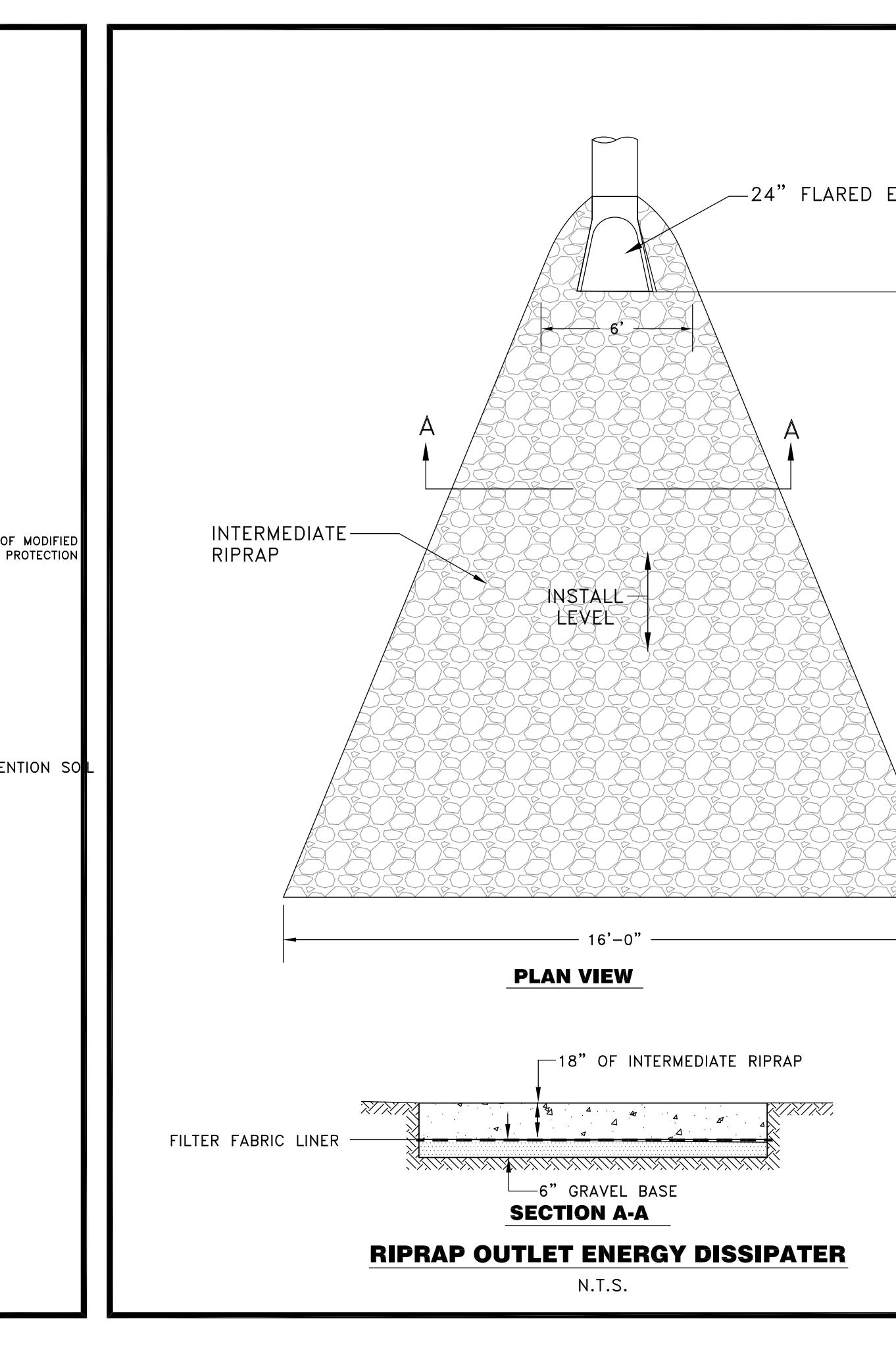
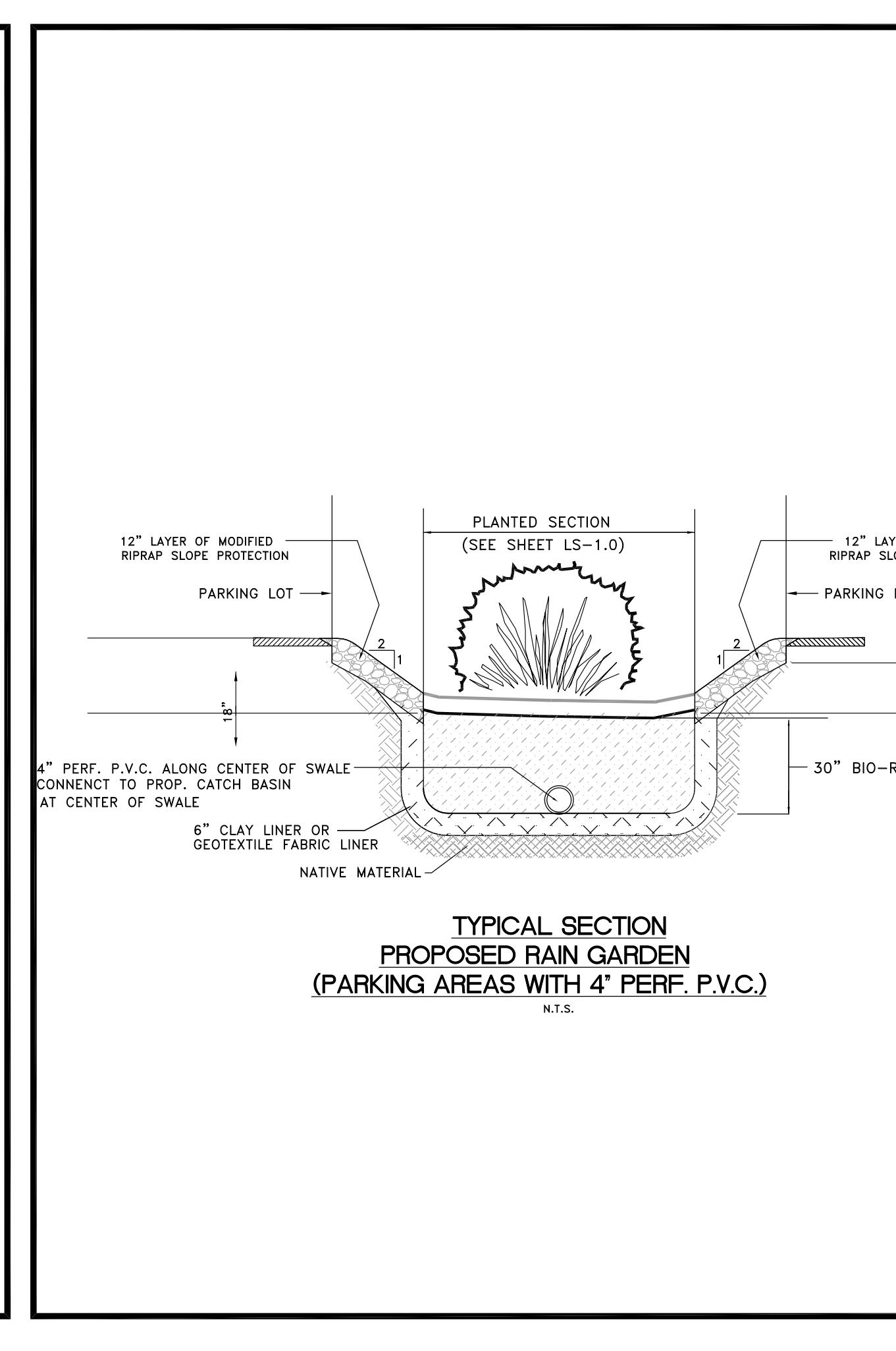
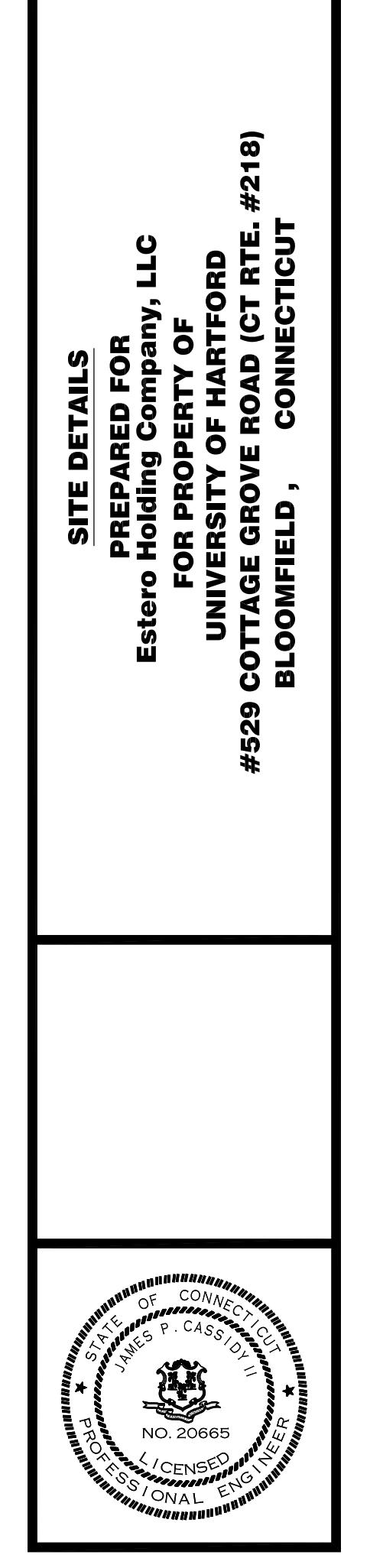
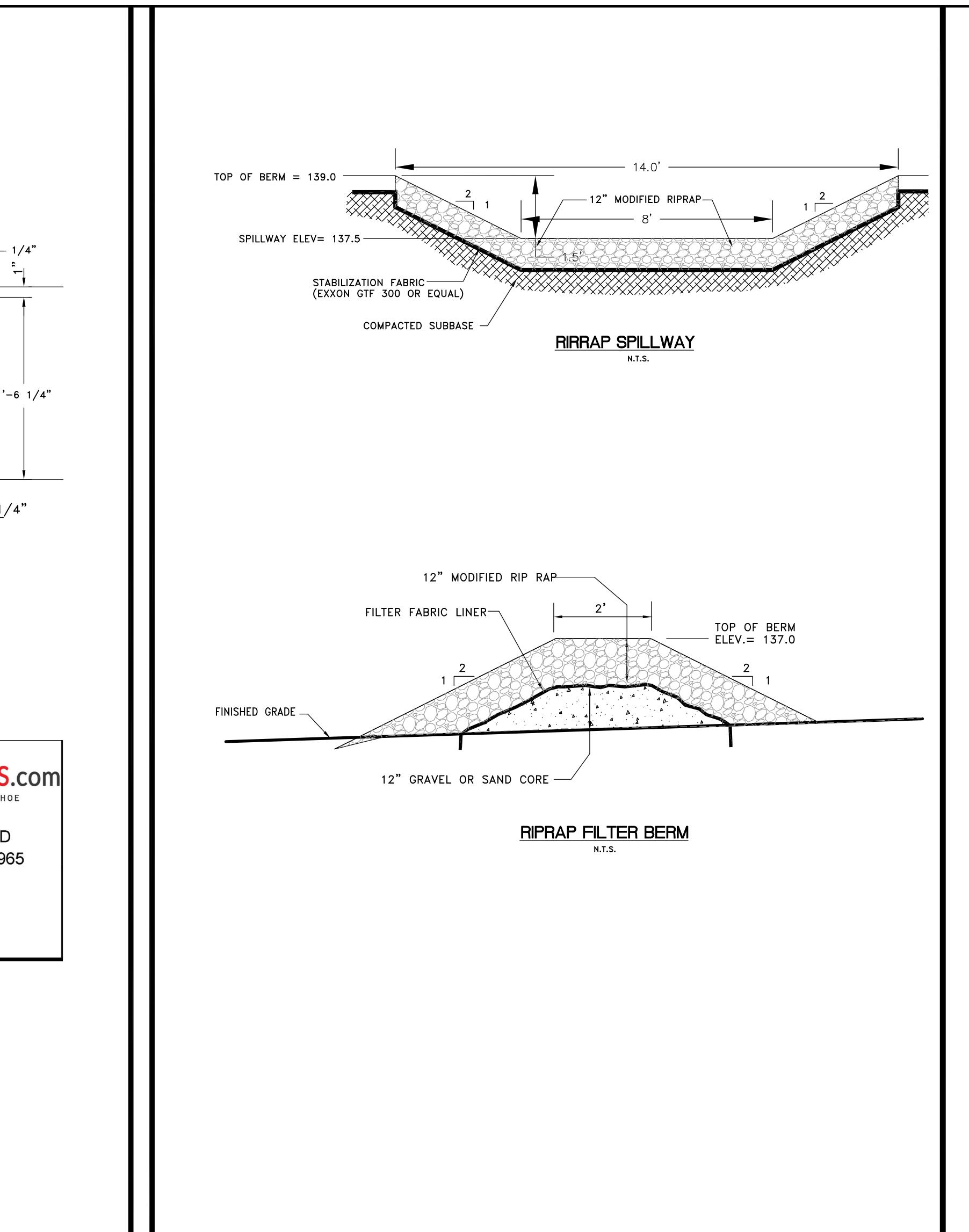
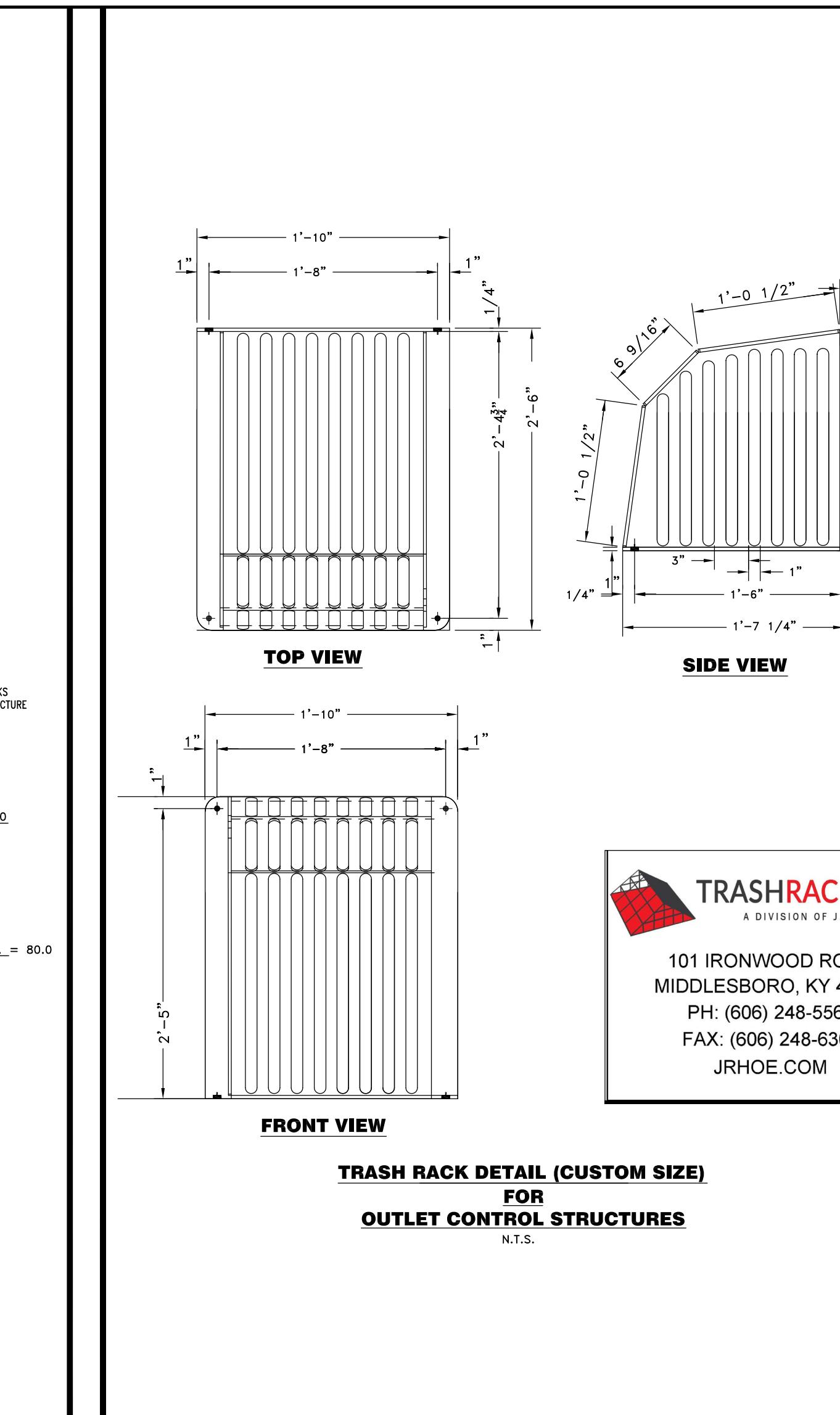
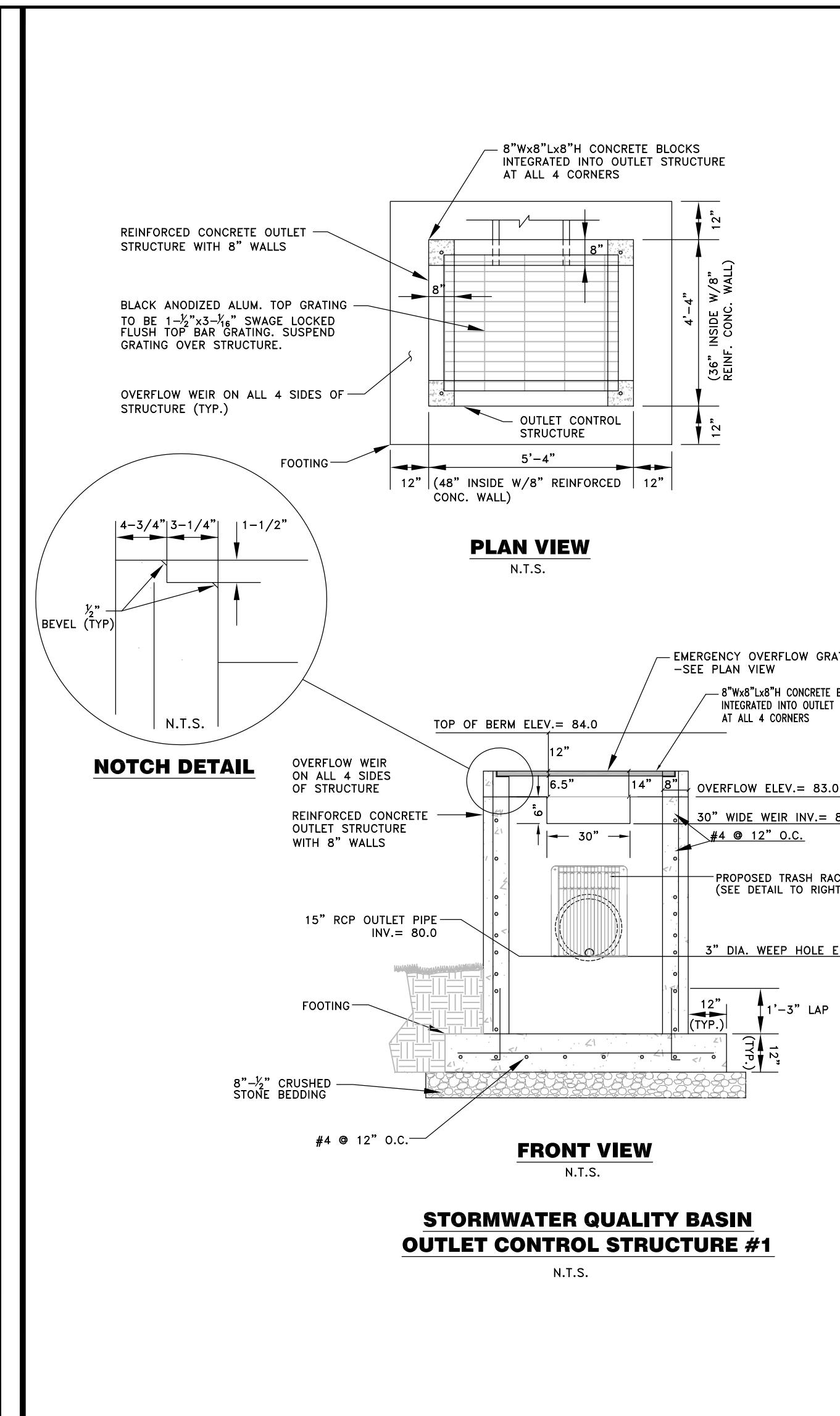
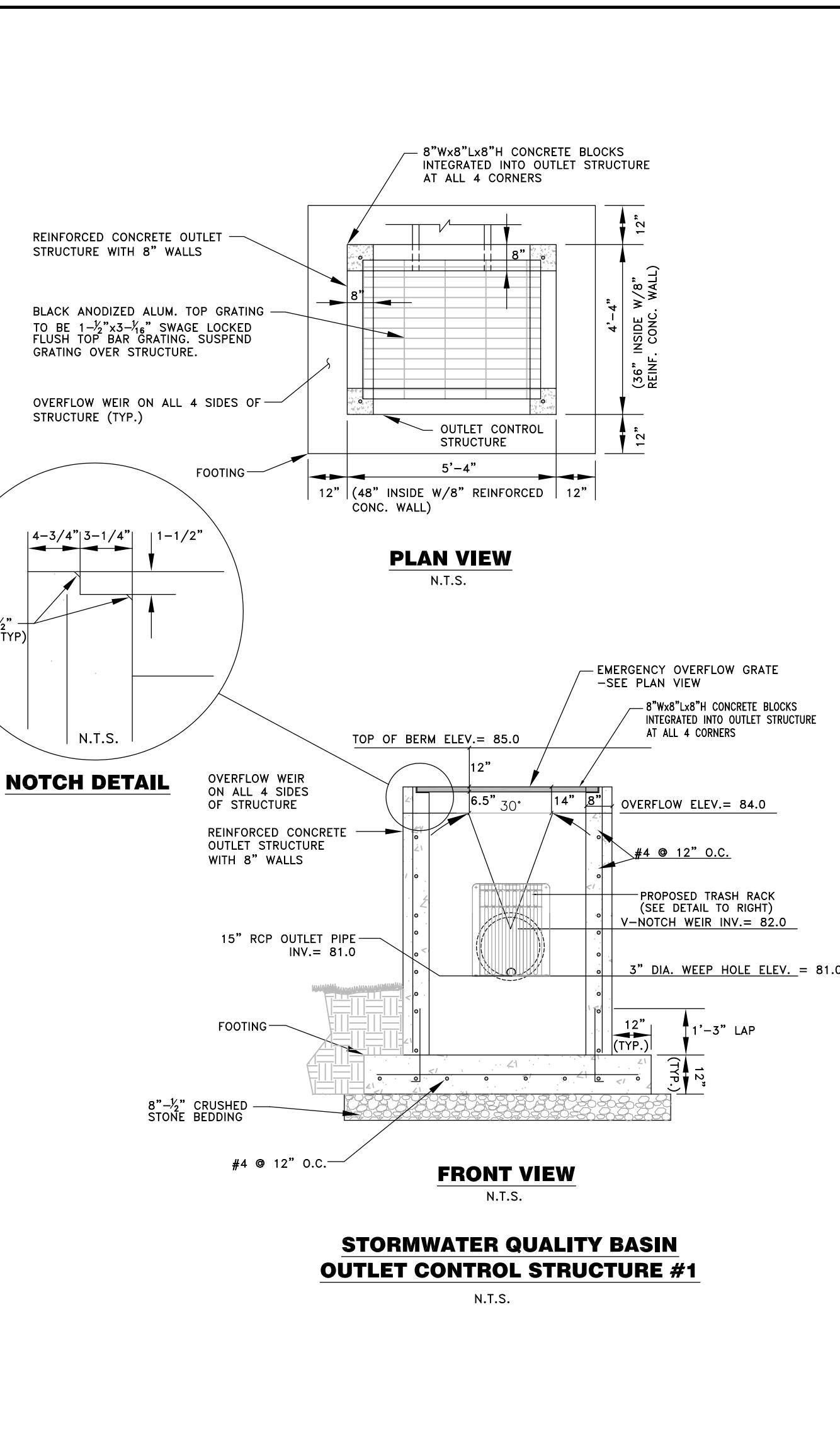
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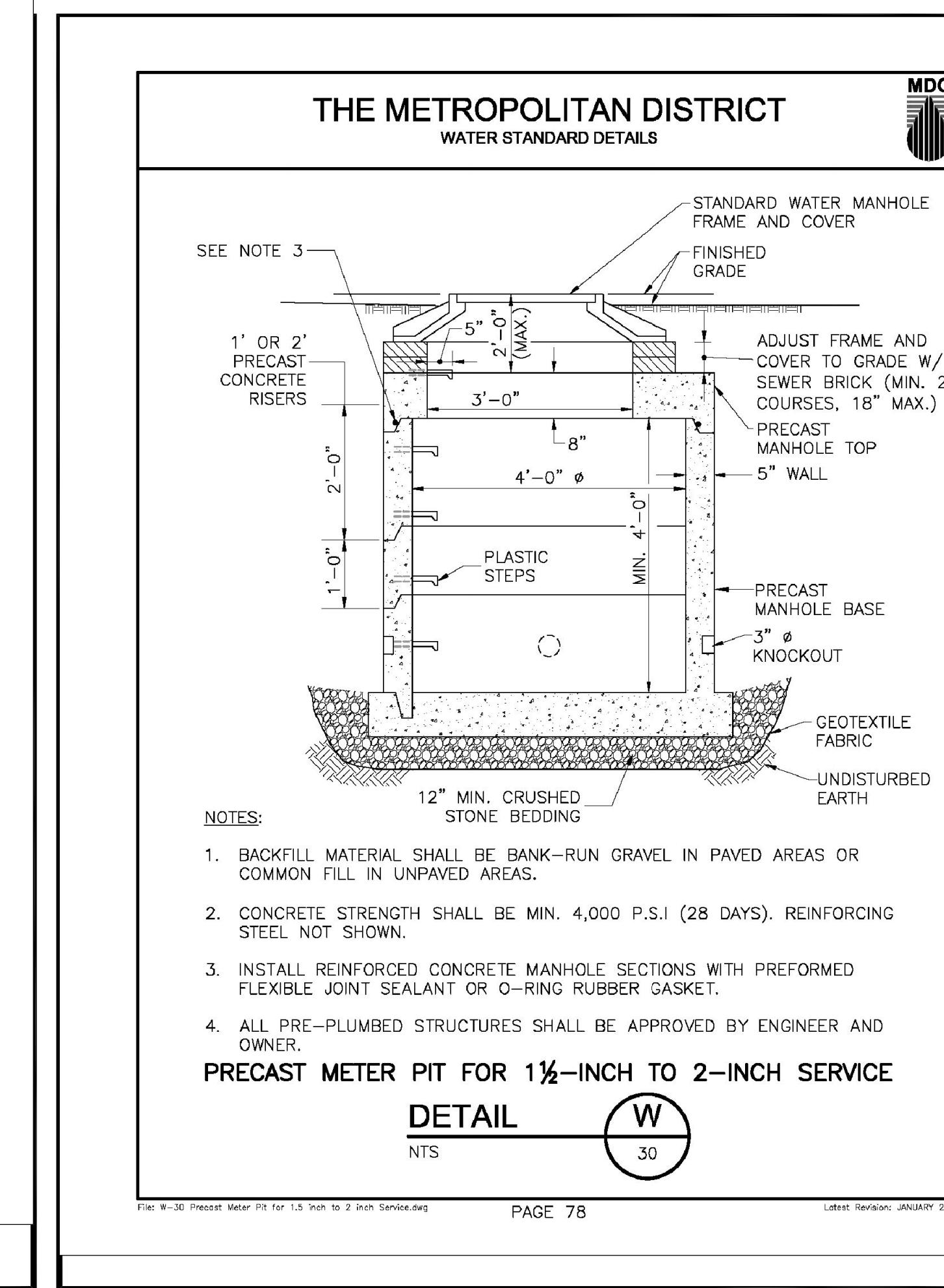
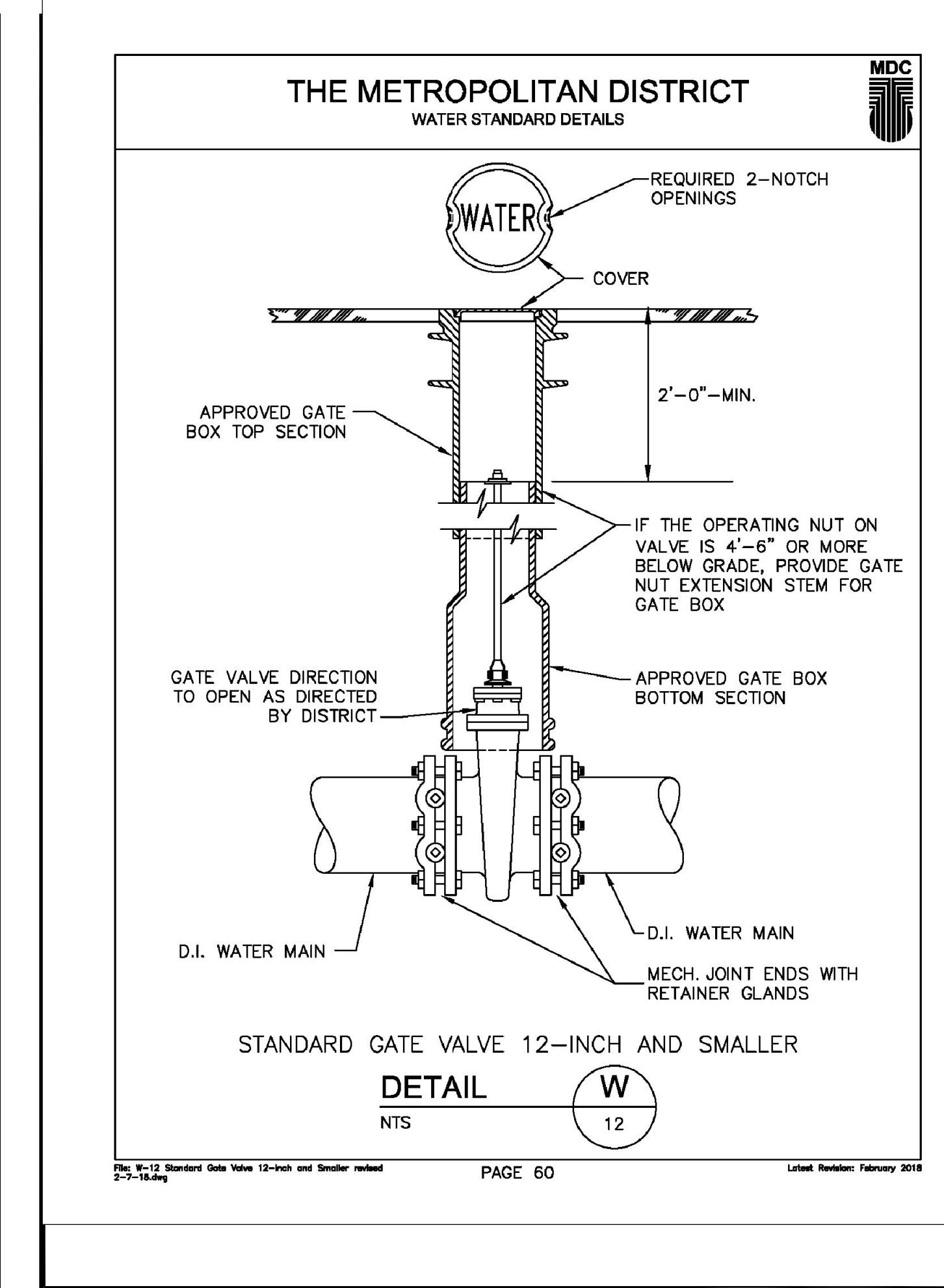
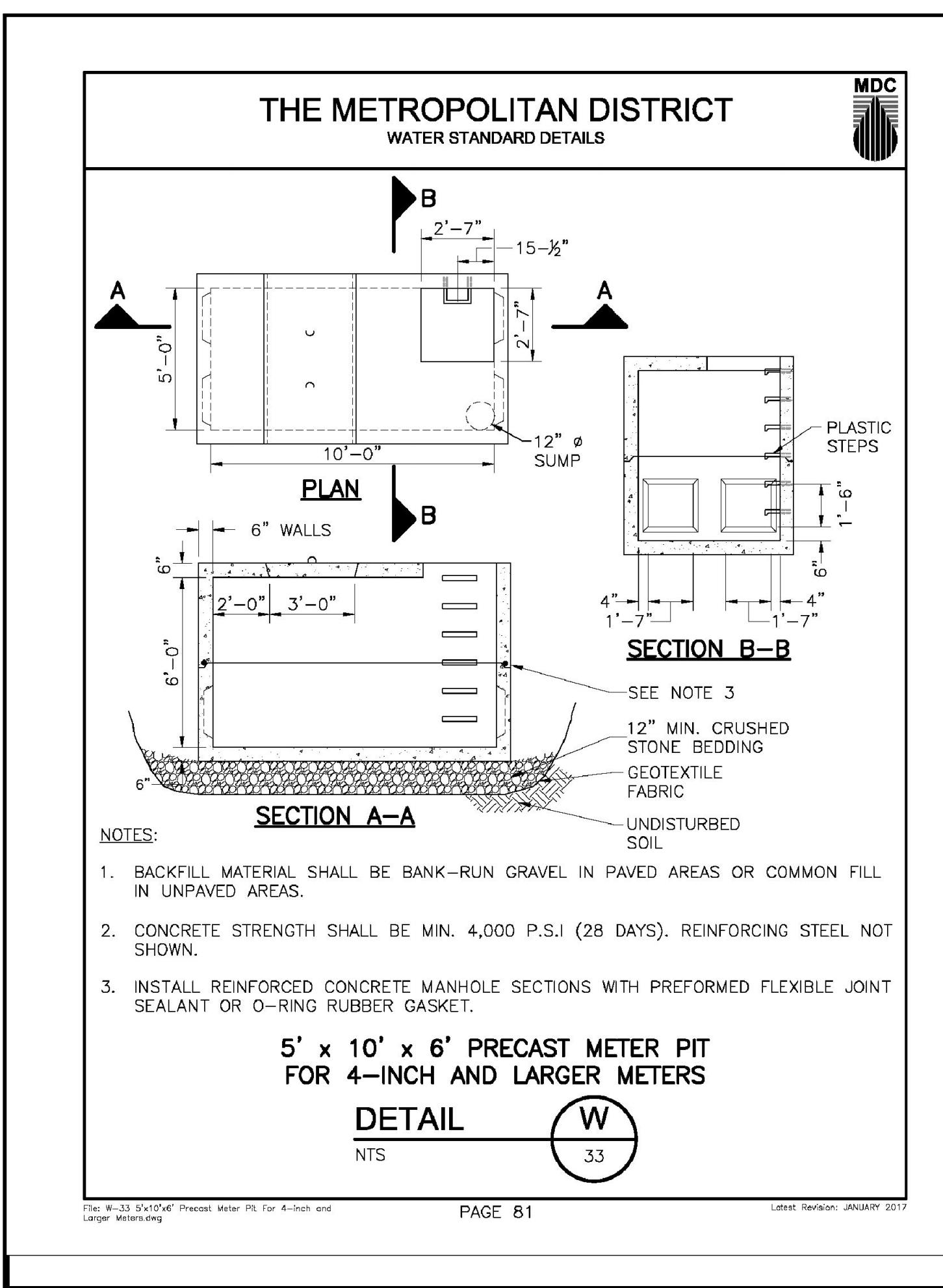
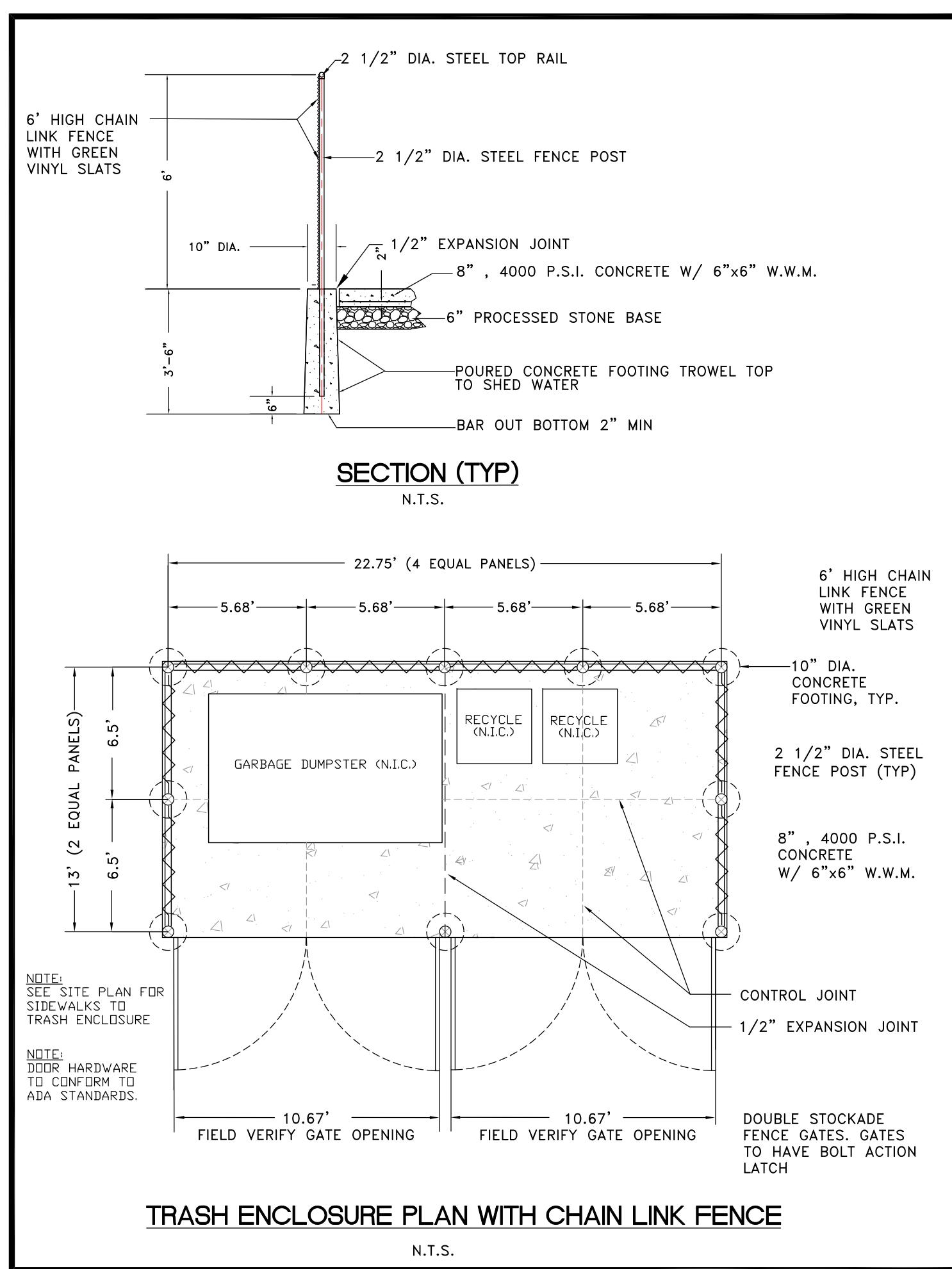
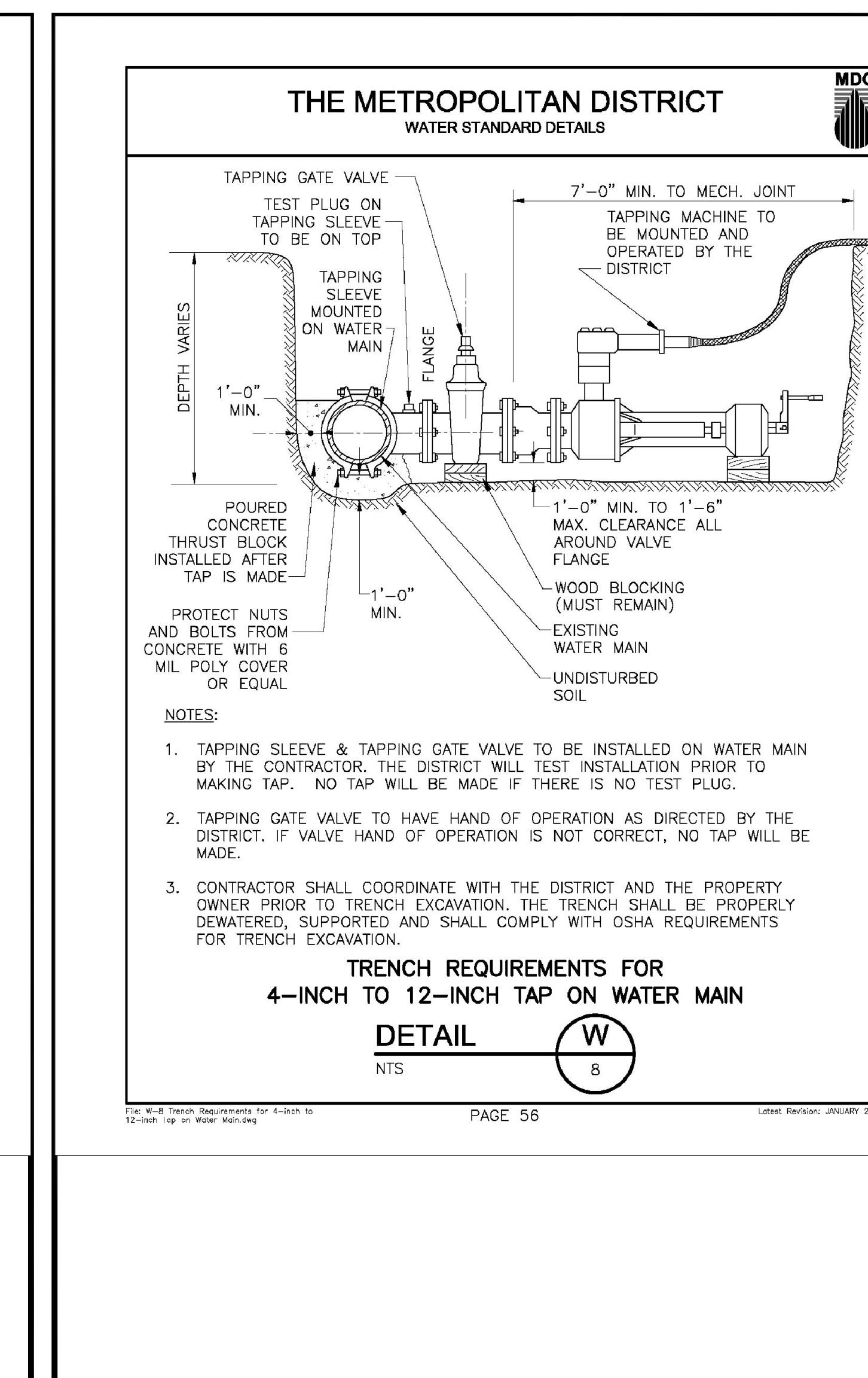
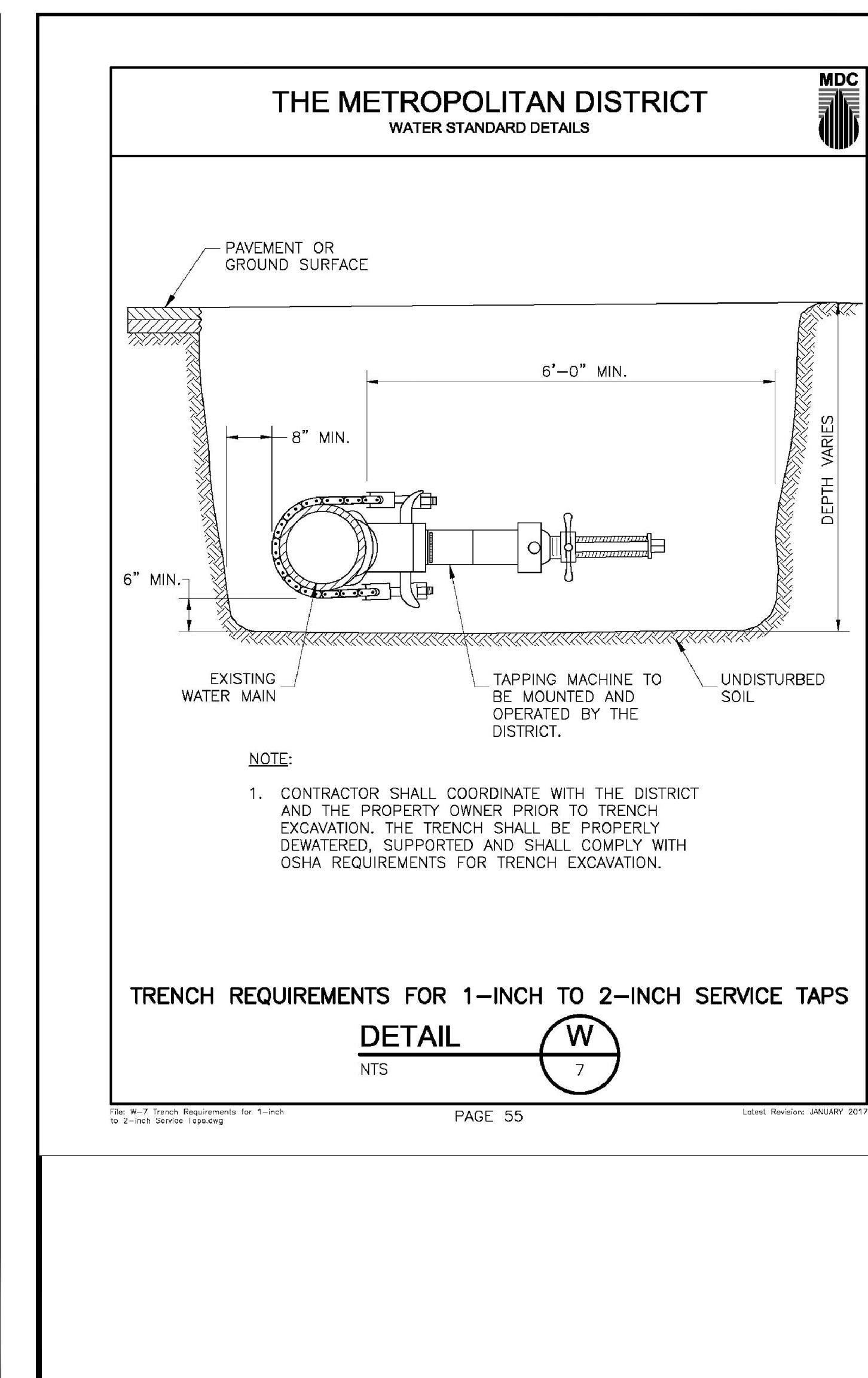
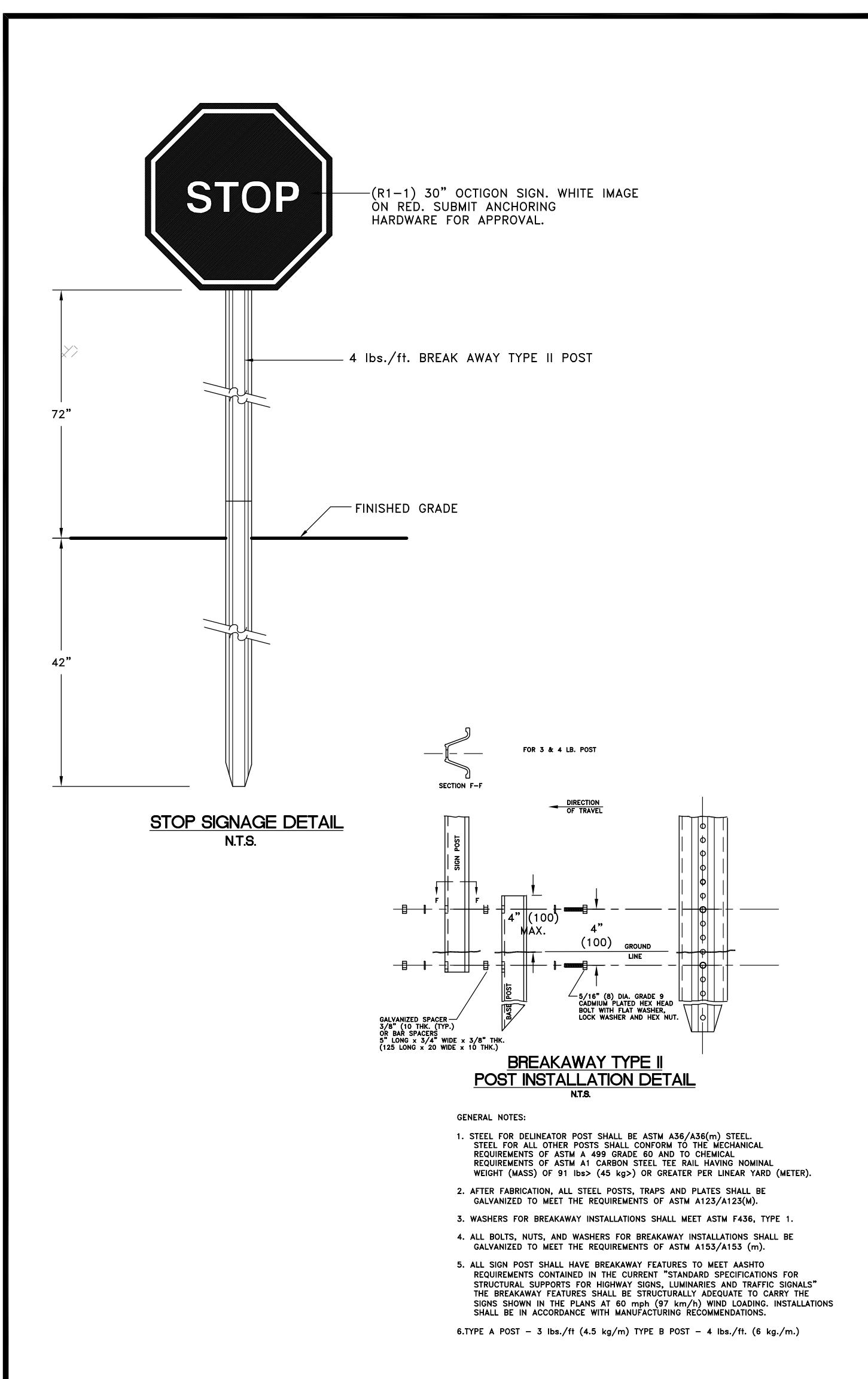
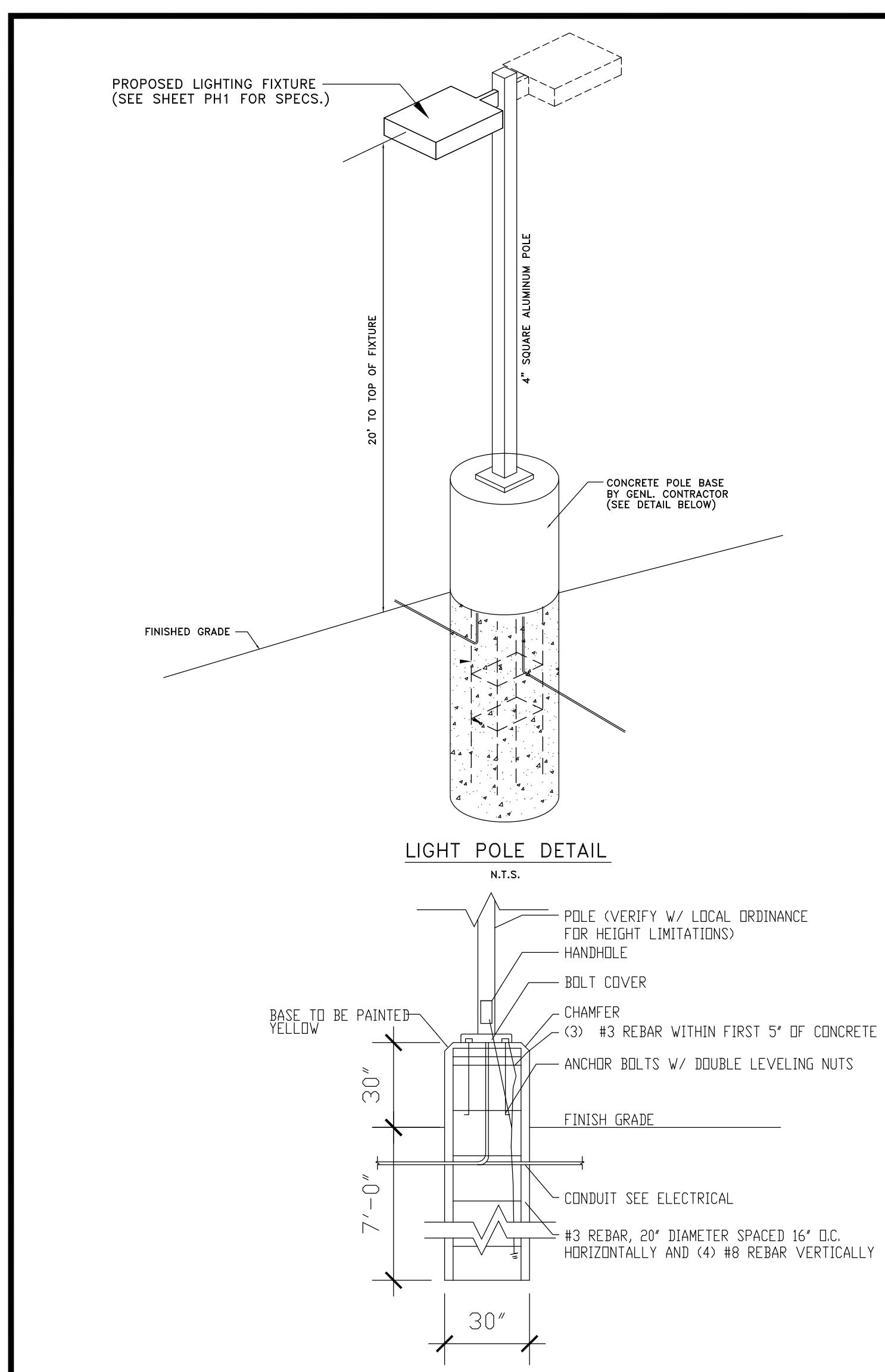


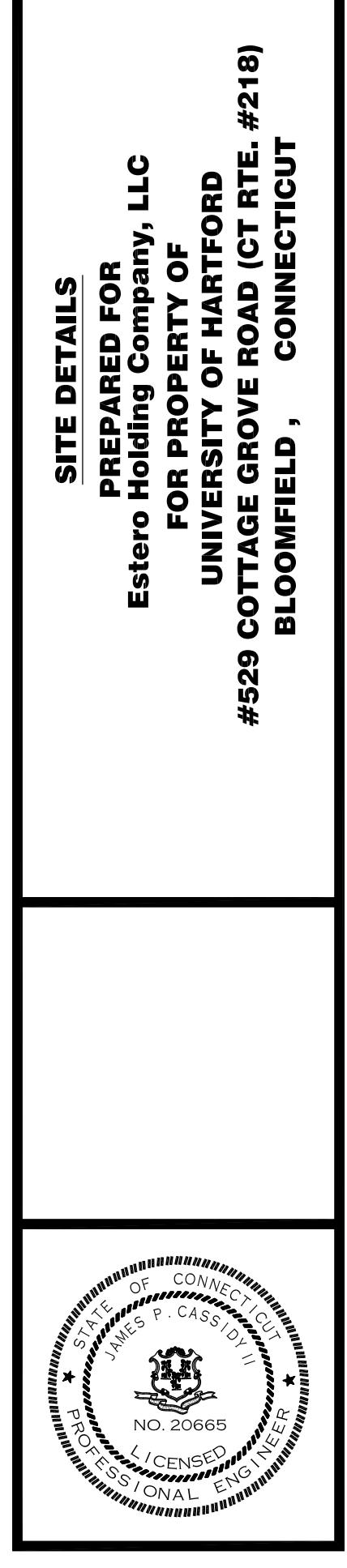
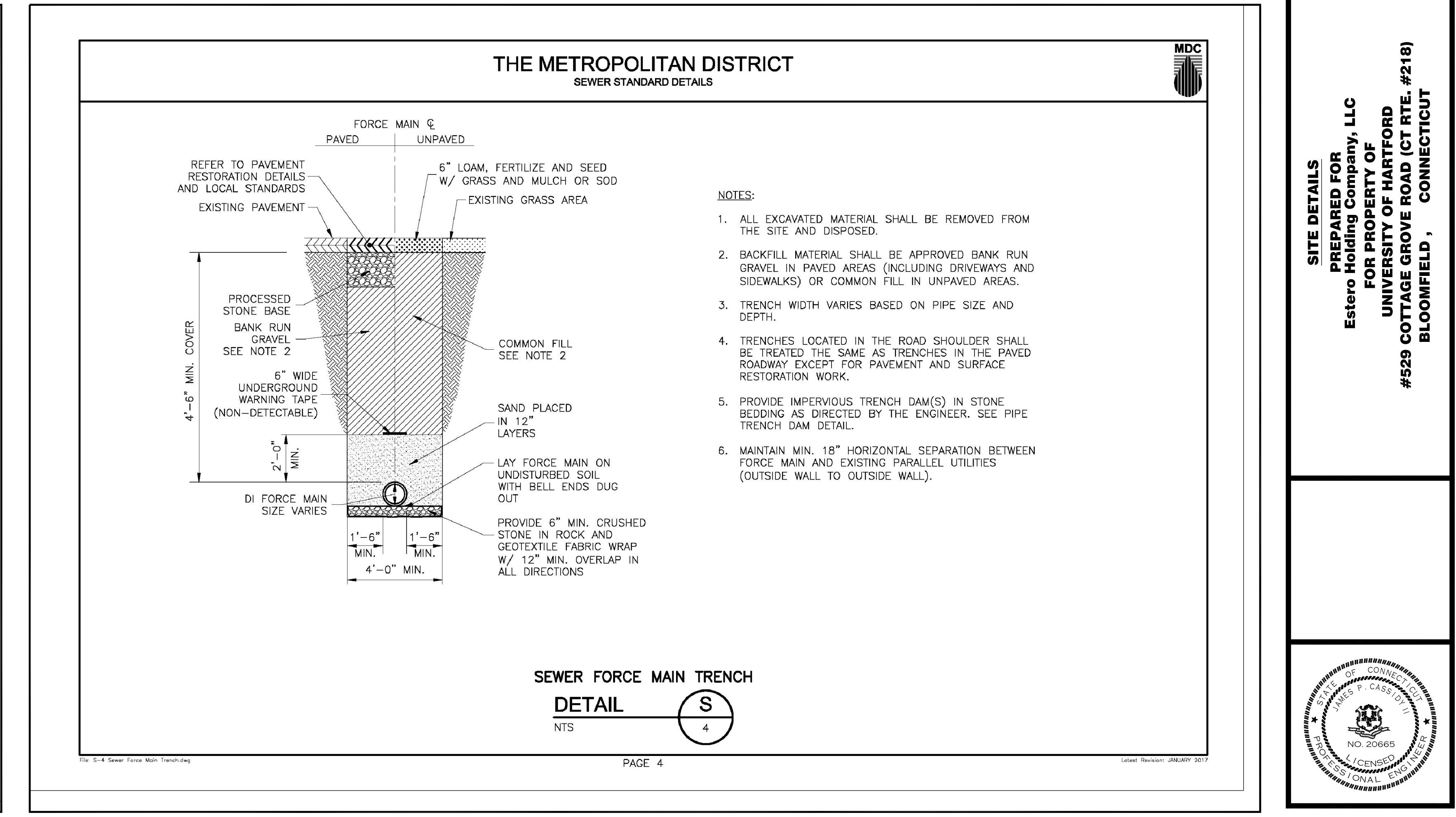
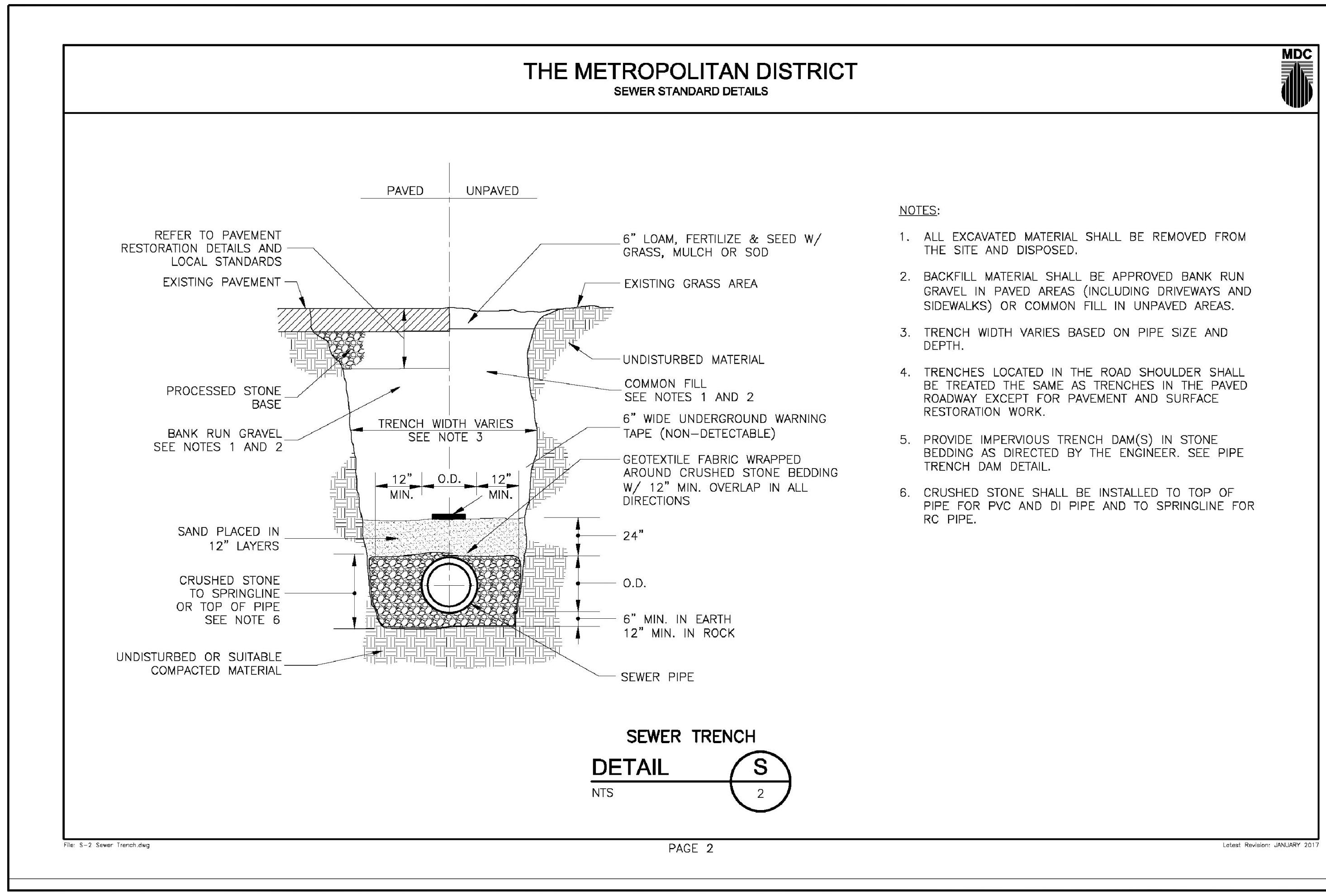
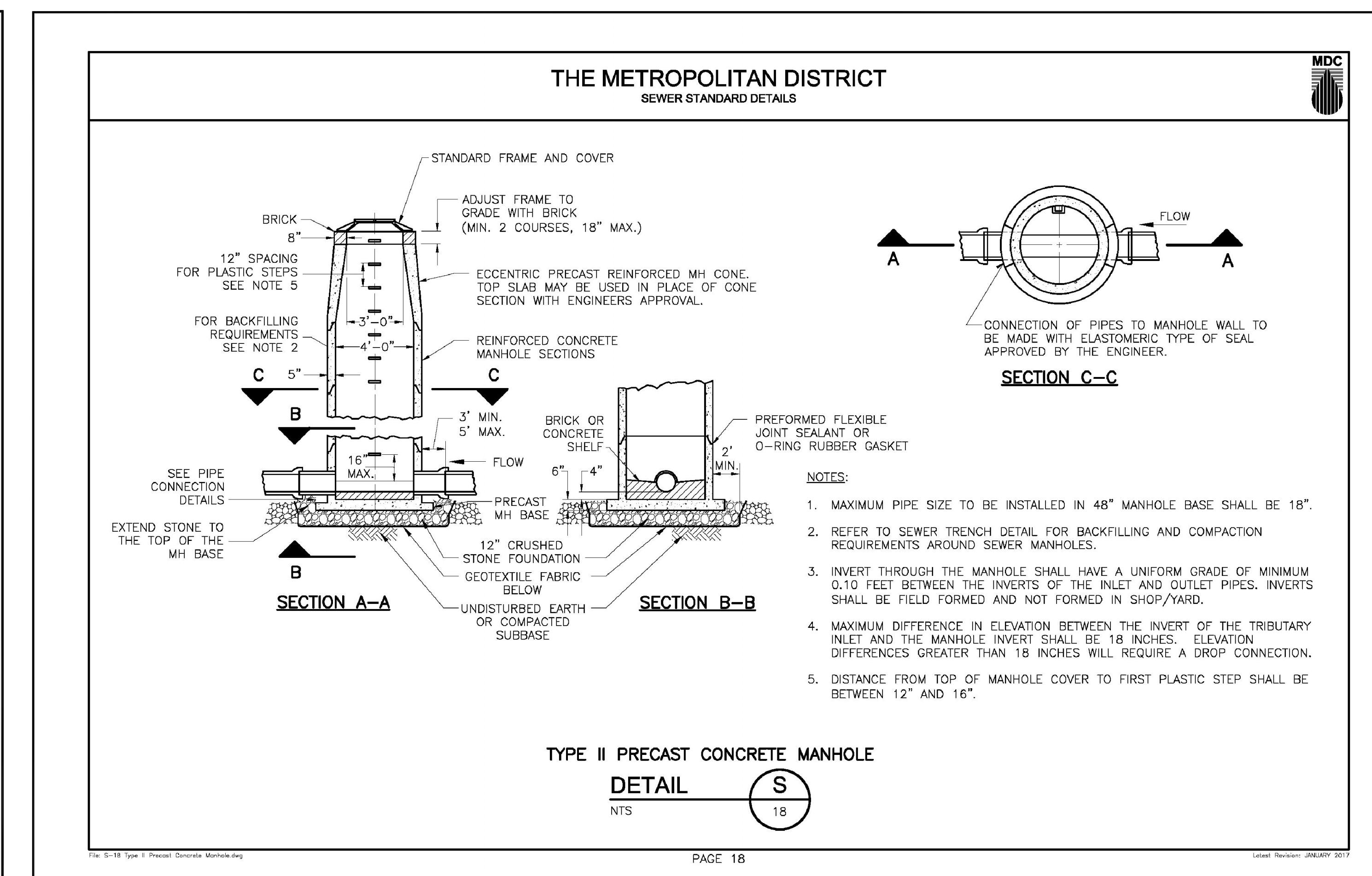
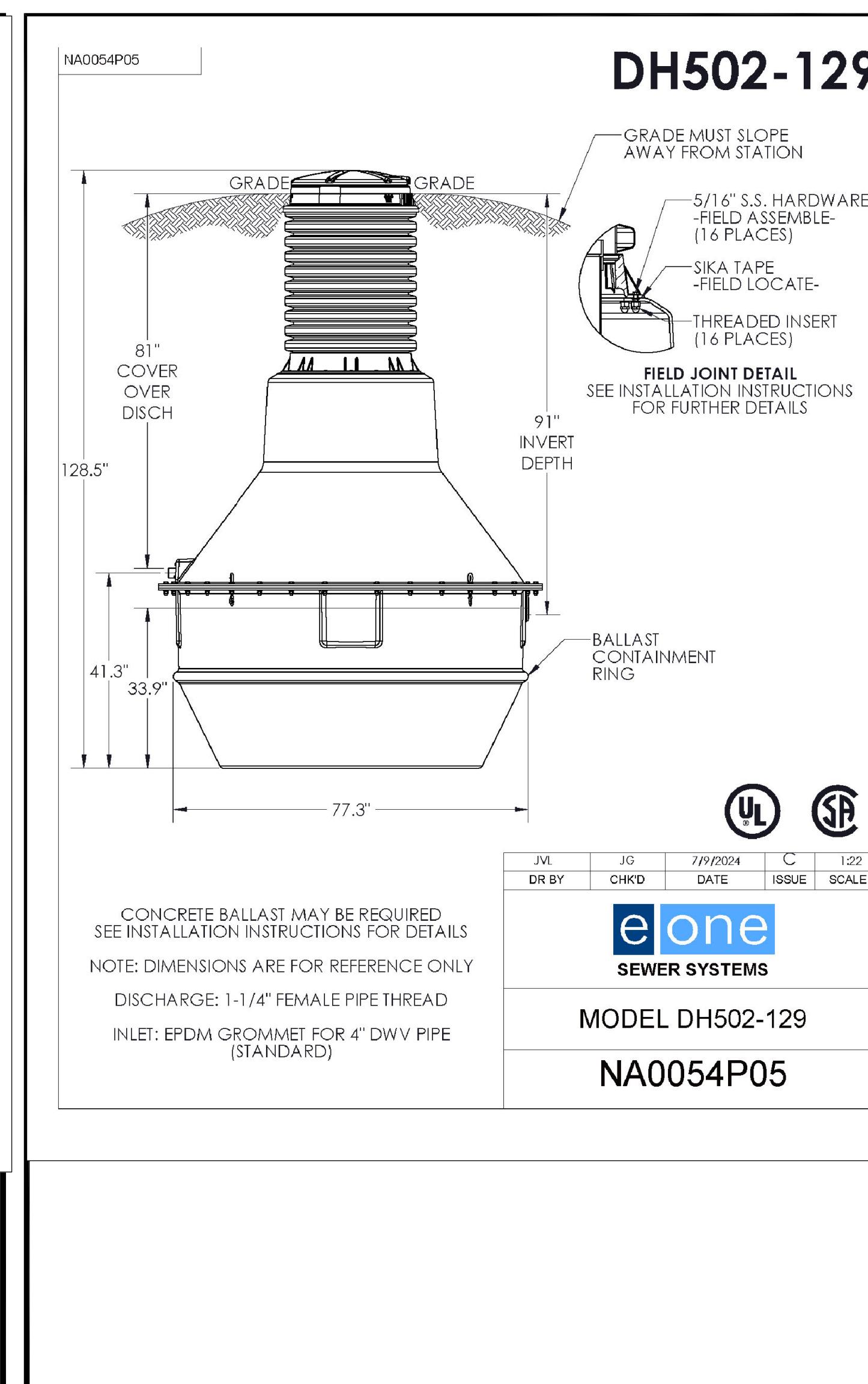
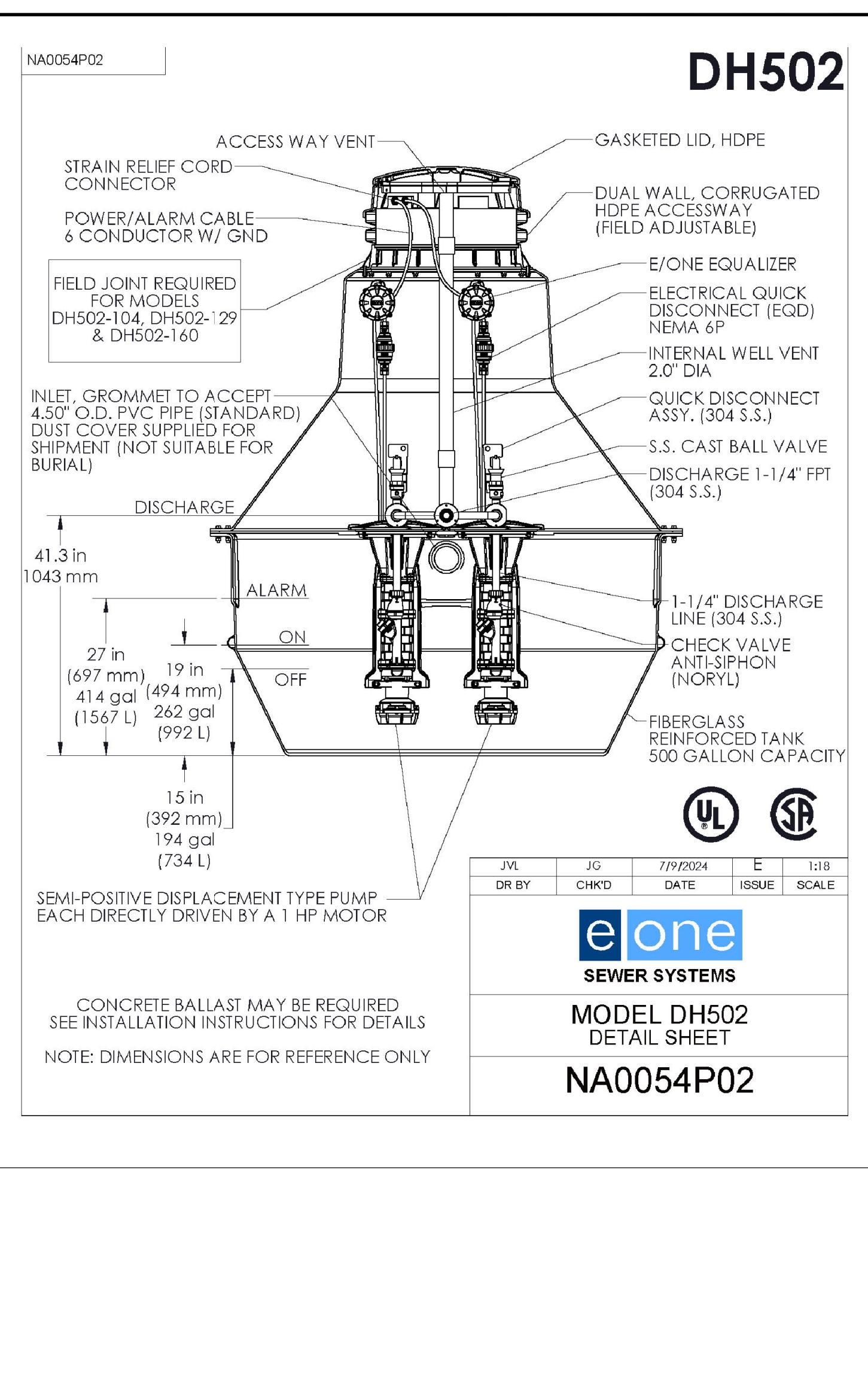
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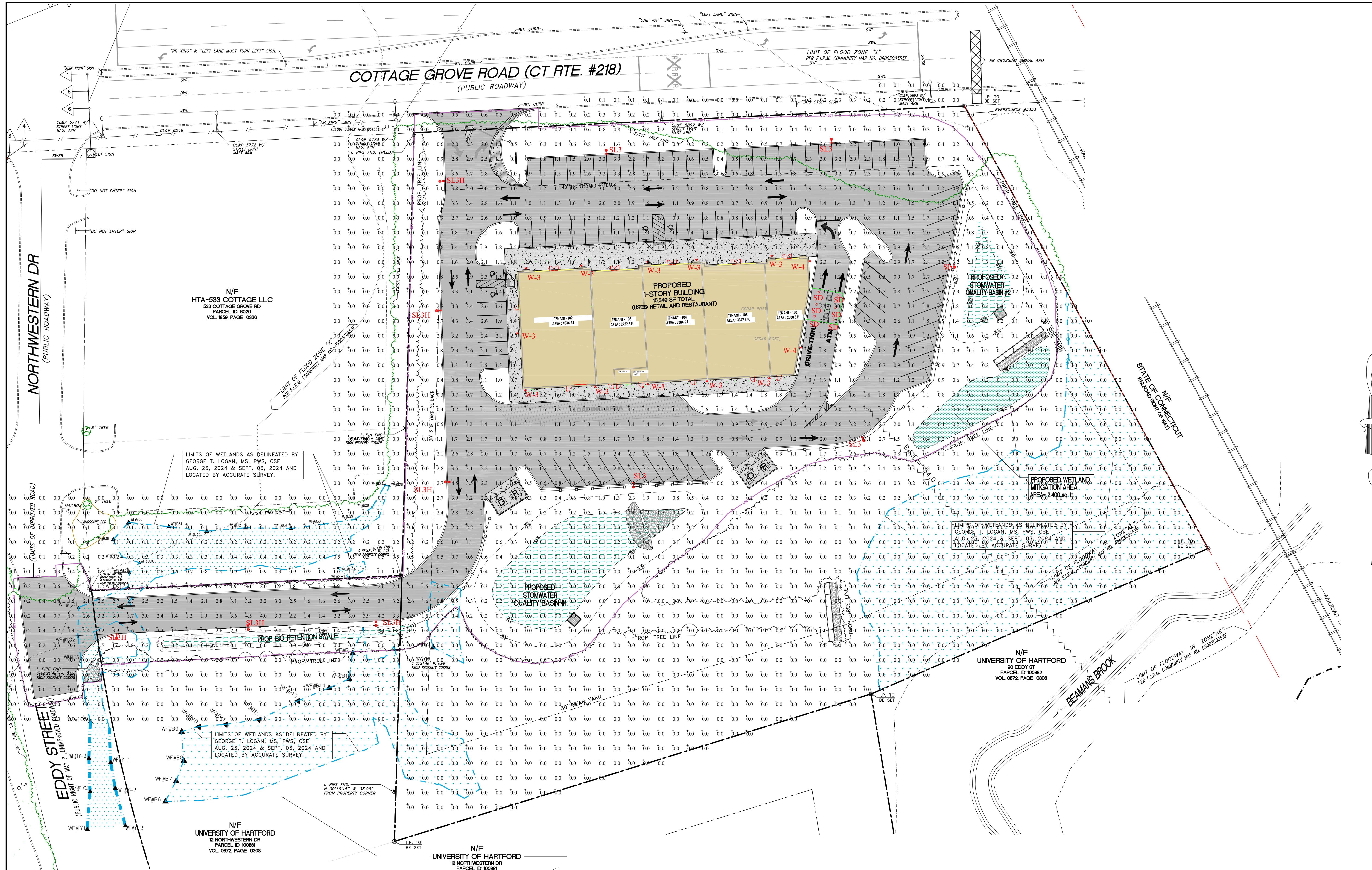
DRAFT EDITION









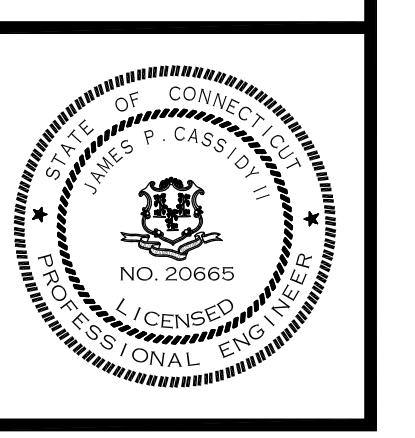


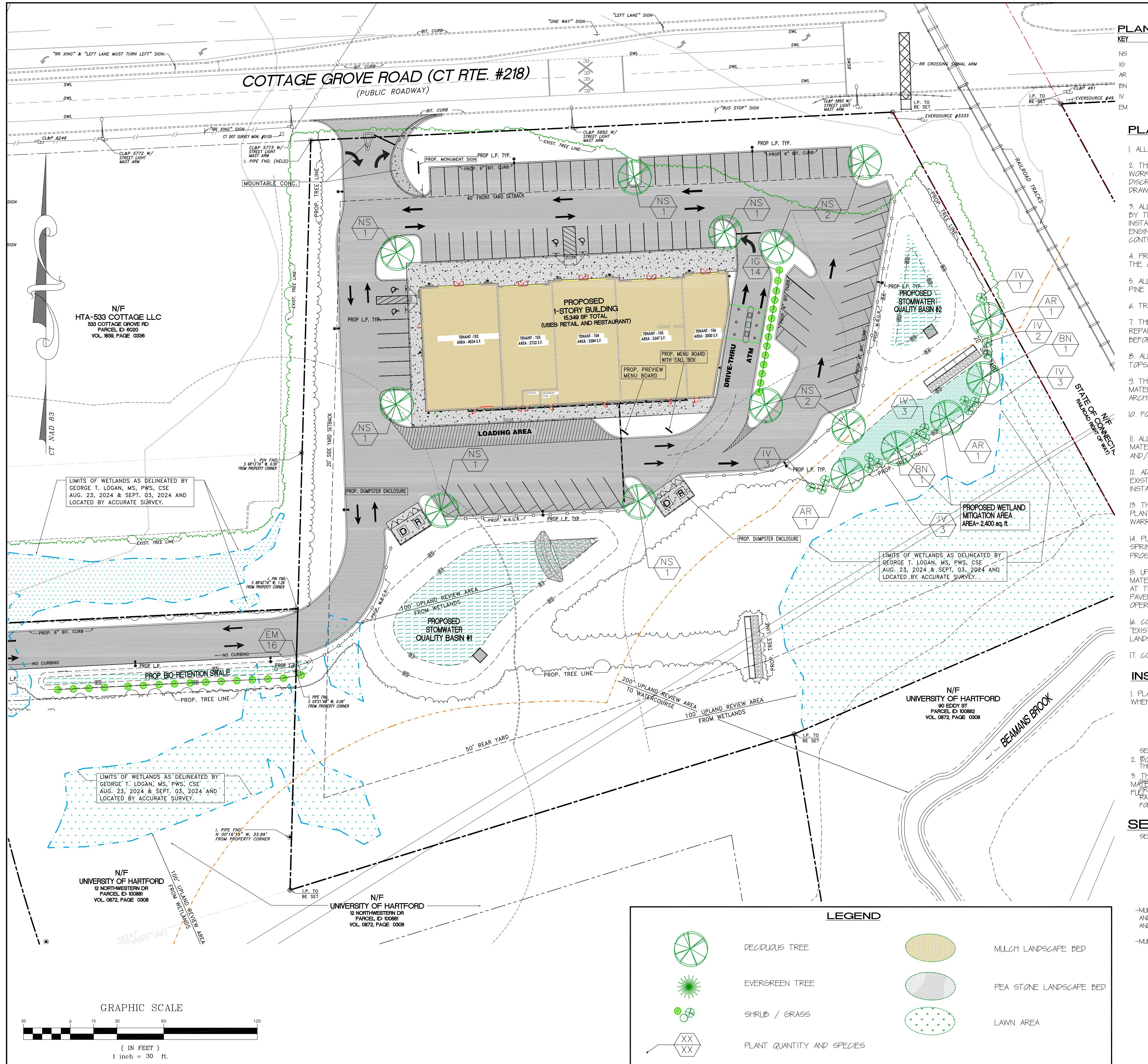
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
💡	6	SD	Single	2774	34.75	0.900	B2-U0-G0	10	Lithonia LDN6 40/30 LO6WR MVOLT GZ10
●-●	5	SL3	Single	14709	123.94	0.900	B2-U0-G4	20	Lithonia DSX1 LED P4 40K 80CRI T3M MVOLT SPA PIR DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE on 2FT BASE
●-●	6	SL3H	Single	10698	123.94	0.900	B0-U0-G3	20	Lithonia DSX1 LED P4 40K 80CRI BLC3 MVOLT SPA PIR DBLXD - SSS 18 4C DM19AS DBLXD 18FT POLE on 2FT BASE
◀	11	W-3	Single	2059	14.58	0.900	B1-U0-G1	12	Lithonia DSXW1 P2 40K 80CRI T3M MVOLT BBW PIR DBLXD
◀	2	W-4	Single	2930	21.05	0.900	B1-U0-G1	12	Lithonia DSXW1 P3 40K 80CRI TFTM MVOLT BBW PIR DBLXD

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	Illuminance	Fc	0.64	30.6	0.0	N.A.	N.A.	
DRIVE-THRU CANOPY	Illuminance	Fc	26.26	30.6	20.4	1.29	1.50	
NORTH - EAST - WEST PARKING	Illuminance	Fc	1.61	4.3	0.4	4.03	10.75	
SOUTH DRIVEWAY - PARKING	Illuminance	Fc	1.74	4.5	0.3	5.80	15.00	

Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

Website : www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email Address : gloda@lightingaffiliates.com





PLANT LIST:				
KEY	BOTANICAL NAME	COMMON NAME	QUAINTLY	SIZE
NS	NYSSA SYLVATICA	BLACK GUM (TUPELO)	10	4" CALIP.
IG	ILEX GLABRA 'SHAMROCK'	INKBERRY HOLLY 'SHAMROCK'	14	30-36" HT
AR	ACER RUBRUM	RED MAPLE	3	6' HGT.
BN	BETULA NIGRA	RIVER BIRCH	2	6' HGT.
IV	ILEX VERTICILLATA	WINTERBERRY	15	3-4' HGT.
EM	EUPATORIUM MACULATUM	SPOTTED JOE PYE WEED	16	3' HGT.

PLANT NOTES:

- I. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK TO A.N. STANDARDS.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWING, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT OR THE CIVIL ENGINEER AND WHICH ARE SUBSEQUENTLY REQUIRED TO BE MOVED WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSING AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 811 PRIOR TO CONSTRUCTION.
8. ALL SHRUBS AND GROUND COVER PLANTING AREAS SHALL BE HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL LAWN AREAS SHOULD HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER TO COORDINATE THEIR INSTALLATION.
10. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.

- II. ALL EXISTING RILL, GULL OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
12. ADJUSTMENTS IN THE LOCATIONS OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
14. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS DIRECTED BY THE OWNER.
15. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
16. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO CLEARING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

INSTALLATION SCHEDULE and MAINTENANCE PLAN:

- I. PLANTING ONLY UNDER FAVORABLE WEATHER CONDITIONS. PLANTING WILL NOT BE PERMITTED WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST.
DECIDUOUS MATERIAL
SPRING: MARCH 21 TO JUNE 01.
FALL: SEPT. 01 TO NOV. 01
- IF PLANTING DURING PEAK SUMMER MONTHS OF JULY AND AUGUST, CONTRACTOR SHALL AGGRESSIVELY IRRIGATE PLANTS TO ENSURE ESTABLISHMENT AND SURVIVAL.
SEEDING MAY BE OF A PERMANENT OR TEMPORARY TYPE DEPENDING ON THE TIME OF YEAR
2. ~~IT IS DONE~~ PLANTING PERMANENT SEEDING SHOULD BE DONE DURING THE PERIODS MIDL APRIL 1 THROUGH JUNE 1 OR AUGUST 15 THROUGH SEPTEMBER 1.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE, REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED FOR THE DURATION OF THE PROJECT, Limed & Fertilized FULL YEAR FROM COMMENCEMENT OF PLANT INSTALLATION. It is recommended to determine rates of application for the lime and fertilizer lacking such testing the

FOLLOWING ARE RECOMMENDED:

LIME	2 TONS/ACRE (90 lbs./1000 sq. ft.)
FERTILIZER (10-10-10)	75 lbs./1000 sq. ft.)

SEEDING AND CULTIVATION SPECIFICATIONS

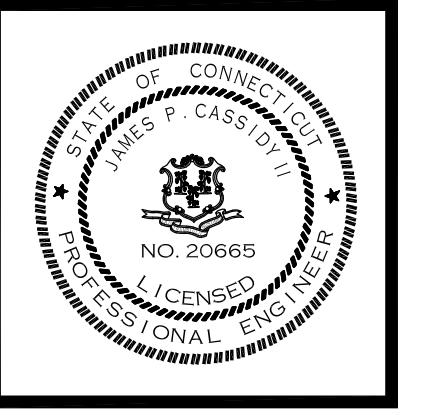
SEEDING AND MULCHING

RECOMMENDATIONS ARE AS FOLLOWS:

<u>TEMPORARY - ANNUAL RYEGRASS</u>	<u>@40 LBS./ACRE</u>
PERMANENT - KENTUCKY BLUE GRASS	@20 LBS./ACRE
CREEPING RED FESCUE	@20 LBS./ACRE
<u>PERENNIAL RYEGRASS</u>	@5 LBS./ACRE
	15 LBS./ACRE

-MULCHING SHALL BE OF A TEMPORARY TYPE, TO PROTECT THE SOIL & SEED FROM EROSION AND TO ALSO PROMOTE PLANT GROWTH. MULCHING SHALL BE DONE AFTER FINAL GRADING AND SEEDING

- MULCHING RECOMMENDATION ARE AS FOLLOWS:
 - STRAW OR HAY (FREE FROM WEEDS AND COARSE MATTER)
SPREAD WITH MULCH BLOWER OR BY HAND
APPLY @ RATE OF 70 - 90 LBS/100 SQ. FT



SITE LANDSCAPING PLAN

PREPARED FOR

Estero Holding Company, LLC

FOR PROPERTY OF

UNIVERSITY OF HARTFORD

#529 COTTAGE GROVE ROAD (CT RTE. #2)

BLOOMFIELD, CONNECTICUT

ALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

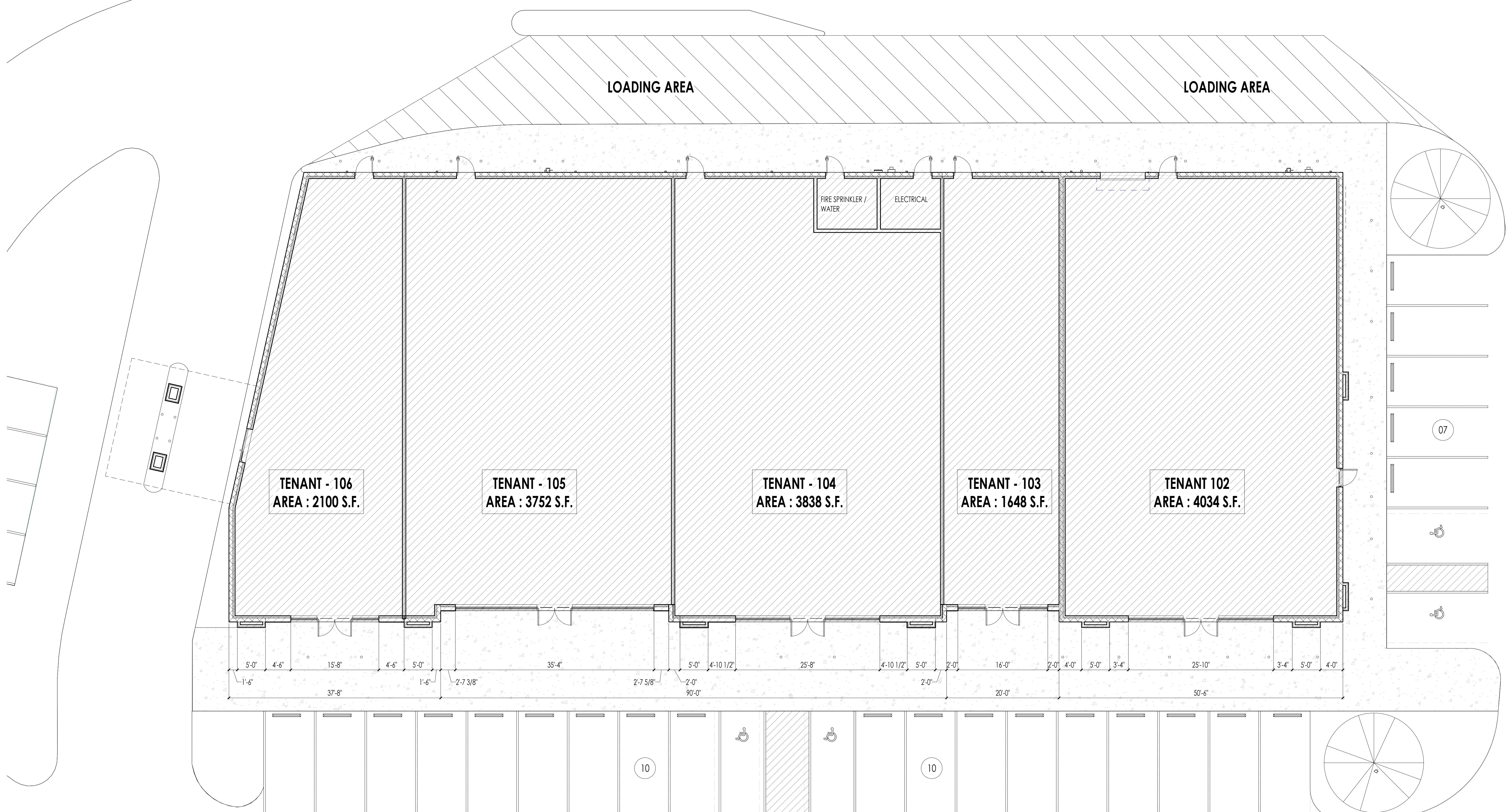
LISEY, PEARSON & CASS

CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-770

SCALE: 1"=30'	
DATE: MAR. 09, 202	
JOB No.: 3566	
SHEET: L	
REVISED: MAY 02, 2025 PER INITIAL	

SCALE: 1" =
DATE: MAR
OB No.: 3
SHEET:
REVISONS:
JAY 02, 2025

SHOPES AT
COTTAGE GROVE

 #529 COTTAGE GROVE
ROAD (CT RTE. #218)
BLOOMFIELD,
CONNECTICUT


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Job Number: 2524
Issue Date: 03.21.2025
Revisions:
Revisions:
Revisions:
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Revisions:
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Revisions:
Revisions:
Revisions:

OVERALL FLOOR PLAN

01
OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"



Sheet Number:

A1.0A

KEYNOTES

- 1 TENANT SIGNAGE- UNDER SEPARATE PERMIT.
- 2 HARDIE PLANK LAP SIDING- OR EQUAL- PRIME AND PAINT.
- 3 SMOOTH CONCRETE MASONRY UNIT, COLOR 1.
- 4 SPLIT FACE CONCRETE MASONRY UNIT, COLOR 2.
- 5 STANDING SEAM METAL AWNING W/ SNOW GUARDS.
- 6 SYNTHETIC STONE VENEER AS APPROVED BY THE OWNER.
- 7 CLEAR ANODIZED ALUMINUM STOREFRONT.
- 8 SNOW GUARD.
- 9 SYNTHETIC STONE SILL/WATER TABLE, AS SPECIFIED.
- 10 EIFS CORNICE, PRIME AND PAINT.
- 11 PRE-FINISHED METAL COPING.
- 12 EIFS- PRIME AND PAINT.
- 13 6" CONCRETE FILLED PIPE BOLLARDS- PRIME AND PAINT.
- 14 CMU COLUMNS WITH STONE BASE, CAST STONE WATERTABLE, AND EIFS.
- 18 DRIVE-THROUGH CANOPY- PRIME AND PAINT.
- 19 DECORATIVE SCONCE LIGHT FIXTURE.
- 27 RTU - REFER MECHANICAL.

**SHOPPES AT
COTTAGE GROVE**

#529 COTTAGE GROVE
ROAD (CT RTE. #218)
BLOOMFIELD,
CONNECTICUT



01 NORTH ELEVATION - A
SCALE: 1/4" = 1'-0"

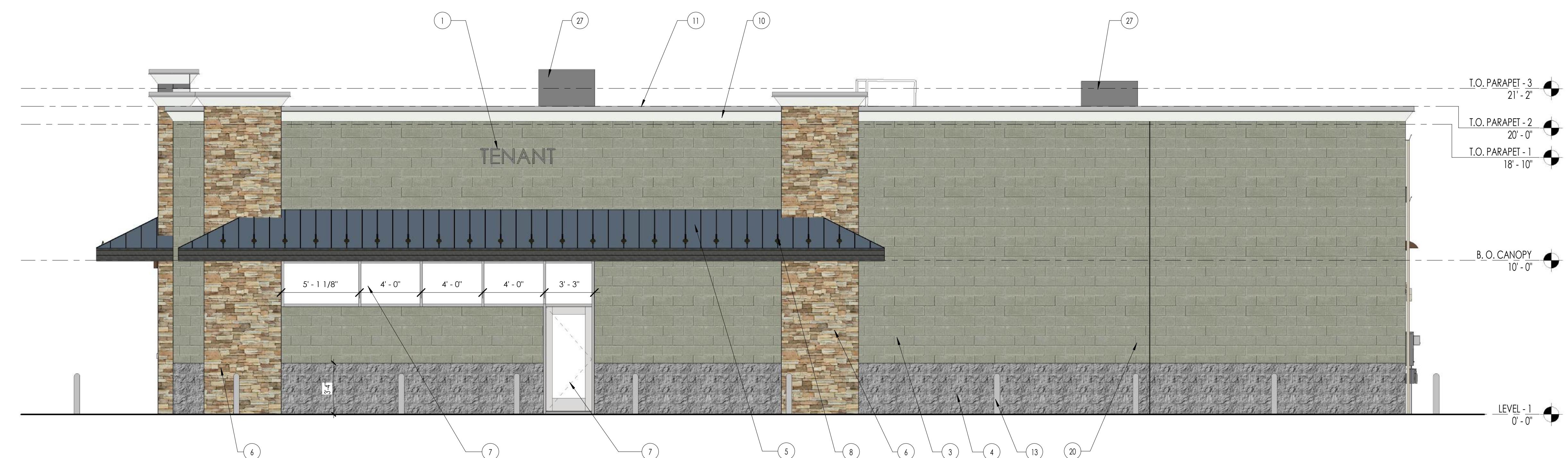


02 NORTH ELEVATION - B
SCALE: 1/4" = 1'-0"

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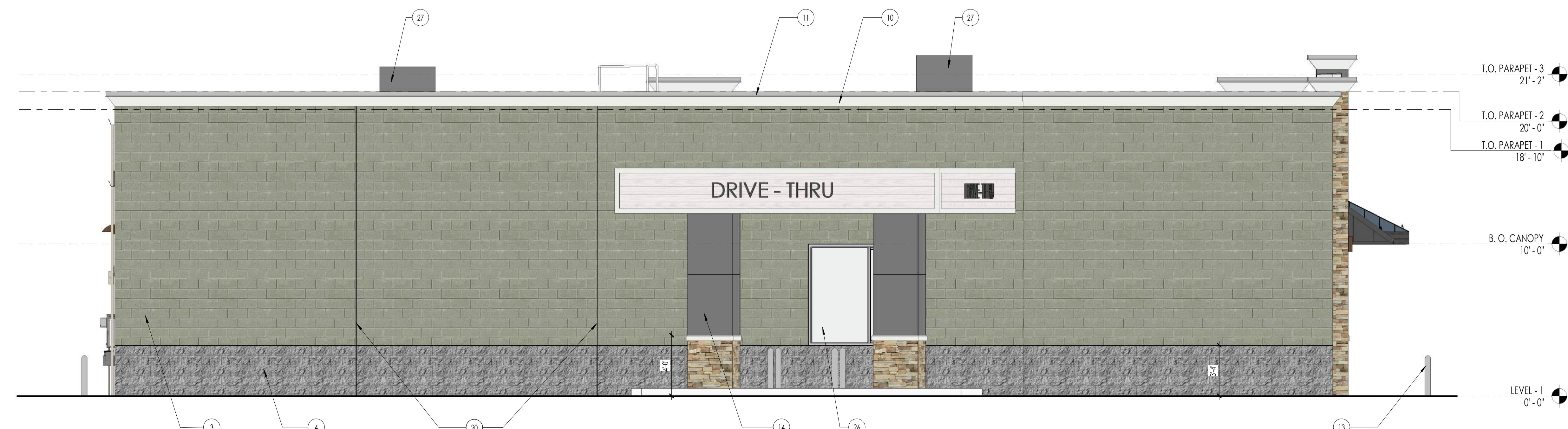
ENLARGED FRONT COLORED ELEVATIONS


KEYNOTES

- 1 TENANT SIGNAGE-UNDER SEPARATE PERMIT.
- 3 SMOOTH CONCRETE MASONRY UNIT, COLOR 1.
- 4 SPLIT FACE CONCRETE MASONRY UNIT, COLOR 2.
- 5 STANDING SEAM METAL AWNING W/ SNOW GUARDS.
- 6 SYNTHETIC STONE VENEER AS APPROVED BY THE OWNER.
- 7 CLEAR ANODIZED ALUMINUM STOREFRONT.
- 8 SNOW GUARD.
- 10 EIFS CORNICE, PRIME AND PAINT.
- 11 PRE-FINISHED METAL COPING.
- 13 6" CONCRETE FILLED PIPE BOLLARDS- PRIME AND PAINT.
- 14 CMU COLUMNS WITH STONE BASE, CAST STONE WATERTABLE, AND EIFS.
- 20 CONTROL JOINT.
- 26 DRIVE-THROUGH WINDOW.
- 27 RTU - REFER MECHANICAL.

**SHOPPES AT
COTTAGE GROVE**

#529 COTTAGE GROVE
ROAD (CT RTE. #218)
BLOOMFIELD,
CONNECTICUT



(02) EAST ELEVATION
SCALE: 1/4" = 1'-0"

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Revisions:

ENLARGED SIDE COLORED ELEVATIONS



Sheet Number:

A2.1 B