

SITE PLAN & SPECIAL PERMIT APPLICATION - PLANNING & ZONING COMMISSION

WETLANDS PERMIT APPLICATION - INLAND WETLANDS & WATERCOURSES COMMISSION

FOR

PROPOSED 15,349 sq. ft. COMMERCIAL USE BUILDING

**FOR PROPERTY LOCATED AT
PROPERTY ID: 100880
#529 COTTAGE GROVE ROAD
BLOOMFIELD, CONNECTICUT**

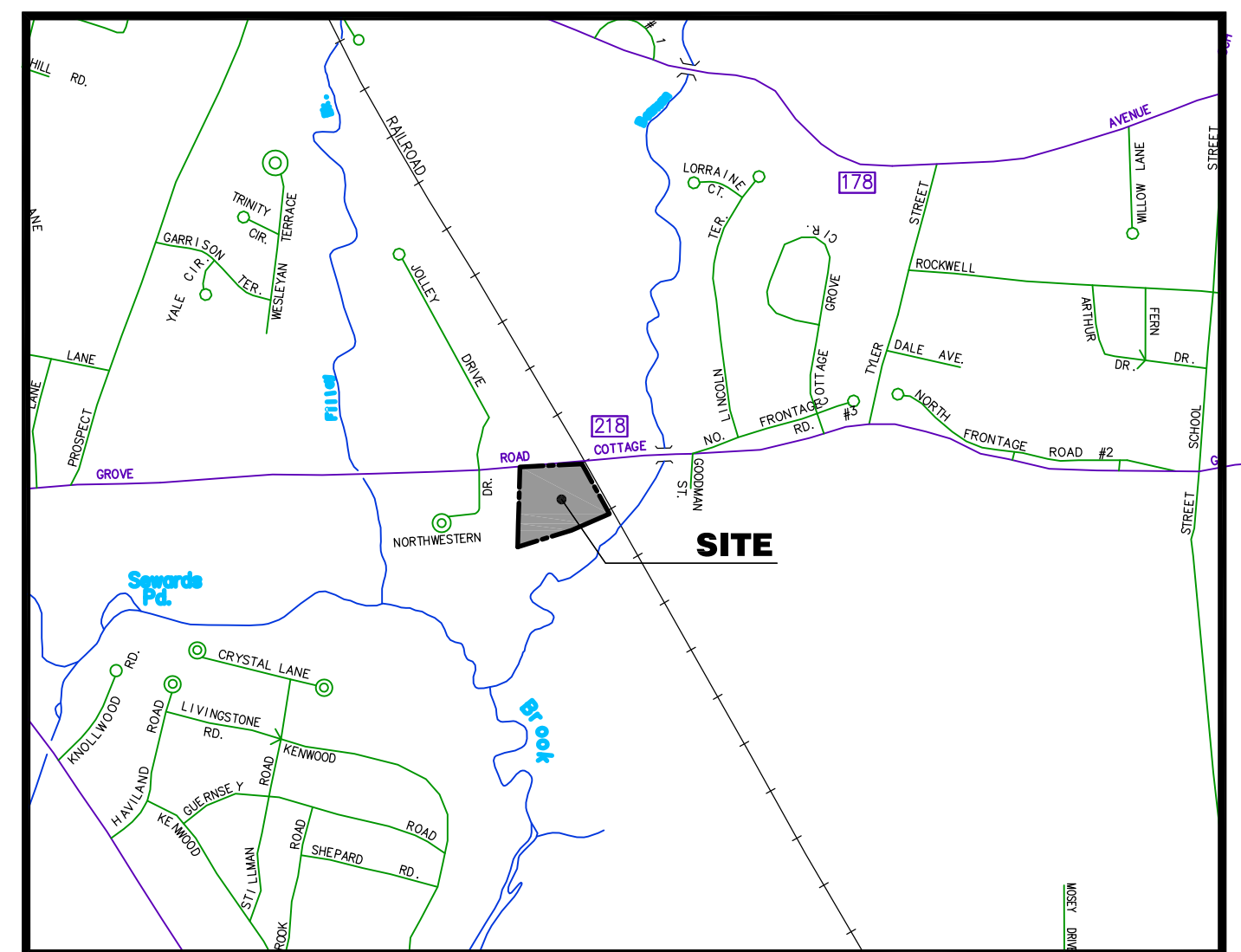
OWNER:

UNIVERSITY OF HARTFORD
200 BLOOMFIELD AVENUE
WEST HARTFORD, CT 06117

DATE: MAR. 09, 2025
REVISED MAY 02, 2025

APPLICANT & DEVELOPER

ESTERO HOLDING COMPANY, LLC
ATTN.: MARK D'ADDABBO
P.O. BOX #36
NEWPORT, RI 02840
PHONE NUMBER: 860-729-6812



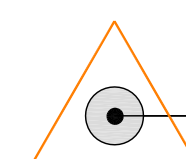
LOCATION MAP

SCALE: 1" = 1,000'

SHEET INDEX

SHEET # DRAWING TITLE

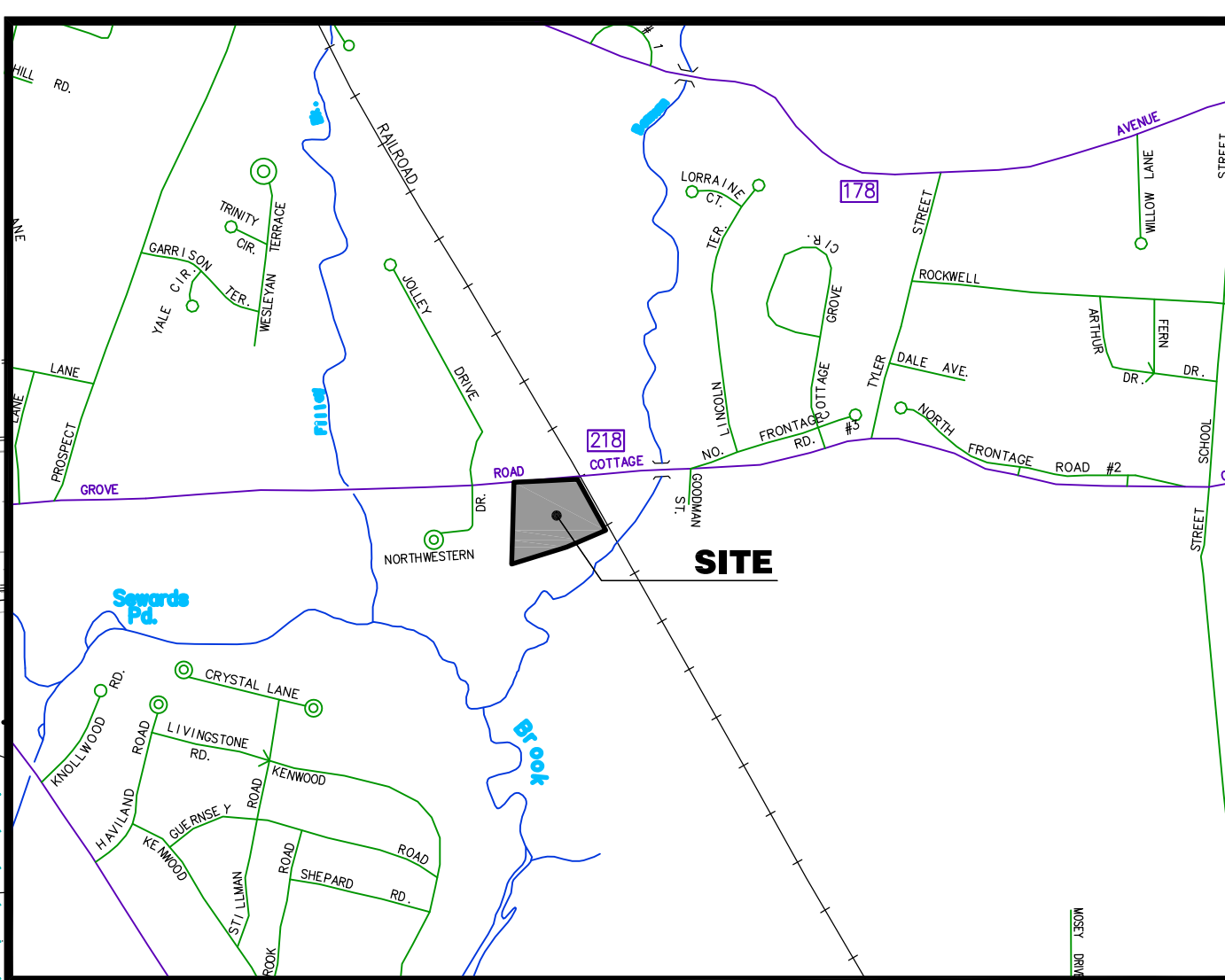
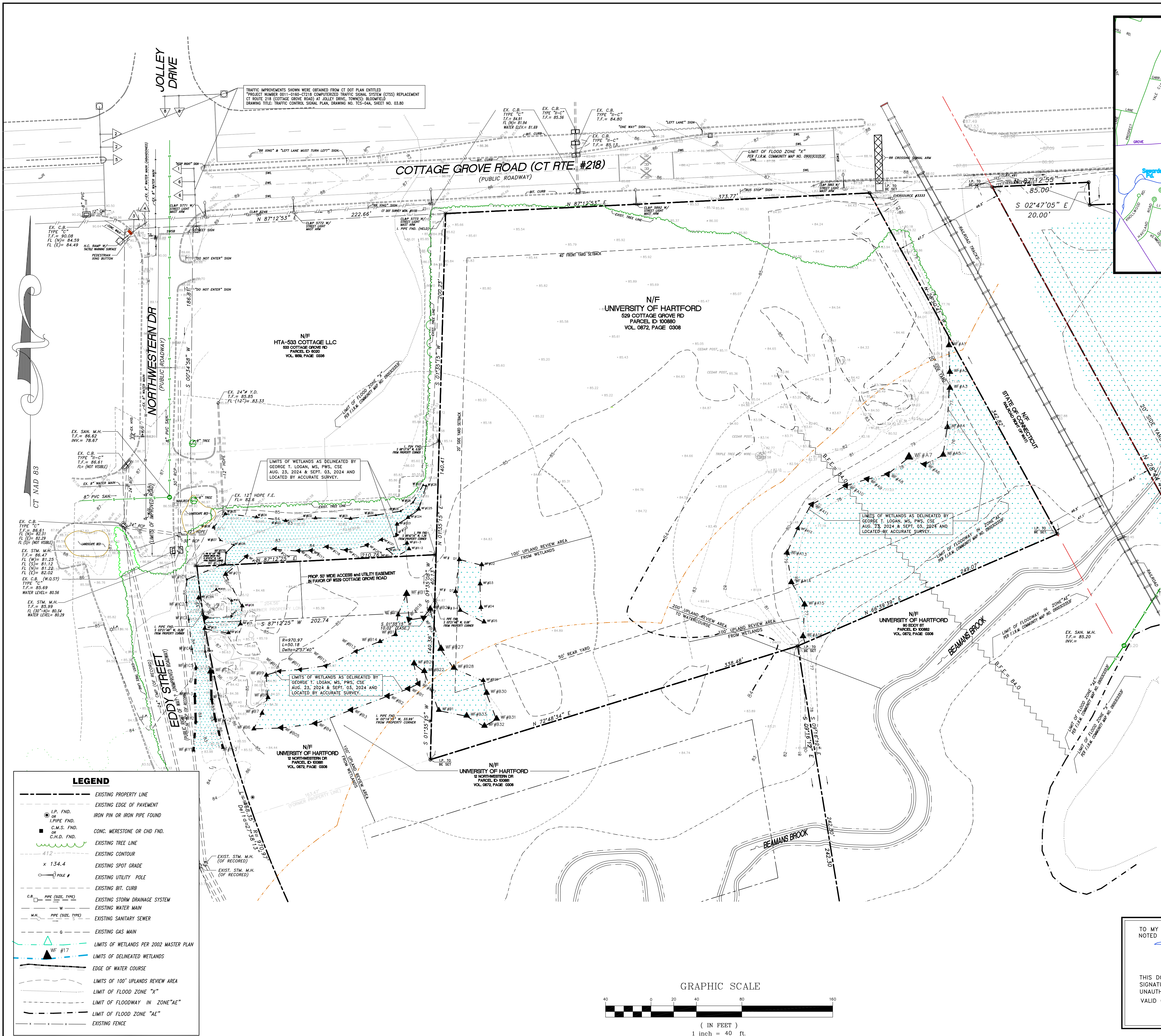
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HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

1	05/02/25	PER TOWN INITIAL COMMENT	J.P.C.
NO.	DATE	DESCRIPTION	BY



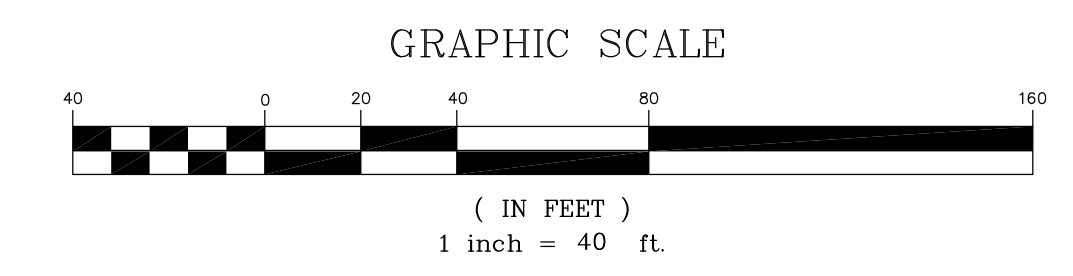
- NOTES:**
- SURVEY NOTES:**
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-29 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type Of Survey is PROPERTY/TOPOGRAPHIC
 - Boundary Determination Category is DEPENDENT RESURVEY (PER MAP REF. "A")
 - Class of Accuracy is: HOR.- 'A-2', TOPO.-'1-2', VERT.-'V-2'.
 - PROPERTY IS ZONED: INDUSTRIAL (IND-1)
 - PROPERTY LIES IN FLOOD ZONE AE & X (AREA OF REDUCED FLOOD RISK DUE TO LEVEE) PER F.I.R.M. COMMUNITY MAP NO. 090030355F PANEL 353 OF 675 DATED: SEPT. 26, 2008.
 - MAP REFERENCES:**
 - A). "BOUNDARY SURVEY FOR THE KAY INVESTMENT CORP., BLOOMFIELD, CONNECTICUT SCALE: 1"= 40', DATED: FEB. 1954, PREPARED BY: J.F. MOSES ASSOCIATES. FILED IN B.L.R. IN BOOK 13 MAP 632"
 - B). "PROPERTY OF DIANE J. BERMAN EDDY STREET BLOOMFIELD, CONNECTICUT SCALE: 1"= 40', OCT. 1954, REVISED: MAY 1956, SURVEYED BY: HAROLD R. SANDERSON C.E. & L.S., FILED IN B.L.R. IN BOOK 17 MAP 812"
 - C). "TOWN OF BLOOMFIELD MAP SHOWING LAND & RIGHTS OF ACCESS ACQUIRED FROM WILLIAM G. & SARAH BOTTGER RELOCATION OF COTTAGE GROVE ROAD, SCALE: 1"= 100' G. ALBERT HILL, HIGHWAY COMMISSIONER, DATE: JULY 1953"
 - D). "PROPERTY OF ELEA H. & GUERRERA EDDY STREET, BLOOMFIELD, CONNECTICUT DATE IS NOT LEGIBLE ON MAP, FILED IN B.L.R. IN BOOK?? MAP 705"
 - E). "BEAMAN'S BROOK CHANNEL ENCROACHMENT LINES, BLOOMFIELD, CONNECTICUT PREPARED BY: STATE OF CONNECTICUT WATER RESOURCES COMMISSION, DATED: NOV. 1964, DWG. NO.: 1 OF 5, PROJECT NO.: T-435"
 - F). "RIGHT OF WAY AND TRACK HARTFORD AND CONNECTICUT WESTERN R.R. CO. OPERATED BY CENTRAL NEW ENGLAND RAILWAY CO. FROM HARTFORD TO NEW YORK, STATE LINE STATION 211+20 TO STATION 264+00 TOWN OF BLOOMFIELD STATE OF CONN. SCALE: 1"= 100 ft. DATE: JUNE 20, 1916, PREPARED BY: VALUATION ENGINEER, BOSTON, MASS" NUMBER: 11-04, SHEET NO. 3 OF 4, APPROVED BY: JOHN A. MACDONALD, OCT. 29, 1937"
 - G). "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF BLOOMFIELD, COTTAGE GROVE ROAD FROM BLUE HILLS AVE. ROUTE NO. 218, SCALE: 1"= 40' NUMBER: 11-04, SHEET NO. 3 OF 4, APPROVED BY: JOHN A. MACDONALD, OCT. 29, 1937"
 - PARCEL AREA = 193,467 sq. ft. or 4.4414 acres.
 - HORIZONTAL DATUM BASED ON N.A.D. OF 1983.
 - VERTICAL DATUM BASED ON NAVD 88, CONTOUR INTERVAL FOOT
 - PROPERTY MAY BE BENEFITED AND/OR BURDENED BY RECORDED AND/OR UNRECORDED EASEMENTS.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE. THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON AND CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG "811".

ZONING BULK TABLE				
LOCATION: 529 COTTAGE GROVE ROAD, BLOOMFIELD, HARTFORD COUNTY, CONNECTICUT				
ZONE: INDUSTRIAL (IND-1)				
USE: RETAIL STORE		EXISTING		
ITEM #	SEC. #	ITEM	REQUIREMENTS	529 COTTAGE GROVE ROAD
1	4.3.B.	Minimum Lot Area	N/A	193,467 sq. ft. or 4.4414 acres
2	4.3.B.	Minimum Lot Width	0 ft.	373.77'
3	4.3.B.	Minimum Front Yard (1,4)	40 ft.	N/A
4	4.3.B.	Minimum Side Yard (1,2 & 4)	20 ft.	N/A
5	4.3.B.	Minimum Rear Yard (1,2 & 4)	50 ft.	N/A
6	4.3.B.	Maximum Building Height	60 ft.	N/A
7	4.3.B.	Maximum Stories	N/A	N/A
8	4.3.B.	Maximum Lot Coverage (3)	50%	N/A

NOTES:
1. No parking is permitted in any required front yard and no parking is permitted in any required rear yard. For corner lots, parking is permitted in the inside 50 feet of the 40 foot front yard for the corner lot. (4-714)(18)
2. No building or structure shall be located within 25 feet of any property line or within 50 feet of the boundary line of any residential zone or within 40 feet of the boundary line of any residential zone.
3. No more than 50 percent of the total area of any lot may be used for building, access drives, parking and loading areas and other hard-surfaced areas, provided that the Commission may permit coverage of up to 60 percent when in their sole judgment circumstances resulting in the lot or the development of the lot require such increase.
4. See Section 6.12 for Special Bulk Requirement

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

PAUL A. HALLISEY, L.S. LIC. NO. 7761 MARCH 09, 2025 DATE
THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSING PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL



CHECKED BY: JPC
DATE: MAR. 09, 2025
JOB NO.: 3566
ACAD FILE: 3566-EX

SCALE: 1"=40'
SHEET: C-1
REVISIONS:
MAY 02, 2025 PER INITIAL TOWN COMMENTS

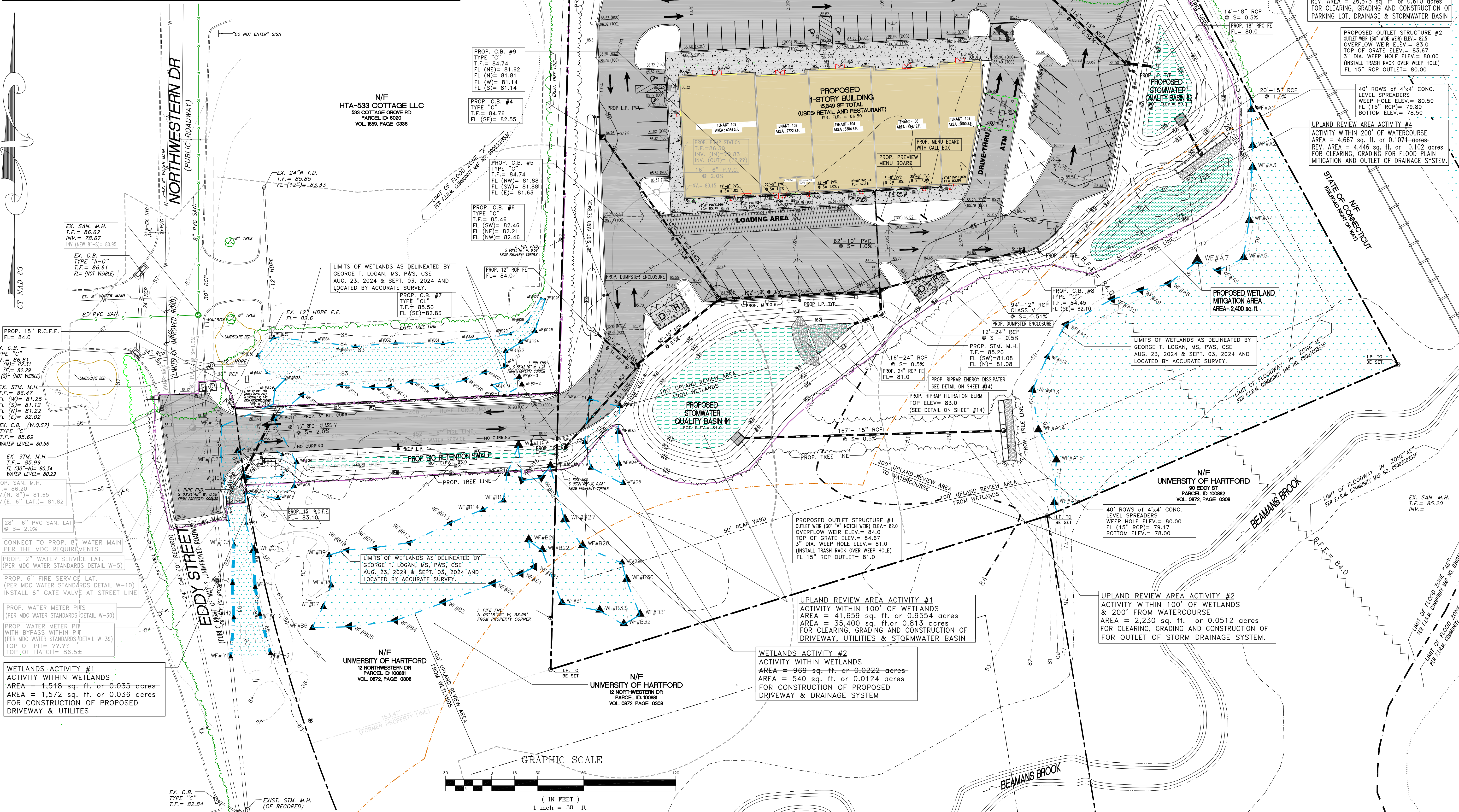
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

PROPERTY/TOPOGRAPHIC SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT

SEE SHEET C-11 FOR GENERAL NOTES

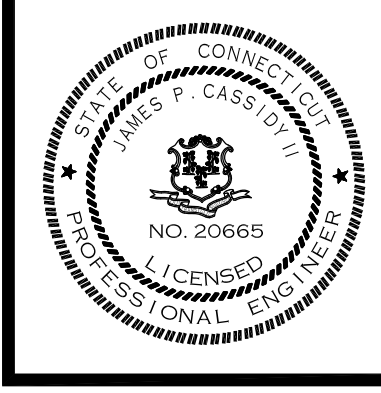
LEGEND

EXISTING PROPERTY LINE	PROPOSED STORM DRAINAGE SYSTEM
EXISTING EDGE OF PAVEMENT	PROPOSED WATER MAIN
IRON PIN OR IRON PIPE FOUND	PROPOSED SANITARY SWER
CONC. MERESTONE OR CHD FND.	PROPOSED CONTOUR
EXISTING TREE LINE	PROPOSED SPOT GRADE
EXISTING CONTOUR	PROPOSED TREE LINE
EXISTING SPOT GRADE	PROPOSED BIT. PAVEMENT
EXISTING TELEPHONE POLE	PROPOSED CONCRETE
EXISTING BIT. CURB	LIMITS OF DISTURBANCE
EXISTING STORM DRAINAGE SYSTEM	
EXISTING WATER MAIN	



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SITE GRADING & DRAINAGE PLAN
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT



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ACAD FILE: 3566-SG
SHEET: C-3
REVISIONS:
MAY 02, 2025 PER INITIAL TOWN COMMENTS

SEE SHEET C-11 FOR GENERAL NOTES

LEGEND

EXISTING PROPERTY LINE

EXISTING EDGE OF PAVEMENT

IRON PIN OR IRON PIPE FOUND

C.M.S. FND. OR C.H.D. FND.

EXISTING TREE LINE

EXISTING TELEPHONE POLE

EXISTING BIT. CURB

EXISTING STORM DRAINAGE SYSTEM

EXISTING WATER MAIN

C.B. PIPE (SIZE, TYPE)

PROPOSED STORM DRAINAGE SYSTEM

PROPOSED WATER MAIN

PROPOSED SANITARY SEWER

PROPOSED SANITARY SEWER FORCE MAIN

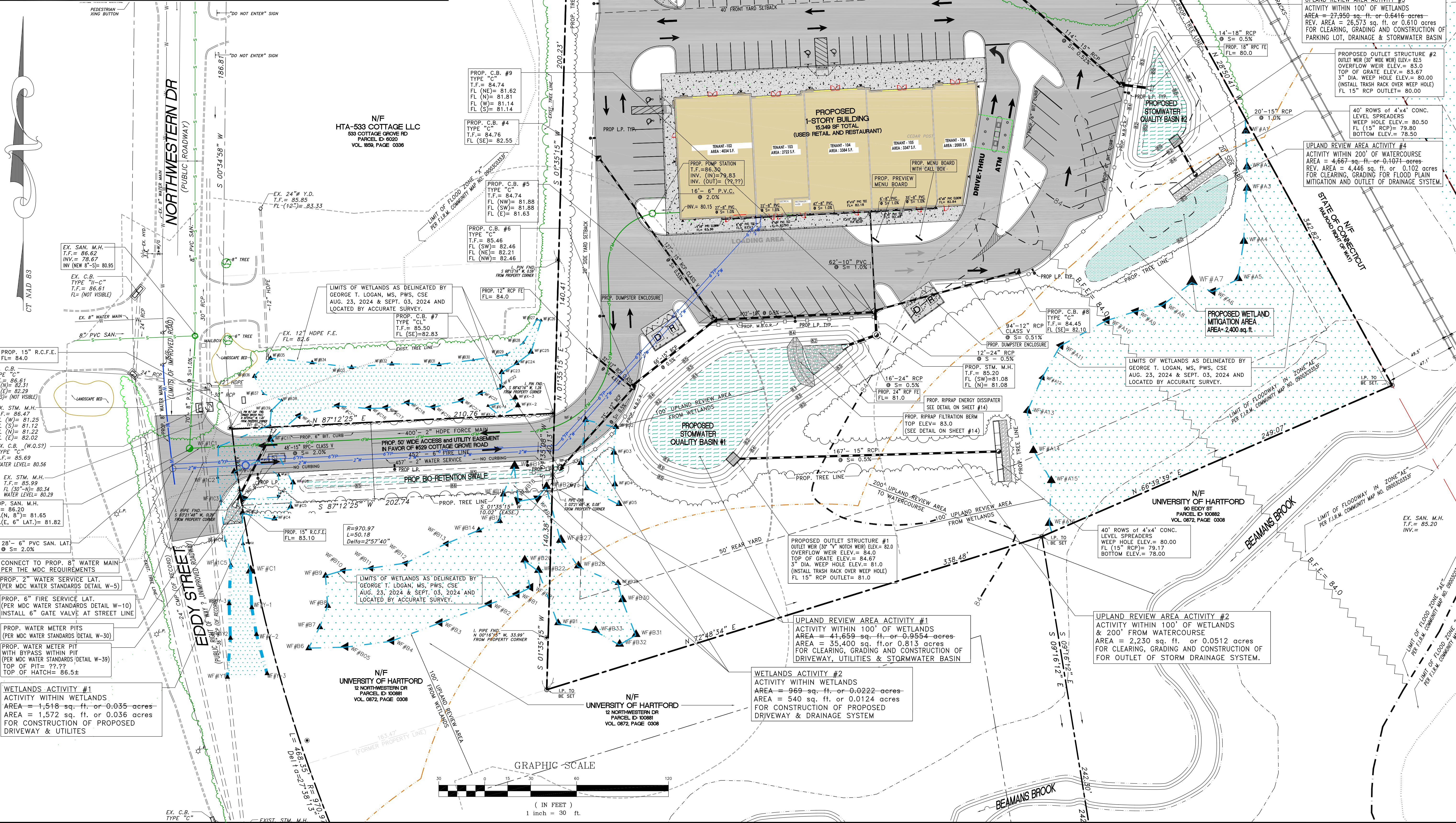
PROPOSED TREE LINE

PROPOSED BIT. CURB

PROPOSED BIT. PAVEMENT

PROPOSED CONCRETE

LIMITS OF DISTURBANCE



CHECKED BY: JPC
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JOB NO.: 3566
SHEET: C-4

ACAD FILE: 3566-SU
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HALLISEY, PEARSON & CASSIDY

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630 MAIN STREET, UNIT #1A
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SITE UTILITIES PLAN

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BLOOMFIELD, CONNECTICUT

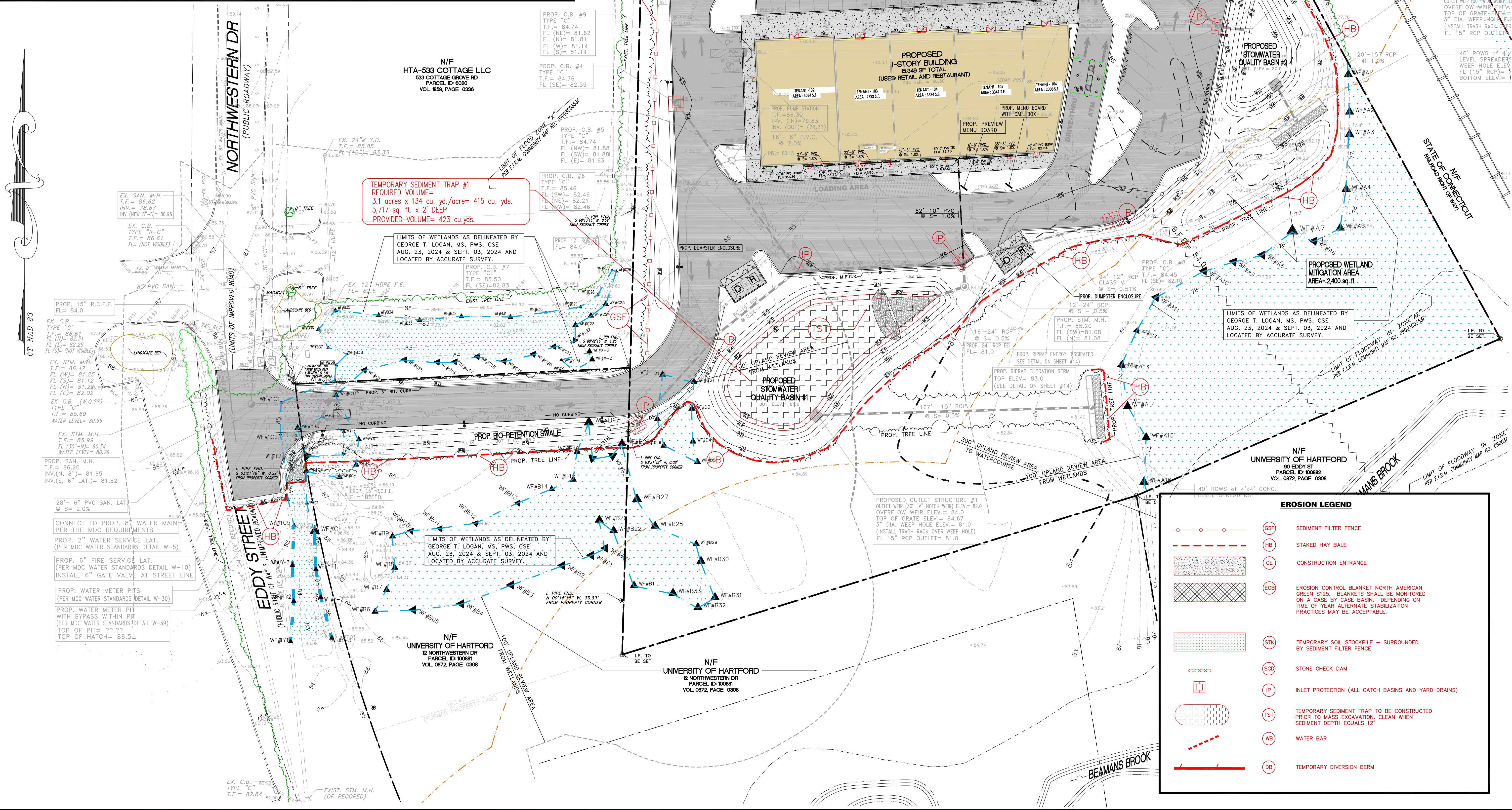
UNIVERSITY OF HARTFORD
12 NORTHWESTERN DR
PARCEL ID: 100881
VOL. 0872, PAGE 0308

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12 NORTHWESTERN DR
PARCEL ID: 100881
VOL. 0872, PAGE 0308

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

SEE SHEET C-10 FOR SEDIMENT AND EROSION CONTROL NARRATIVE AND NOTES

EROSION CONTROL MEASURE	CONTROL OBJECTIVE	INSPECTION/MAINTENANCE	FAILURE INDICATORS	REMOVAL
TEMPORARY SEDIMENT TRAP (TST)	-DETAIN SEDIMENT-LADEN RUNOFF FROM SMALL DISTURBED AREAS LONG ENOUGH TO ALLOW A MAJORITY OF THE SEDIMENT TO SETTLE OUT	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE DEPTH OF THE TRAP. SEDIMENT MUST BE REMOVED WHEN ACCUMULATION REACHES 3/4 OF THE REQUIRED SET STORAGE.	-TURBID WATER -EXCESSIVE SEDIMENT ACCUMULATION -OVERTOPPING EVIDENCE	TST MAY BE REMOVED ONCE THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED.
TEMPORARY SEDIMENT BASIN (DETENTION BASIN) (SB/PST)	-INTERCEPT/RETAIN SEDIMENT DURING CONSTRUCTION. -PREVENT TRANSPORT AND DEPOSITION OF SEDIMENT OFF CONSTRUCTION SITE.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE DEPTH OF THE BASIN. SEDIMENT MUST BE REMOVED WHEN ACCUMULATION REACHES 3/4 OF THE REQUIRED SET STORAGE.	-TURBID WATER -EXCESSIVE SEDIMENT ACCUMULATION -OVERTOPPING EVIDENCE -EROSION OF EMBANKMENTS	TEMPORARY SEDIMENT BASINS THAT ARE NOT TO FUNCTION AS PERMANENT DETENTION BASINS MAY BE REMOVED ONCE THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED.
SILT FENCE (SF) (RELATED: IP/STK)	-INTERCEPT AND REDIRECT/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -DECREASE VELOCITY OF SHEET FLOW. -REDIRECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE DEPTH OF THE FENCE. SEDIMENT MUST BE REMOVED WHEN ACCUMULATION REACHES 3/4 OF THE REQUIRED SET STORAGE.	-PHYSICAL DAMAGE OR DECOMPOSITION -EVIDENCE OF OVERTOPPING OR UNDERCUT FENCING -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPTURE -RECTIVE FAILURE	SILT FENCE MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED.
HAY BALES (HB)	-INTERCEPT AND REDIRECT/DETAIN SMALL AMOUNTS OF SEDIMENT FROM SMALL DISTURBED AREAS. -DECREASE VELOCITY OF SHEET FLOW. -REDIRECT SENSITIVE SLOPES OR SOILS FROM EXCESSIVE WATER FLOW.	INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE DEPTH OF THE BARRIER. INSPECT FREQUENTLY DURING PUMPING OPERATIONS. USE FOR SEPARATING OPERATIONS.	-PHYSICAL DAMAGE OR DECOMPOSITION -EVIDENCE OF OVERTOPPING OR UNDERCUT FENCING -EVIDENCE OF SIGNIFICANT FLOWS EVADING CAPTURE -RECTIVE FAILURE	HAY BALES MAY BE REMOVED AFTER UPHILL AND SENSITIVE AREAS HAVE BEEN PERMANENTLY STABILIZED.
TEMPORARY DIVERSION BERM/SWALE (TBS) OR TEMPORARY SWALE (TSW) OR WATER BAR (WB)	-MINIMIZE VELOCITY AND CONCENTRATION OF SHEET FLOW ACROSS CONSTRUCTION SITE TO A SOMEWHAT TRAPPING FACILITY. -DIVERT WATER ORIGINATING FROM UNDISTURBED AREA AWAY FROM CONSTRUCTION.	WHEN LOCATED WITHIN CLOSE PROXIMITY TO ON GOING CONSTRUCTION ACTIVITIES, INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. OVERFLOW INSPECT AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL OF 0.5 INCHES OR GREATER. CLEAN OUT SEDIMENT WHEN ACCUMULATION EXCEEDS 1/2 OF THE DEPTH OF THE BERM. INSPECT FREQUENTLY DURING PUMPING OPERATIONS. USE FOR SEPARATING OPERATIONS.	-PHYSICAL DAMAGE -EROSION SOUSIDE/EROSION EVIDENCE OF OVERTOPPING OR UNDERCUT FENCING -RECTIVE FAILURE	TEMPORARY DIVERSIONS MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED.
CONSTRUCTION ENTRANCE (CE)	-REDUCE THE TRACKING OF SEDIMENT OFF-SITE ON TO PAVED SURFACES	INSPECT AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC ADDITION OF STONE OR LIGHTWEIGHTING OF ENTRANCE MAY BE REQUIRED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED.	-SEDIMENT IN ROADWAY ADJACENT TO SITE	CONSTRUCTION ENTRANCE MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED.
CATCH BASIN INLET (PI)	-PROHIBIT SLIT IN CONSTRUCTION RELATED RUNOFF FROM ENTERING STORM DRAINAGE SYSTEM	INSPECT AFTER ANY RAIN EVENT. IF FILTER BAG INSIDE CATCH BASIN CONTAINS MORE THAN 6" OF SEDIMENT, REMOVE SEDIMENT FROM BAG. CHECK SURROUNDING SILT FENCE AND HAY BALES PER NOTES ABOVE.	-SIPPED BAG -FILLED HAY BALES/SILT FENCE -SIGNIFICANT SLIT PRESENCE IN STORM DRAINAGE SYSTEM OUTFLOW	INLET PROTECTION MAY BE REMOVED ONCE THE SITE HAS BEEN PERMANENTLY STABILIZED, AND ALL OTHER SECTIONS OF ROADWAY HAVE BEEN PERMANENTLY PAVED.
STOCKPILE PROTECTION (STK)	-RETAIN SOIL STOCKPILE IN LOCATIONS SPECIFIED AND REDUCE WATER TRANSPORT	INSPECT SILT FENCE AT THE END OF EACH WORK DAY AND IMMEDIATELY REPAIR DAMAGES. PERIODIC REINFORCEMENT OF SILT FENCE, OR ADDITION OF HAY BALES MAY BE NECESSARY.	-EROSION OF STOCK PILE ENHANCING DUE TO RAIN EVENTS -FAILURE OF SILT FENCE	STOCKPILE PROTECTION MAY BE REMOVED ONCE THE STOCKPILE IS USED OR REMOVED.
DUST PROTECTION (DC)	-TO PREVENT MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES WHEN TRAFFICED OFF-SITE AND ON-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR CREATE A HAZARD BY REDUCING TRAFFIC VISIBILITY.	USE MECHANICAL SWEEPING DAILY ON PAVED AREAS WHERE DUST AND FINE MATERIALS ACCUMULATE. IF HEAVY TRAFFICED OFF-SITE AND ON-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR CREATE A HAZARD BY REDUCING TRAFFIC VISIBILITY.	-AIRBORNE DUST	REPEAT APPLICATION OF DUST CONTROL MEASURES. IF HEAVY TRAFFICED OFF-SITE AND ON-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE, AND PLANT LIFE, OR CREATE A HAZARD BY REDUCING TRAFFIC VISIBILITY.



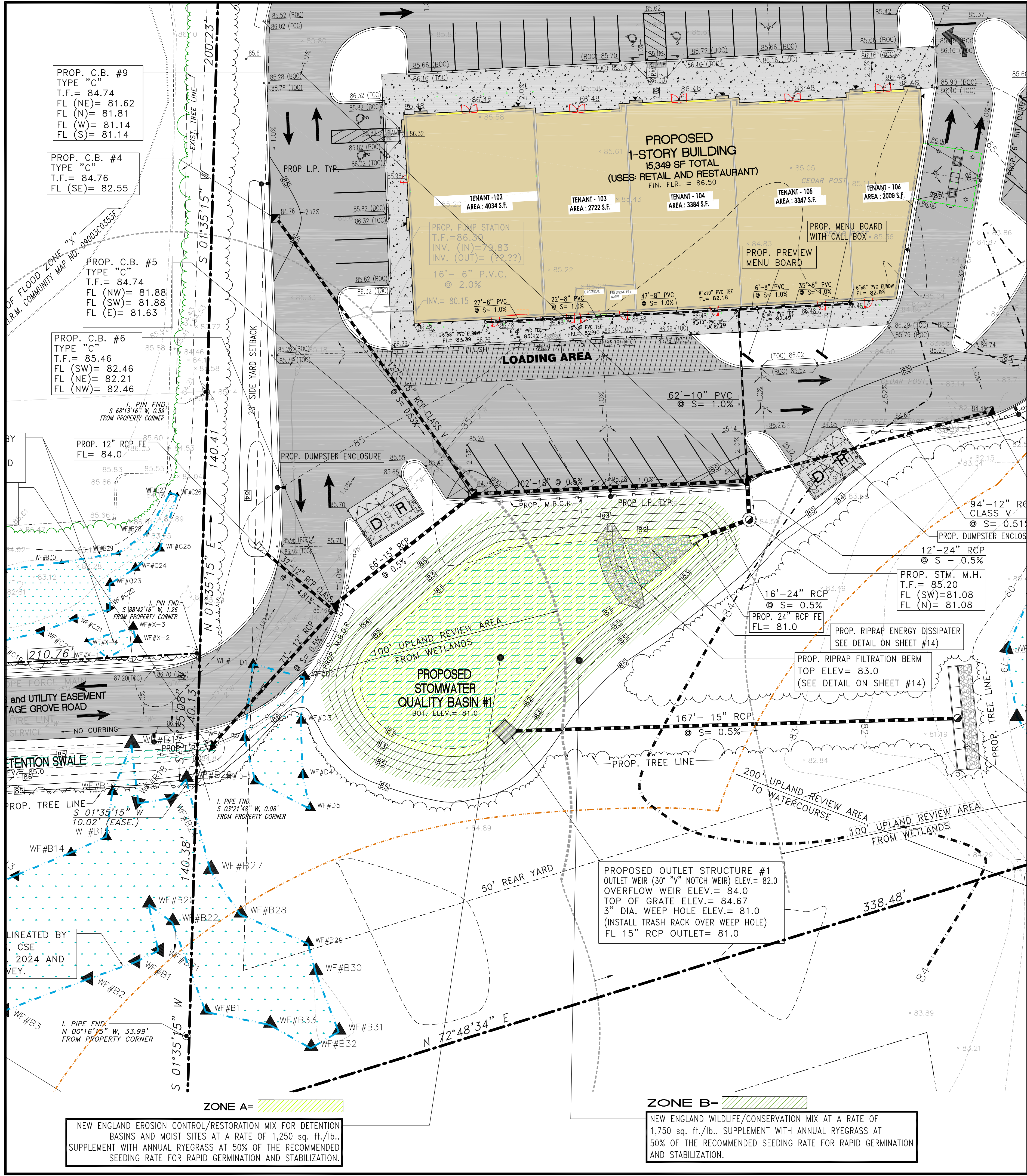
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EROSION LEGEND	
	GSF SEDIMENT FILTER FENCE
	HB STAKED HAY BALE
	CE CONSTRUCTION ENTRANCE
	ECB EROSION CONTROL BLANKET NORTH AMERICAN GREEN 5125. BLANKETS SHALL BE MONITORED ON A CASE BY CASE BASIS. DEPENDING ON TIME OF YEAR ALTERNATE STABILIZATION PRACTICES MAY BE ACCEPTABLE.
	STK TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
	SCD STONE CHECK DAM
	IP INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
	TST TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION. CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
	WB WATER BAR
	DB TEMPORARY DIVERSION BERM



STORMWATER (WATER QUALITY) BASIN NOTES:

• FIRST YEAR MONITORING:

○ Inspect and clean storm water quality basin twice a year during the first year, annually thereafter, for cracking or erosion of side slopes, embankments, accumulated sediment, vegetative conditions, etc. Necessary sediment removal, earth repair, and/or reseeded will be performed immediately upon identification. If sediment build-up is found, core aeration or cultivating may be required to ensure adequate infiltration.

• LONG TERM MAINTENANCE SCHEDULE

○ Inspect storm water quality basin once annually, in the spring, for accumulated sediment. Necessary sediment removal will be performed immediately upon identification.

○ Inspect sediment forebay monthly for erosion of side slopes and accumulated sediment. Necessary sediment removal, earth repair and/or reseeded shall be performed immediately upon identification. Clean forebay approximately two times a year or as needed.

○ Annually mow bottom of forebay and main cell on basin and other areas as needed to control invasive colorizations. A good time to mow is late winter, under frozen conditions. This lets meadow vegetation provide flowers vegetation provide flowers fall/winter shelter & seeds.

○ The basin area will be regularly inspected within 24 hours following the end of any storm event of 1 inch or greater.

○ A maintenance inspection report will be made after each inspection. All reports shall be kept on file in the on-site maintenance office.

○ The stormwater basin will be maintained in good condition. If a repair is necessary, it will be initiated in a timely manner.

○ Built up sediment will be removed from inlets and all other areas in the basins where excessive accumulation of sediment may occur. All sediment will be removed from the forebay area of the stormwater basin when the depth of sediment exceeds 6 inches. There shall be no accumulated sediment allowed in the main cell of the basin.

○ Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth of vegetation.

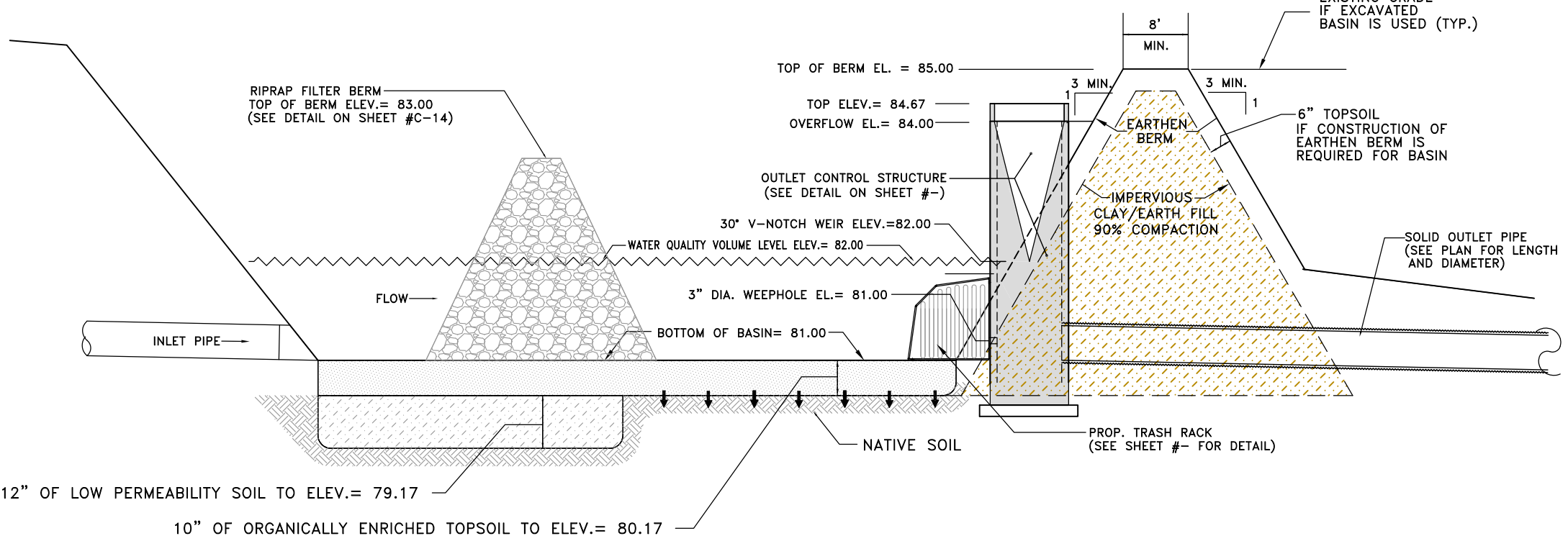
○ Trash and debris will be cleaned from stormwater quality basin.

○ Annual mowing of the side slopes of the basin will be completed each fall to prevent growth of invasive species in the basins. Mowing is required for areas such as the slopes when the grass/ground cover exceeds 6 inches in height. Dense cover on all slopes will be maintained.

○ If there is any evidence of rodent holes, the rodents should be removed and any damage repaired.

○ Replace rocks missing from splash pads or channel if there is any exposed soil or if there is only one layer of rock above native soil.

○ The Outlet Control Structure shall be inspected a minimum of twice a year or after any rain event in excess of 1.0 inch for build-up of debris or vegetation against weirs and outlet pipe from structure. If a build-up occurs, it shall be removed and disposed of off-site.

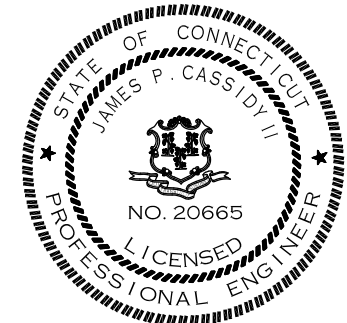


TYPICAL STORMWATER BASIN SECTION
NOT TO SCALE

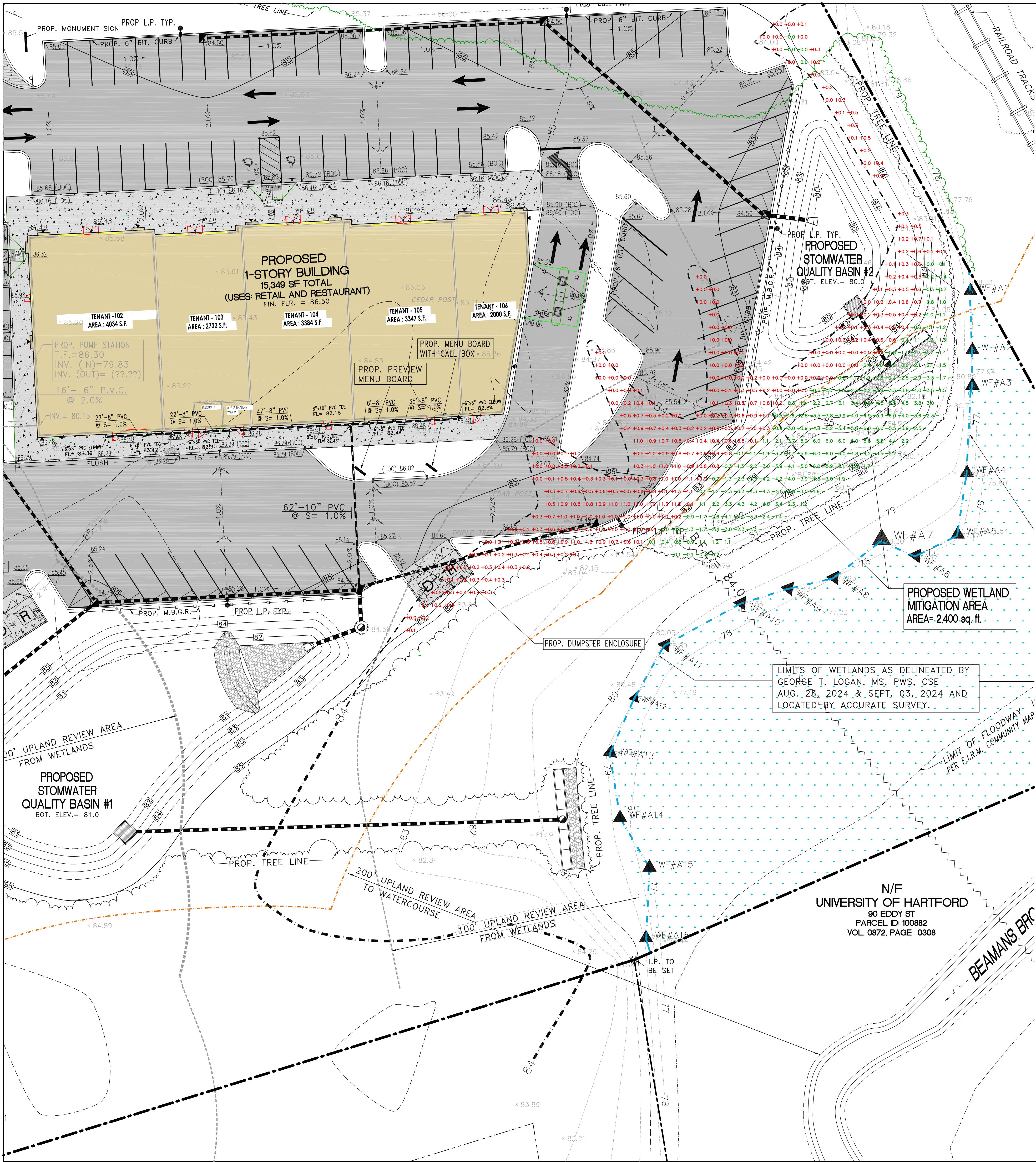
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HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812 FAX: (860) 721-7709

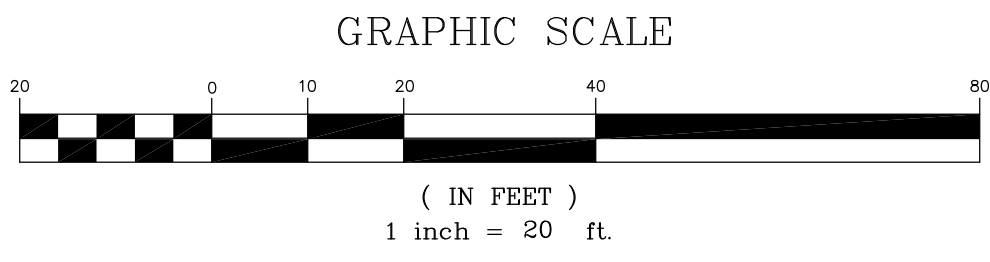
STORMWATER QUALITY BASIN #1 DETAIL
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT







VOLUME OF FLOOD STORAGE CAPACITY TO BE MITIGATED BY REGRADING OF PROPERTY
BASED ON PROPOSED GRADING PLAN (529 COTTAGE GROVE ROAD)
-GROSS VOLUME OF CUTS BELOW 100 YEAR FLOOD ELEV.= 406 CU. YDS.
-GROSS VOLUME OF FILL BELOW 100 YEAR FLOOD ELEV.= 94 CU. YDS.
-NET GAIN IN VOLUME OF FLOOD STORAGE CAPACITY BELOW 100 YEAR FLOOD ELEV.= 312 CU. YDS.



LEGEND			
	EXISTING PROPERTY LINE		PROPOSED BIT. CURB
	EXISTING EDGE OF PAVEMENT		PROPOSED CONC. CURB
	IRON PIN OR IRON PIPE FOUND		PROPOSED STORM DRAINAGE SYSTEM
	EXISTING TREE LINE		PROPOSED WATER MAIN
	EXISTING CONTOUR		PROPOSED SANITARY SEWER
	EXISTING SPOT GRADE		PROPOSED GAS SERVICE
	EXISTING TELEPHONE POLE		PROPOSED ELEC. SERVICE
	EXISTING BIT. CURB		PROPOSED CONTOUR
	EXISTING STORM DRAINAGE SYSTEM		PROPOSED SPOT GRADE
	EXISTING WATER MAIN		PROPOSED TREE LINE
	EXISTING SANITARY SEWER		PROPOSED NEW PAVEMENT
	LIMITS OF FLAGGED WETLANDS		PROPOSED CONCRETE
			DEPTH OF CUT BELOW 100 YEAR FLOOD ELEVATION
			DEPTH OF FILL ABOVE 100 YEAR FLOOD ELEVATION

CHECKED BY: JPC
DATE: MAR. 09, 2025
JOB No.: 3566
SHEET: C-8
REVISIONS:
MAY 02, 2025 PER INITIAL TOWN COMMENTS

HALLISEY, PEARSON & CASSIDY

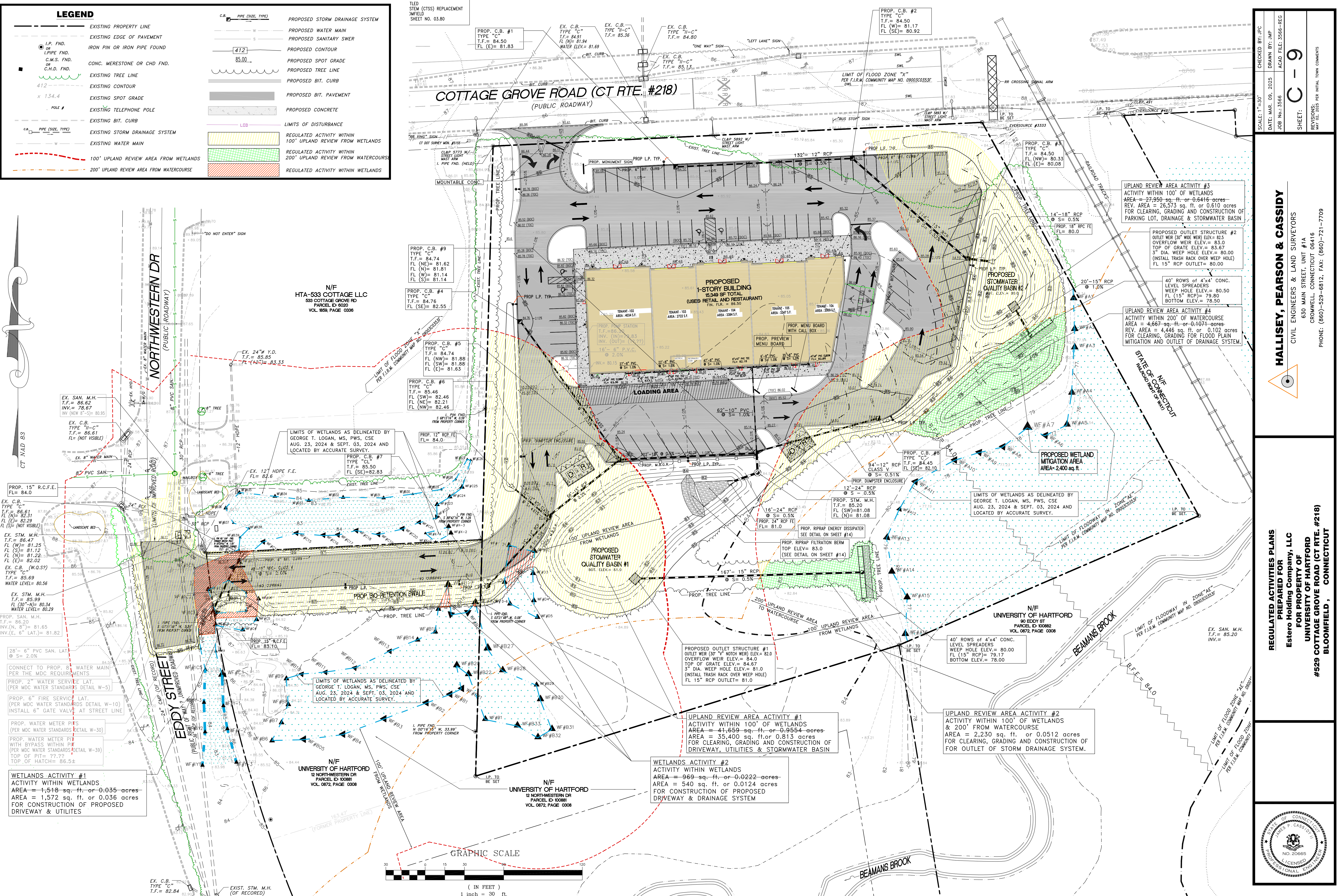
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
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FLOOD PLAIN MITIGATION PLAN
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT

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LEGEND

EXISTING PROPERTY LINE	PROPOSED STORM DRAINAGE SYSTEM
EXISTING EDGE OF PAVEMENT	PROPOSED WATER MAIN
IRON PIN OR IRON PIPE FOUND	PROPOSED SANITARY SWER
CONC. MERESTONE OR CHD FND.	PROPOSED CONTOUR
EXISTING TREE LINE	PROPOSED SPOT GRADE
EXISTING CONTOUR	PROPOSED TREE LINE
EXISTING SPOT GRADE	PROPOSED BIT. CURB
EXISTING TELEPHONE POLE	PROPOSED BIT. PAVEMENT
EXISTING BIT. CURB	PROPOSED CONCRETE
EXISTING STORM DRAINAGE SYSTEM	LIMITS OF DISTURBANCE
EXISTING WATER MAIN	REGULATED ACTIVITY WITHIN 100' UPLAND REVIEW FROM WETLANDS
100' UPLAND REVIEW AREA FROM WETLANDS	REGULATED ACTIVITY WITHIN 200' UPLAND REVIEW FROM WATERCOURSE
200' UPLAND REVIEW AREA FROM WATERCOURSE	REGULATED ACTIVITY WITHIN WETLANDS



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MAY 02, 2025 PER INITIAL TOWN COMMENTS

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

REGULATED ACTIVITIES PLANS
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT

EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE
THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS JUNE 2025 WITH COMPLETION ANTICIPATED DECEMBER 2025
APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN
THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

- CONSTRUCTION SEQUENCE
THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- CONTACT TOWN OF BLOOMFIELD AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT.
A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION
 - CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALE SEDIMENT BARRIERS.
 - CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
 - CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
 - INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND AND SEDIMENT TRAPS.
 - CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
 - CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
 - ROUGH GRADING.
 - INSTALLATION OF STORM DRAINAGE.
 - FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
 - REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
 - INSTALL SANITARY LATERAL, WATER SERVICE AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
 - INSTALL SITE LIGHTING, LOADING DOCK AND TRASH ENCLOSURE.
 - FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
 - CONSTRUCT SIDEWALKS.
 - PAVING OF PARKING AREAS AND DRIVEWAYS
 - FINAL GRADING OF SLOPE AREAS.
 - PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 11 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
 - CONSTRUCT STORM WATER QUALITY BASIN AND FINAL OUTLET.
 - LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
 - UPON DIRECTION OF THE TOWN OF BLOOMFIELD AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

- SEQUENCE OF OPERATIONS
OPERATION I – CLEARING AND GRUBBING
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
 - FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

- OPERATION II – ROUGH GRADING
- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
 - ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

- OPERATION III – FILLING
- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
 - ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
 - AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

- OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.
- STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

- OPERATION V – FINAL GRADING AND PAVING
- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.
 - NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
 - PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
 - CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
 - REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

- SEQUENCE FOR INSTALLATION OF SOIL EROSION & SEDIMENTATION CONTROL MEASURES.
- PHASE 1
- ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
 - STRIP TOPSOIL AND STOCKPILE.
 - PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
 - STABILIZE STOCK PILE.

- PHASE 2
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
 - ROUGH GRADING.

- PHASE 3
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
 - PERFORM FILLING ACTIVITIES.

- PHASE 4
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
 - CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.

- PHASE 5
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
 - PERFORM FINAL GRADING AND PAVING.

- PHASE 6
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
 - RESPREAD TOPSOIL.
 - LIME, FERTILIZE, AND SEED.
 - MULCH.
 - FINAL COVER.

- PHASE 7
- MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.
 - PERFORM FINAL INSPECTION.
 - REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

- INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES
- I. SILTATION FENCE
- DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
 - BACKFILL THE TRENCH AND COMPACT.

- OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES
- I. SILTATION FENCE
- ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- II. SEDIMENT TRAPS/BASINS
- CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.
 - ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
 - SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

- EROSION AND SEDIMENT CONTROL PLAN
- I. SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
 - EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
 - ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
 - ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
 - SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
 - Estero Holding Company, LLC IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE BLOOMFIELD WETLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

- EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES
- THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THE SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.
 - ESTERO HOLDING COMPANY LLC IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THE RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
 - THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
 - ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAIN A CT DEEP GENERAL PERMIT FOR THE DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. THE PERMIT WILL REQUIRE SPECIFIC EROSION CONTROL INSPECTIONS.
Routine Inspections
The permittee shall routinely inspect the site for compliance with the general permit and the Plan for the site until a Notice of Termination has been submitted. Inspection procedures for these routine inspections shall be addressed and implemented in the following manner:

- The permittee shall maintain a rain gauge on-site to document rainfall amounts. At least once a week and within 24 hours of the end of a storm that generates a discharge, a qualified inspector (provided by the permittee), as defined in the "Definitions" section (Section 2) of the general permit, shall inspect, at a minimum, the following: disturbed areas of the construction activity that have not been finally stabilized; all erosion and sedimentation control measures; all structural control measures; soil stockpile areas; washout areas and locations where vehicles enter or exit the site. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and impacts to the receiving waters. Locations where vehicles enter or exit the site shall also be inspected for evidence of off-site sediment tracking. For storms that end on a weekend, holiday or other time after which normal working hours will not commence within 24 hours, an inspection is required within 24 hours only for storms that equal or exceed 0.5 inches. For storms of less than 0.5 inches, an inspection shall occur immediately upon the start of the subsequent normal working hours. Where sites have been temporarily or finally stabilized, such inspection shall be conducted at least once every month for three months.
- The qualified inspector(s) shall evaluate the effectiveness of erosion and sediment controls, stabilization practices, and any other controls implemented to prevent pollution and determine if it is necessary to install, maintain, or repair such controls and/or practices to improve the quality of stormwater discharge(s).
- A report shall be prepared and retained as part of the Plan. the report shall summarize: the scope of the inspection; name(s) and qualifications of personnel making the inspection; the date(s) of the inspection; weather conditions including precipitation information; major observations relating to erosion and sediment controls and the implementation of the Plan; a description of the stormwater discharge(s) from the site; and any water quality monitoring performed during the inspection. The report shall be signed by the permittee or his/her authorized representative in accordance with the "Certification of Documents" section (subsection 5(i)) of the general permit. The report shall include a statement that, in the judgment of the qualified inspector(s) conducting the site inspection, the site is either in compliance or out of compliance with the terms and conditions of the Plan and permit. If the site inspection indicates that the site is out of compliance, the inspection report shall include a summary of the remedial actions required to bring the site back into compliance. Non-engineered corrective actions (as identified in the Guidelines) shall be implemented on site within 24 hours and incorporated into a revised Plan within three (3) calendar days of the date of inspection unless another schedule is specified in the Guidelines. Engineered corrective actions (as identified in the Guidelines) shall be implemented on site within seven (7) days and incorporated into a revised Plan within ten (10) days of the date of inspection, unless another schedule is specified in the Guidelines or is approved by the commissioner. During the period in which any corrective actions are being developed and have not yet been fully implemented, interim measures shall be implemented to minimize the potential for the discharge of pollutants from the site.
- Inspectors from the DEEP and the appropriate District may inspect the site for compliance with the general permit and any time construction activities are ongoing and upon completion of construction activities to verify the final stabilization of the site and/or the installation of post-construction stormwater management measures pursuant to Section 6(a).
- Additional inspections, reports and documentation may also be required to comply with the "Monitoring Requirements" section (Section 5(c))

- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.
- SEDIMENTATION BASINS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVROFENCE, AMOCO SILT STOP OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI 100X OR EQUIVALENT.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION PIPE SYSTEM OUTLET ORIFICE UNTIL SITE IS STABILIZED AND BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDES WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON SITE IN NON-WETLANDS AREAS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY.
- THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS:
Estero Holding Company, LLC
P.O. BOX #68
NEWPORT, RI 02840
PHONE: 860-729-6812
- IF WIND EROSION OCCURS, THEN GROUND SHALL BE COVERED WITH CALCIUM CHLORIDE OR WATER TRACK APPLICATIONS AS REQUIRED TO CORRECT THE PROBLEM.

SCALE: 1"=40'	CHECKED BY: JPC
DATE: MAR. 09, 2025	DRAWN BY: JMP
JOB No.: 3566	ACAD FILE: 3566-ES-N
SHEET: C - 10	
REVISIONS: MAY 02, 2025 PER INITIAL TOWN COMMENTS	

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812 FAX: (860)-721-7709

EROSION & SEDIMENT CONTROL NOTES
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF BLOOMFIELD, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
15. PAVEMENT MARKING KEY:
- | | |
|----------|-------------------------------------------|
| 4" SYOL | 4" SOLID YELLOW DOUBLE LINE |
| 4" SYL | 4" SOLID YELLOW LINE |
| 4" SWL | 4" SOLID WHITE LINE |
| 12" SWSB | 12" SOLID WHITE STOP BAR |
| 4" BWL | 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE |
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "(800)922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
24. TOWN OF BLOOMFIELD STREET EXCAVATION PERMIT SHALL BE OBTAINED BY CONTRACTOR.
25. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
26. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
28. THESE PLANS ARE FOR PERMITTING.
29. THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER SYSTEM.
30. PROPERTY SHOWN ON F.I.R.M. NO. 0900470004B, DATED: JUNE 15, 1982, NO DIGITAL DATA AVAILABLE. THE PORTION OF THIS PROPERTY THAT IS BEING DEVELOPED IS IN A FLOOD ZONE "C".
31. 12" SWSB (STOP BAR) AND 4" SYOL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.
32. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.
33. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.
34. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.
35. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.
36. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.
37. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.
38. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH EPOXY PAINT.
39. A BUILDING PERMIT FROM THE TOWN OF BLOOMFIELD IS REQUIRED FOR RETAINING WALLS IN EXCESS OF 30" IN HEIGHT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.
40. NO OUTDOOR STORAGE IS PROPOSED ON THE PROPERTY.

GRADING AND DRAINAGE NOTES

GRADING GENERAL NOTES:

1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE BLOOMFIELD TOWN STAFF.
9. VERTICAL DATUM IS NGVD 1988.
10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE.
11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF BLOOMFIELD AUTHORITY AND STATE OF CONNECTICUT.
14. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS, WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

PRODUCT NOTES:

1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
2. POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURER'S RECOMMENDED PROCEDURE.
3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-0 SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE 1 PIPE. SECTIONS SHALL BE JOINED WITH BELL-AND-SPOUT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE 3 PIPE. SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SLIT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET MEETING THE REQUIREMENTS OF AASHTO D1058 GRADE 2A2. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
2. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
8. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL, AND APPROVED BY TOWN STAFF.
9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

UTILITY CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF BLOOMFIELD PUBLIC WORKS DEPARTMENT AND TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT.
7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAIL. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEP DRAWINGS AND CONSTRUCTION MANAGER.
15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASEMENT.
17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF BLOOMFIELD FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF BLOOMFIELD. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE CL&P #1543. THE CONTRACTOR SHALL INSTALL AND BACKFILL 20 4" PVC CONDUITS FOR TELEPHONE SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80N UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE TOWN OF BLOOMFIELD WATER & SEWER DEPARTMENT SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ABUTTING HOUSES & COMMERCIAL BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OR ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:
Estero Holding Company, LLC
P.O. BOX #36
NEWPORT, RI 02840
PHONE: 860-768-4100

THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:

1. PAVEMENT SCHEDULING: PARKING LOTS AND DRIVES SHALL BE SWEEPED A MINIMUM OF TWICE A YEAR (SPRING AND FALL)
2. CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)
3. THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING ITEMS:
-INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
-CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
-REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.
4. THE SEDIMENT FOREBAY SHALL BE INSPECTED A MINIMUM OF EVERY SIX MONTHS IN THE MONTHS OF APRIL AND OCTOBER. IF TRASH, DEBRIS, SEDIMENT DEPOSITS, ECT. SHALL BE NOTED AND ANY DEPOSITS FOUND TO BE 4 INCHES OR MORE, AS MEASURED FROM THE BOTTOM OF THE FOREBAY, SHALL BE CLEANED AND REMOVED. ANY DEBRIS OR TRASH, ECT. SHALL BE REMOVED DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. BARE AREAS SHALL BE SEEDED.
5. STORMWATER QUALITY BASIN SLOPES SHALL BE MOWED ONCE A YEAR. MORE FREQUENT MOWING WILL ELIMINATE NATIVE FORBS SEDGES FROM THE MEADOW COVER.
6. LANDSCAPING: LANDSCAPED AREAS WILL BE MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING MOWING LAWN, BAKING LEAVES, ECT. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A TYPICAL HEIGHT OF 3 1/2". THIS WILL ALLOW THE GRASS TO BE MAINTAINED WITH A MINIMAL IMPACT FROM WEEDS AND/OR PEST. THE REAR (EASTERLY) SLOPE AREAS WILL BE MAINTAINED AS A MEADOW OR ALLOWED TO REVERT BACK TO WOODLANDS. PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHERE NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
7. MAINTAIN EXISTING NATIVE VEGETATION: EXISTING VEGETATION ALONG THE EASTERLY EDGE OF THE DEVELOPMENT, ADJACENT TO THE WETLANDS SHALL REMAIN IN ITS NATIVE CONDITIONS NO CLEARING, GRADING, STOCKPILING, STORAGE, OR DEVELOPMENT WILL OCCUR IN THESE AREAS WITHOUT PRIOR APPROVAL FROM THE APPROPRIATE AGENCIES.
8. TRASH COLLECTION: ALL TRASH WILL BE CONTAINED IN DUMPSTERS. ALL DUMPSTERS WILL BE EQUIPPED WITH COVERS. ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
9. OUTDOOR STORAGE: THERE WILL BE NO OUTDOOR OF HAZARDOUS CHEMICALS, FERTILIZER, PESTICIDES, OR HERBICIDE'S ANYWHERE AT THE FACILITY.
10. THE OWNER SHALL BE KEEP AN ON-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF BLOOMFIELD INSPECTION.

State of Connecticut Department of Transportation - 817 CONSTRUCTION NOTES

817 CONSTRUCTION NOTES

Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 817 Section 12.11 as revised.

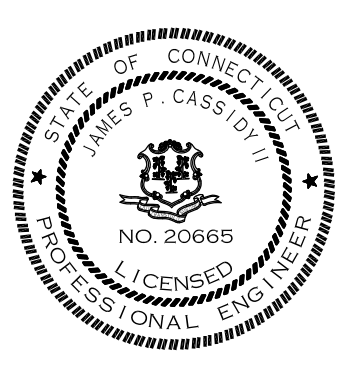
New pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.10 as revised.

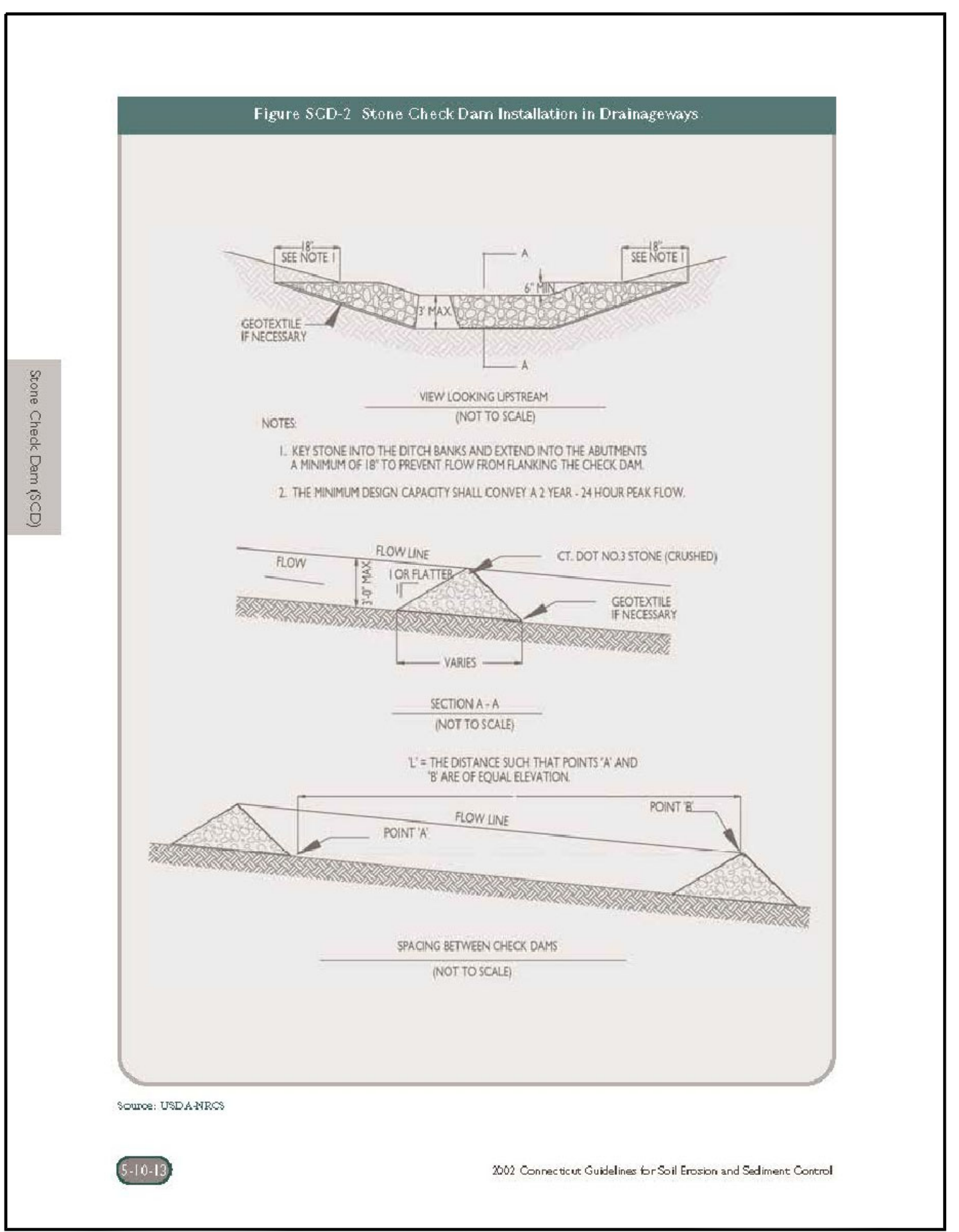
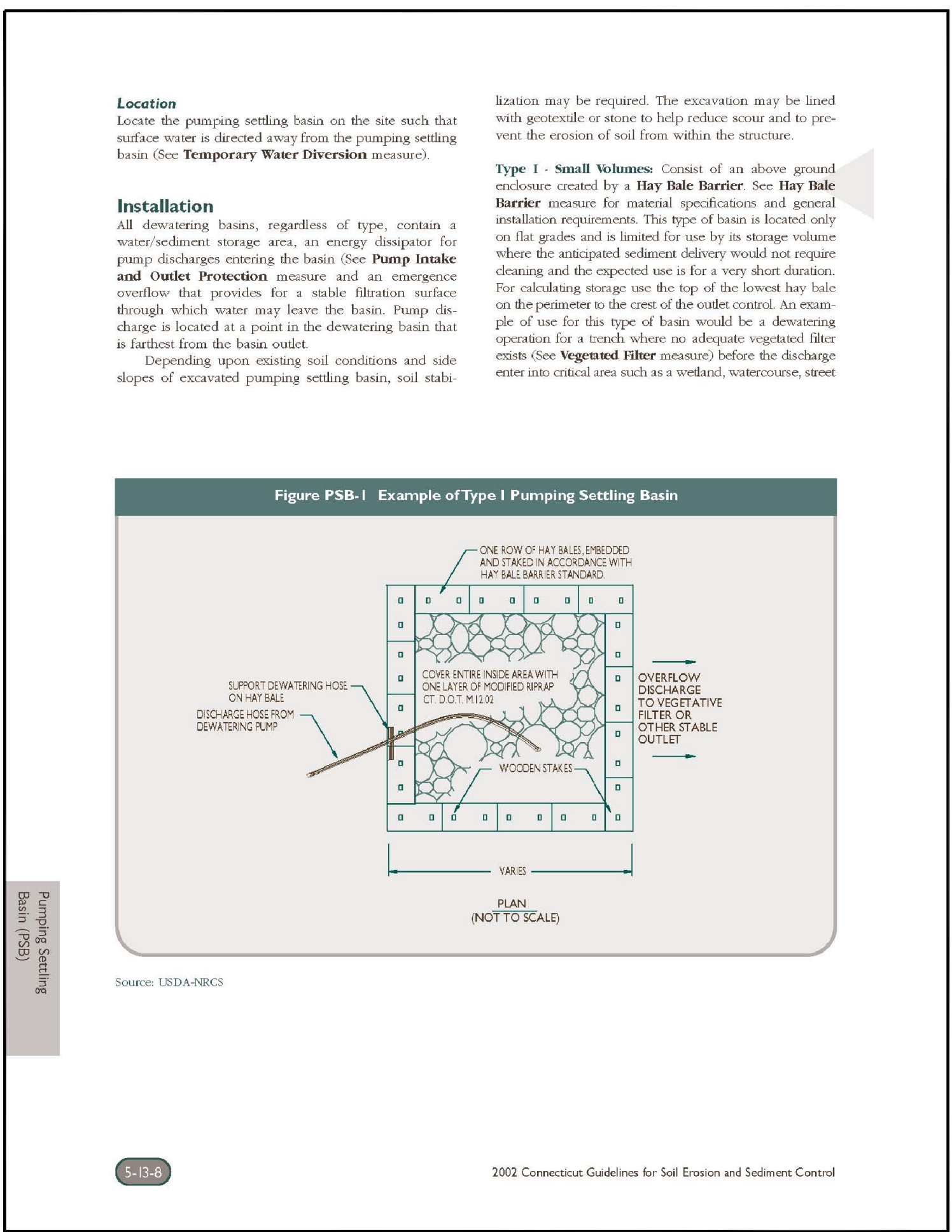
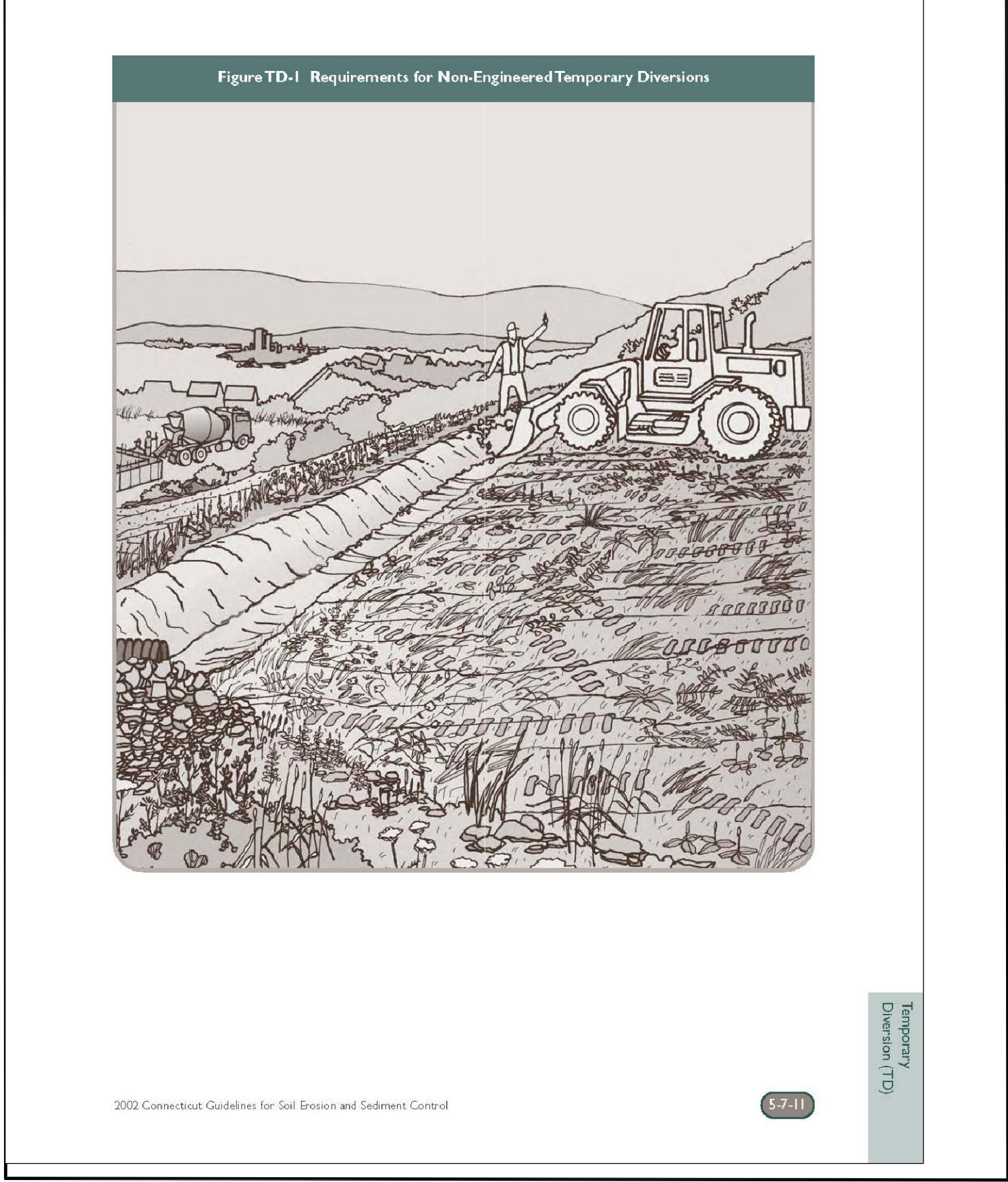
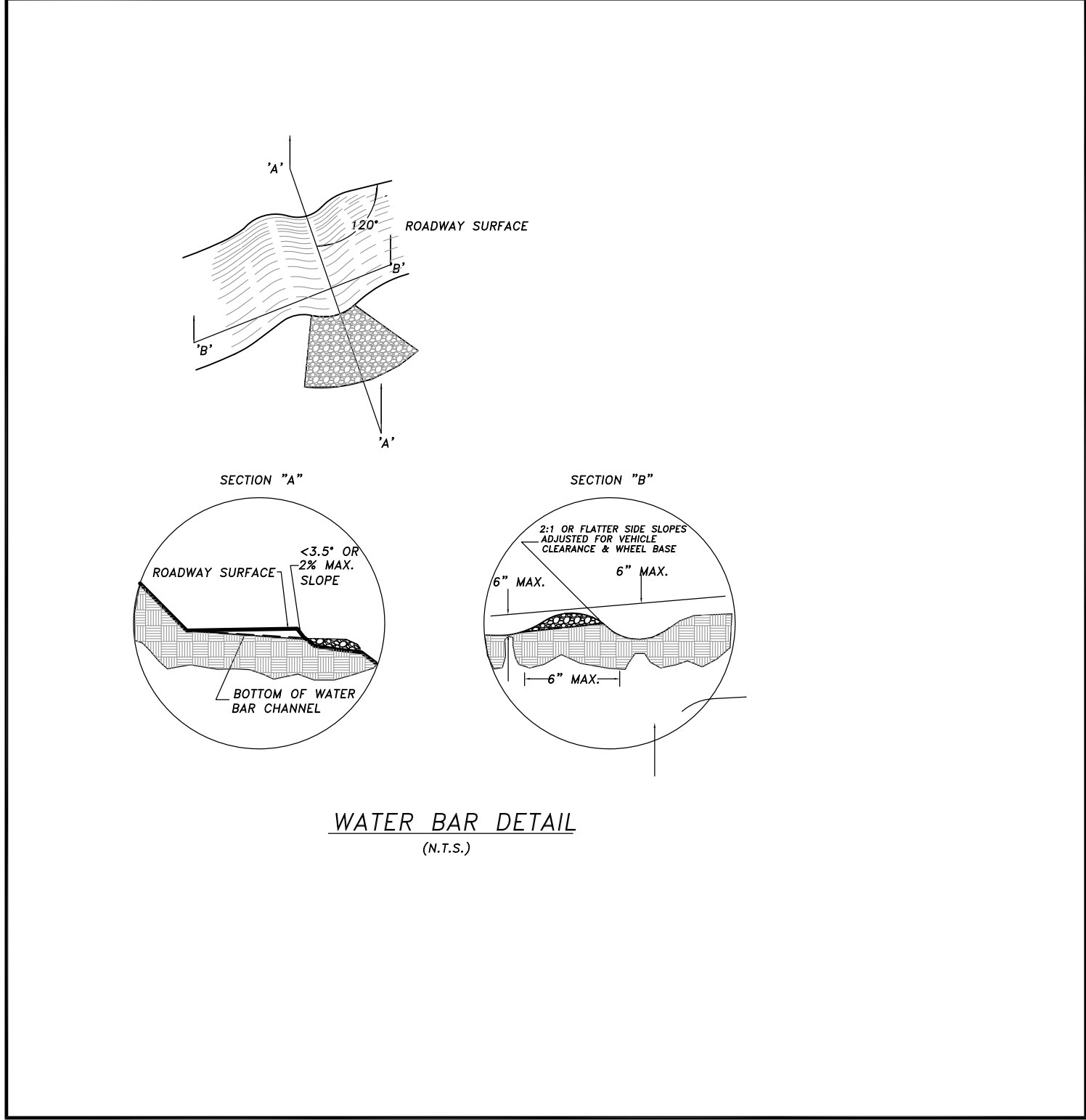
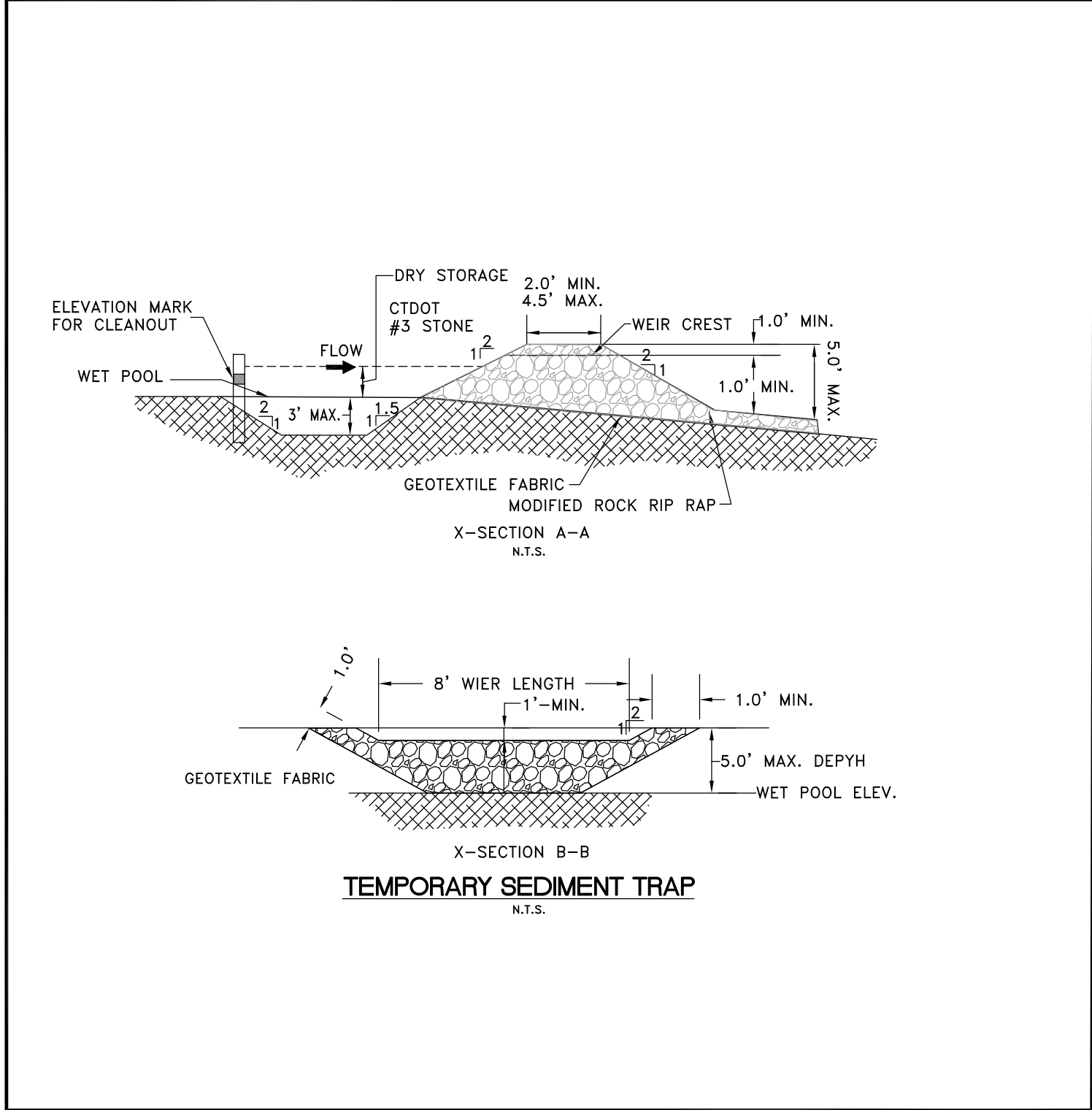
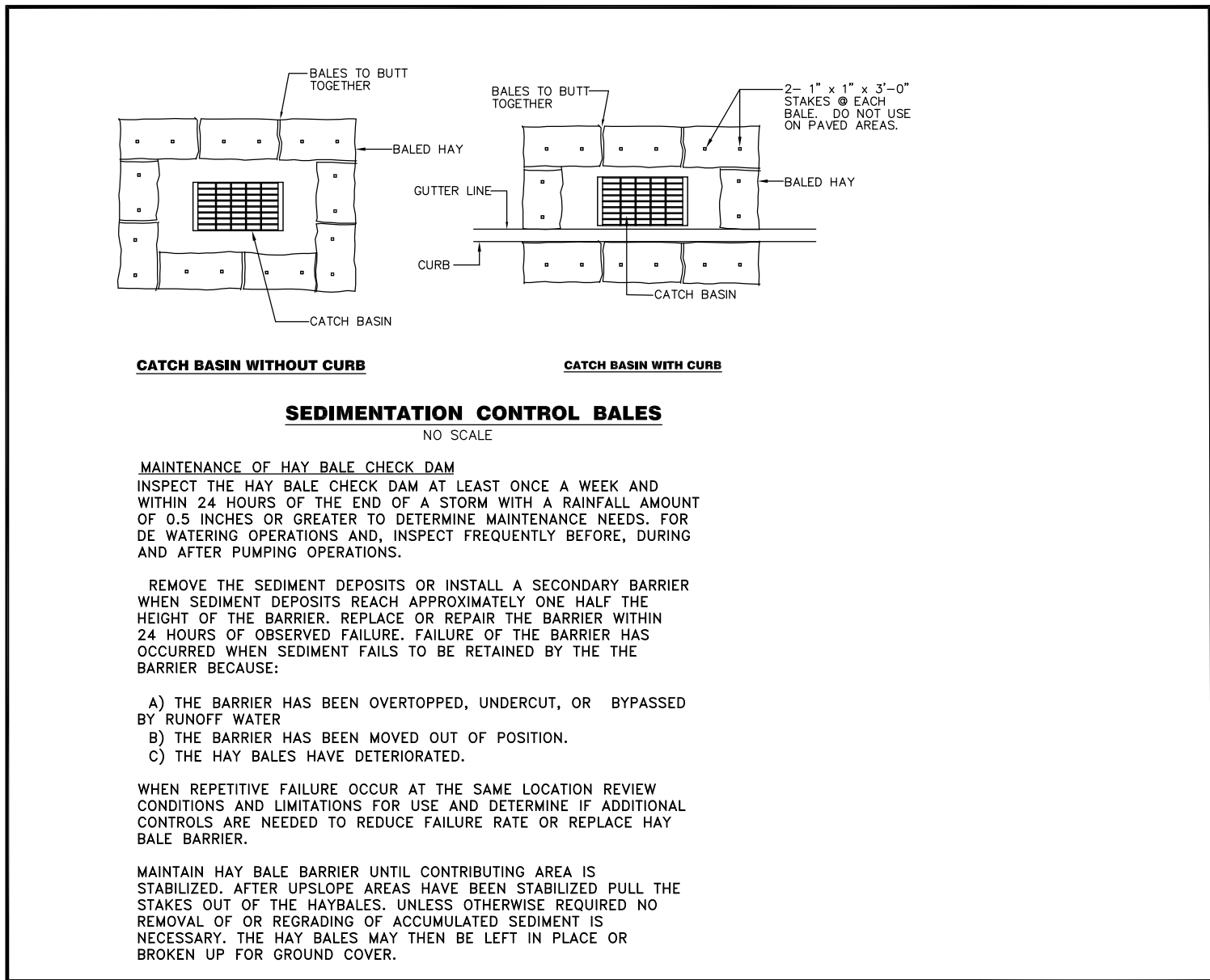
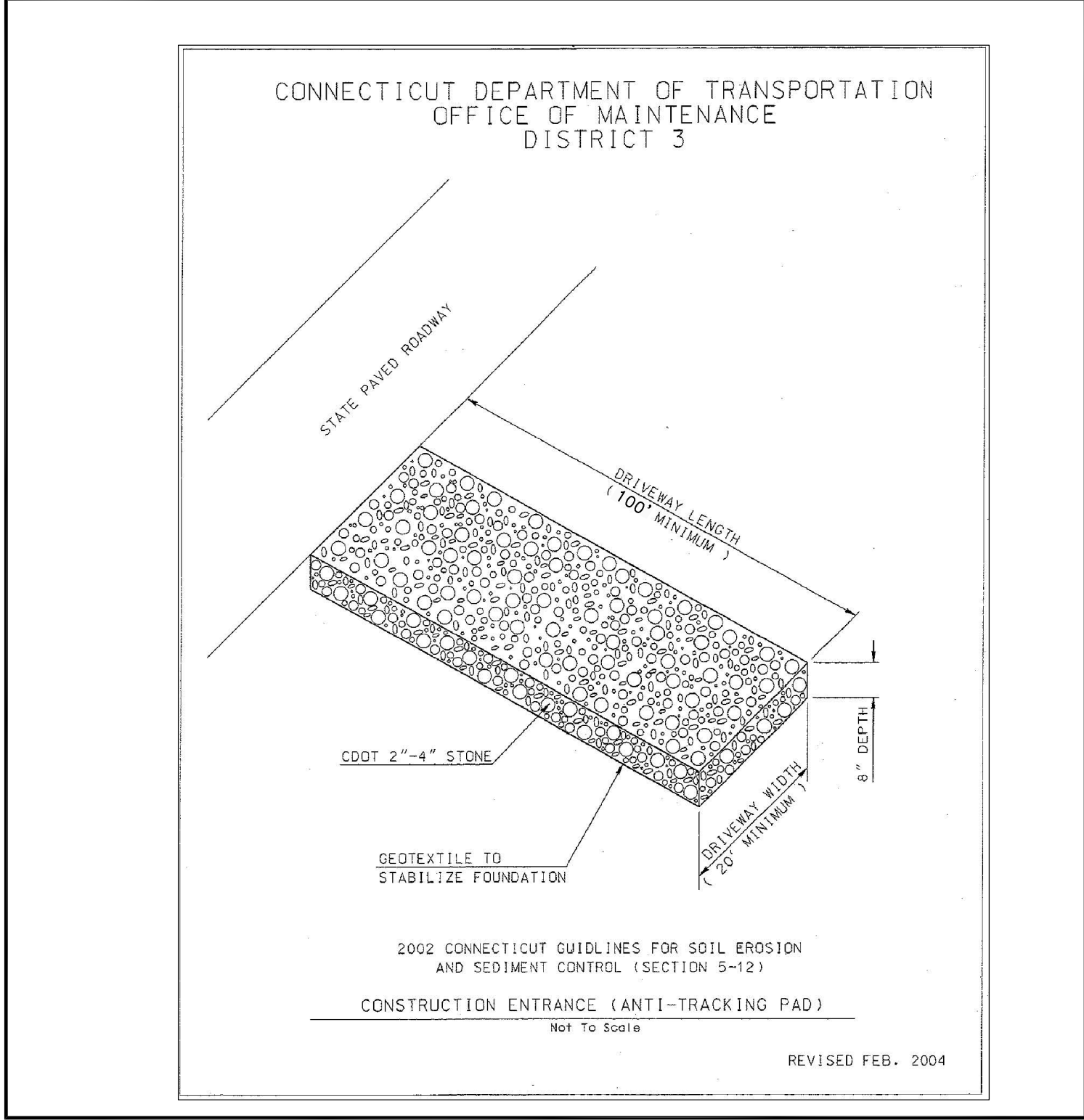
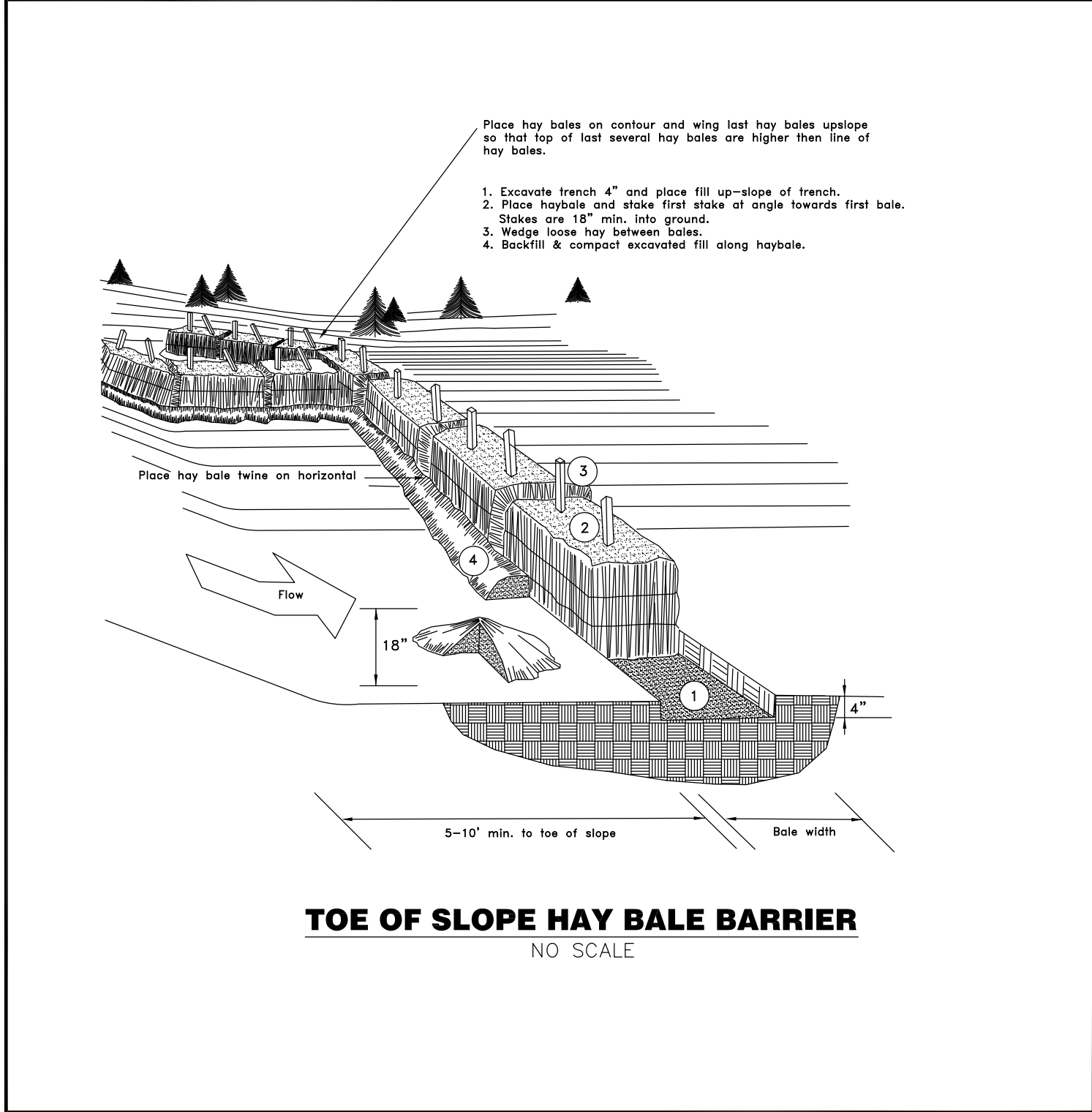
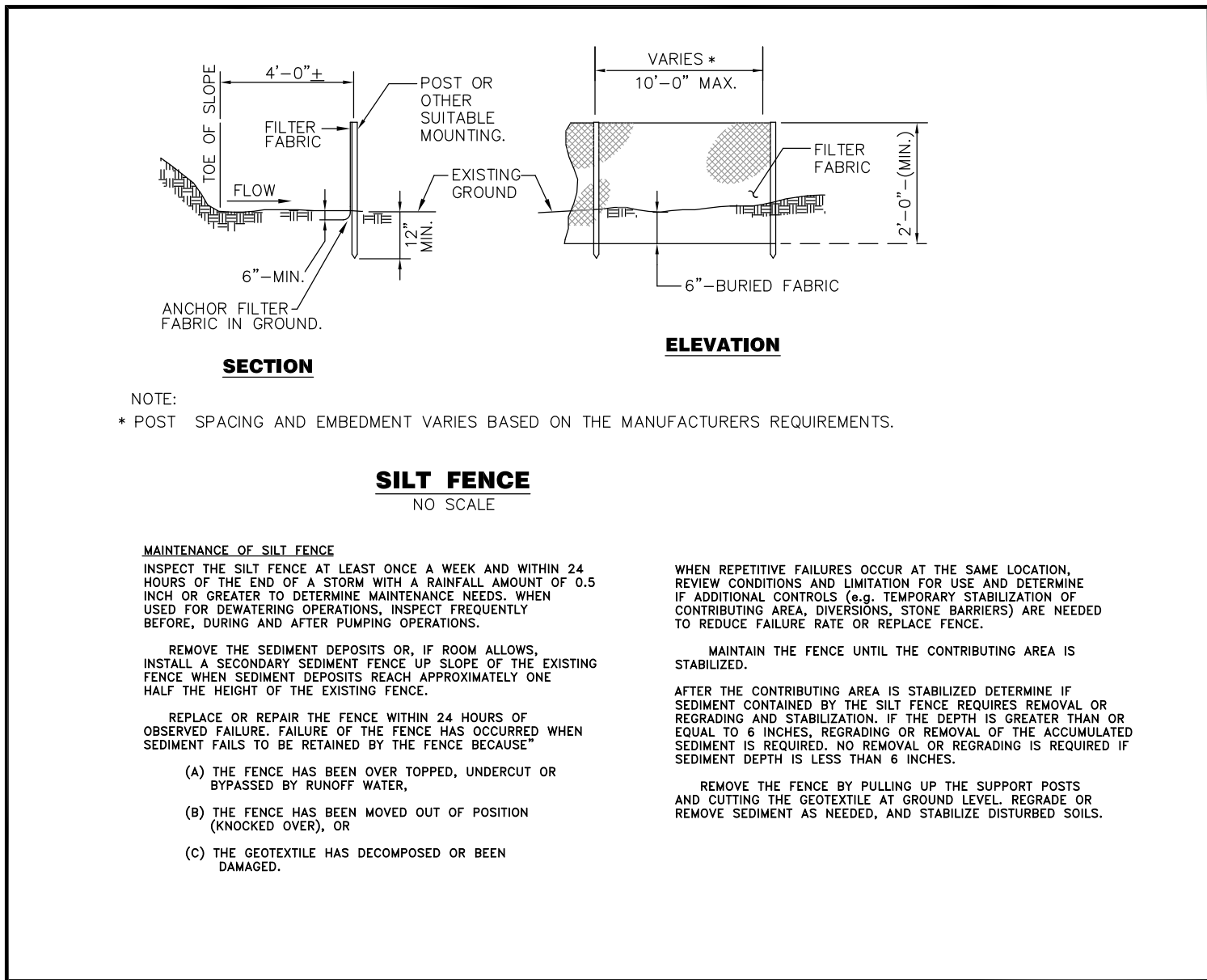
New sign material and sheeting shall be made of reflective material in compliance with State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.08 as revised. Type 1 Reflective Sheeting shall be used for signs with white background, Type 3 Reflective Sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 Reflective Sheeting.

All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standard as revised.

Any damage to the existing curb, sidewalk or any other highway appurtenances during the development of the permitted site will be replaced by the contractor as directed by the District 3 Permit Section at no cost to the state.

All work within the state right of way will comply with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction Form 817 with the latest Special Provisions and Typical State Standard Details.

SCALE: 1"=40'	CHECKED BY: JPC	DATE: MAR. 09, 2025	DRAWN BY: JWP	ACAD FILE: 3566-GEN-DTE
JOB No.: 3566				SHEET: C - 11
REVISIONS: MAY 02, 2025 PER INITIAL TOWN COMMENTS				
GENERAL SITE NOTES PREPARED FOR Estero Holding Company, LLC FOR PROPERTY OF UNIVERSITY OF HARTFORD #829 COTTAGE GROVE ROAD (CT RTE. #218) BLOOMFIELD, CONNECTICUT				
CIVIL ENGINEERS & LAND SURVEYORS 630 MAIN STREET, UNIT #1A CROMWELL, CONNECTICUT 06416 PHONE: (860)-529-6812, FAX: (860)-721-7709				
				



SCALE: 1"=40'

CHECKED BY: JPC

DATE: MAR. 09, 2025

DRAWN BY: JMP

JOB No.: 3566

ACAD FILE: 3566-DET

SHEET: C-12

REVISIONS:

MAY 02, 2025 PER INITIAL TOWN COMMENTS

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE DETAILS

PREPARED FOR

Estero Holding Company, LLC

FOR PROPERTY OF

UNIVERSITY OF HARTFORD

#529 COTTAGE GROVE ROAD (CT RTE. #218)

BLOOMFIELD, CONNECTICUT

STATE OF CONNECTICUT

JAMES P. CASSIDY, P.E.

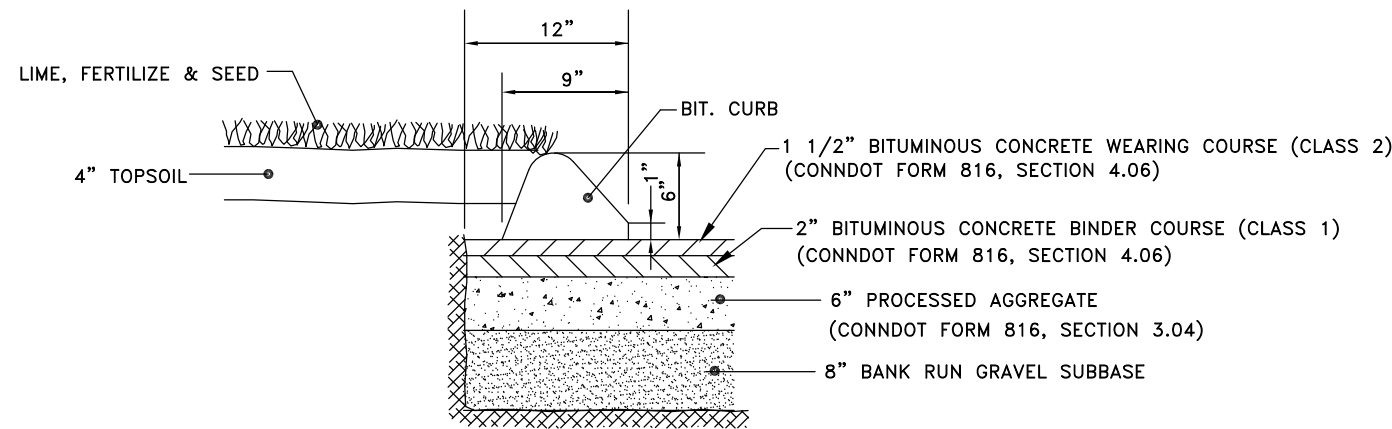
NO. 20665

REGISTERED PROFESSIONAL ENGINEER



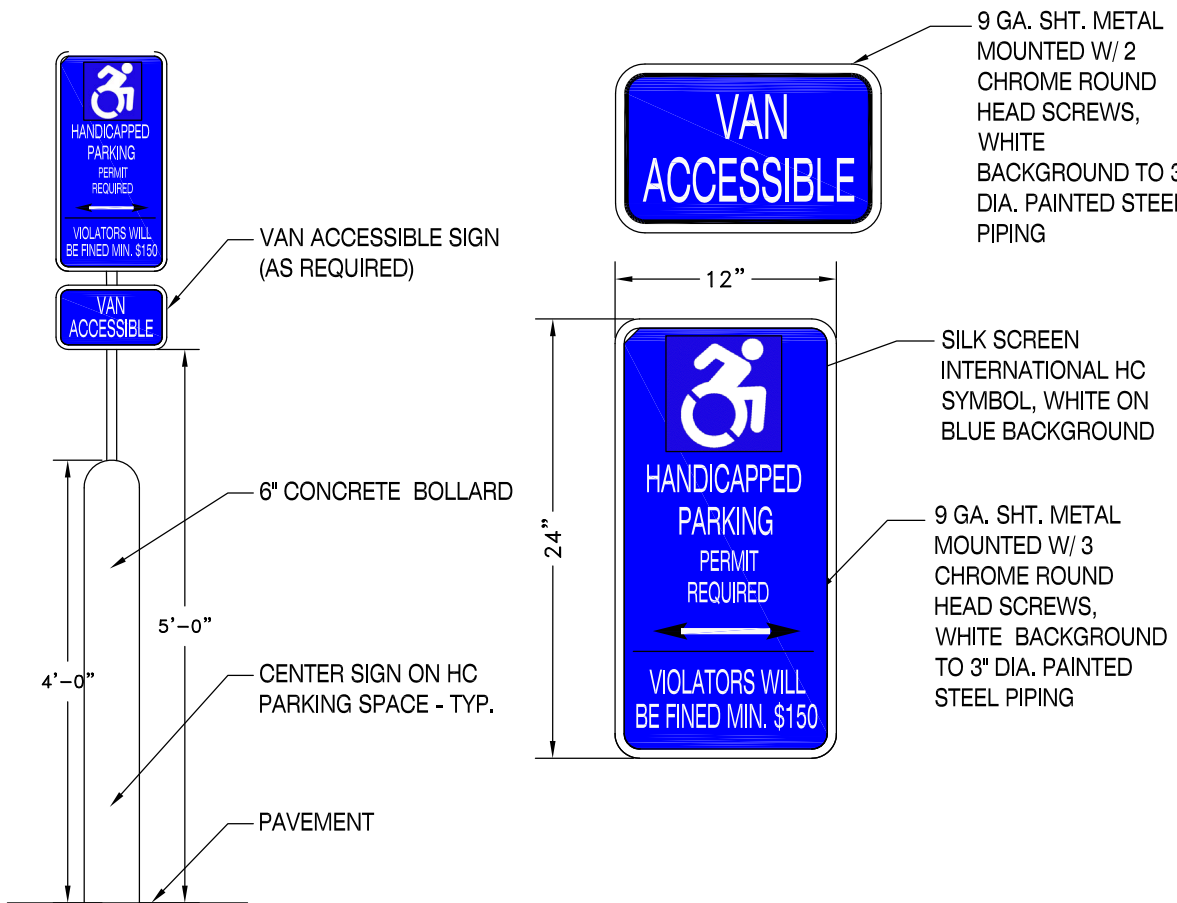
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NO SCALE



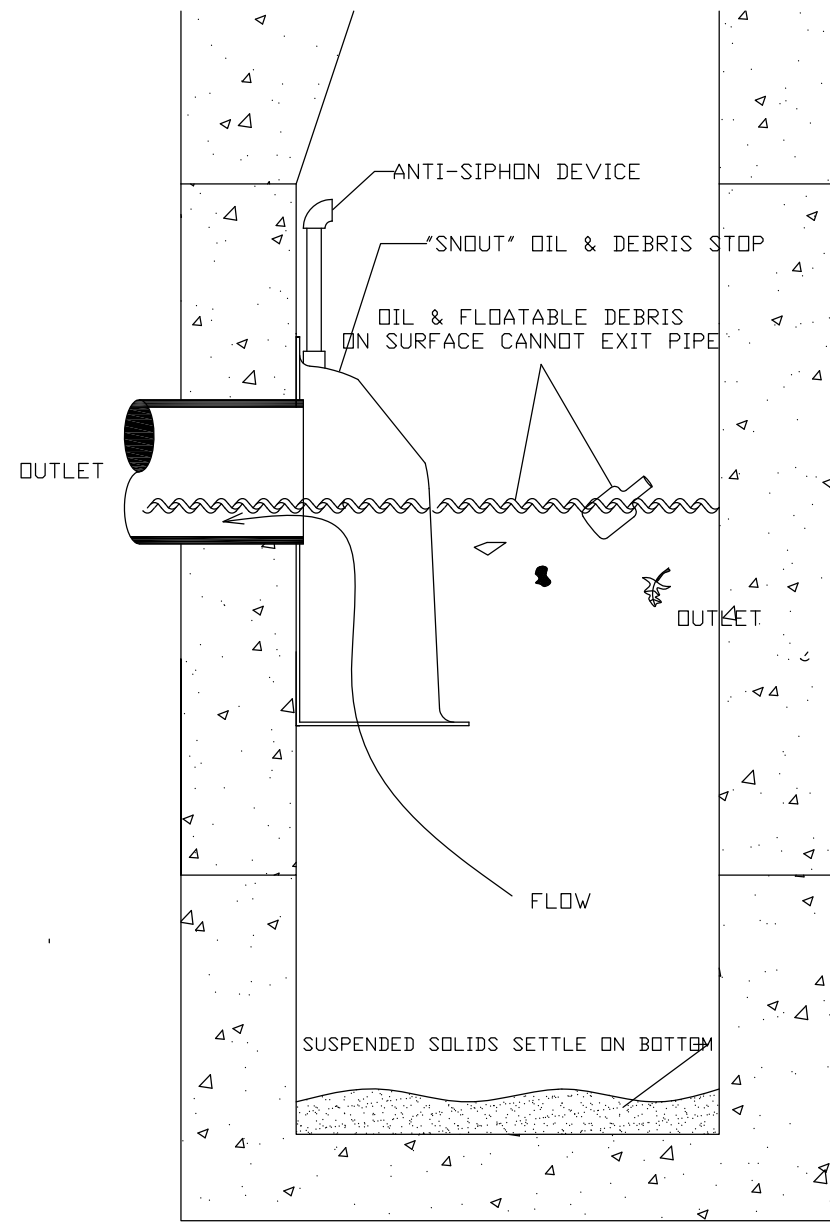
BITUMINOUS CONCRETE PAVEMENT
PARKING AREA SPACES
(STANDARD DUTY)

N.T.S.



HANDICAPPED PARKING SIGN DETAIL

NO SCALE

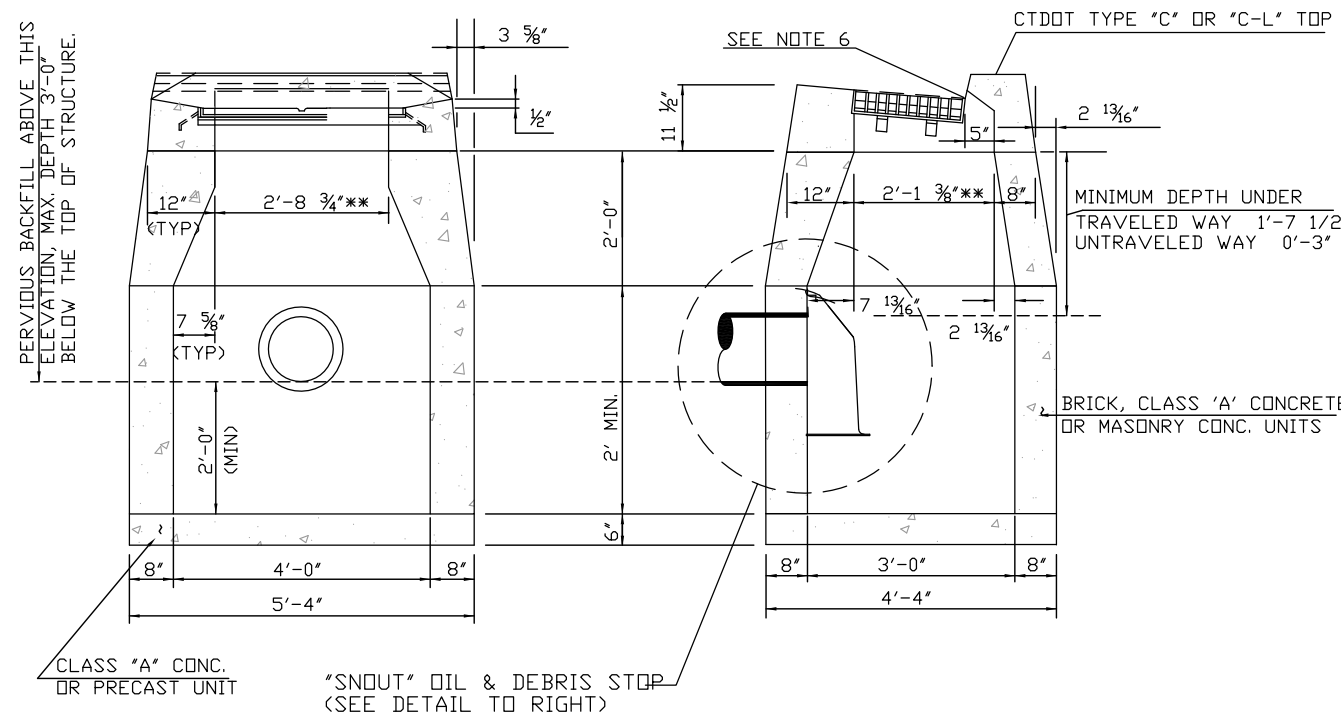


SNOUT CATCH BASIN
INSTALLATION
(TYPICAL)

POST CONSTRUCTION STORM WATER POLLUTION MAINTENANCE

RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:
ESTERO HOLDING COMPANY, LLC
P.O. BOX #36
NEWPORT, RI 02840
PHONE: 1-860-729-6812

CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)

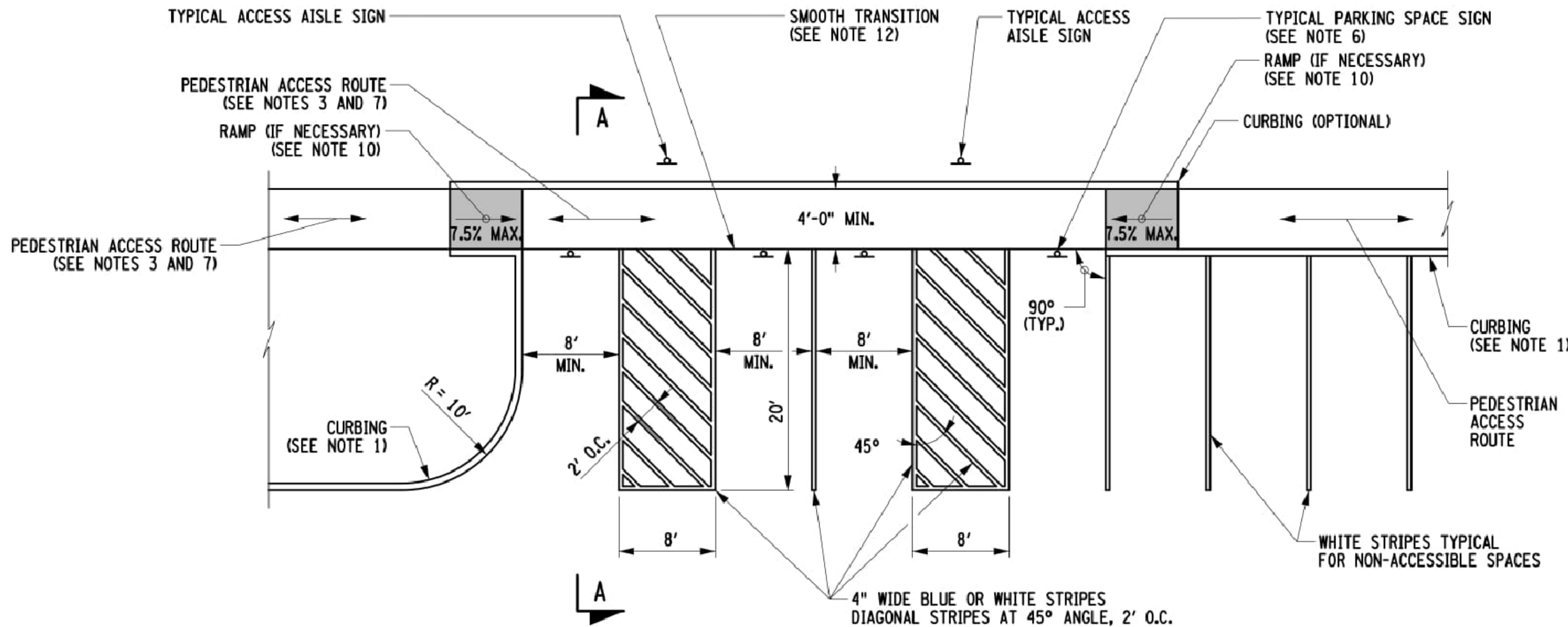


NOTES:

- 1) WALLS OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS SHALL REMAIN THE SAME.
- 2) PROVIDE DRAINAGE OPENING IN EACH WALL AT LOWEST INVERT ELEVATION.
- 3) WHERE BRICK OR MASONRY CONCRETE UNITS ARE USED, CORRELLING WILL BE PERMITTED. MAXIMUM CORBEL SHALL BE 3". NO PROJECTION SHALL EXTEND INSIDE OF LIMITS NOTED BY **.
- 4) PRECAST CONCRETE CATCH BASIN UNITS MAY BE USED, AS DESCRIBED IN THE STANDARD SPECIFICATIONS.
- 5) WHERE PRECAST CONCRETE UNIT IS USED FOR THE SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.
- 6) TOP OF FRAME ELEVATION SHALL BE DEPRESSSED 1' BELOW NORMAL GUTTER GRADE.
- 7) PROVIDE 6"(MIN) GRANULAR FILL UNDER STRUCTURE TO REPLACE UNSUITABLE MATERIAL.

TYPICAL CATCH BASIN

NOT TO SCALE



TYPICAL ACCESSIBLE PARKING LOT LAYOUT

NOTES:

1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING LOT SPACES, THE SIDEWALK, CURBING, AND PAVEMENT MATERIALS SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.

2. MINIMUM NUMBER OF ACCESSIBLE SPACES:

TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES	TOTAL SPACES IN LOT	MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1	201 TO 300	7
26 TO 50	2	301 TO 400	8
51 TO 75	3	401 TO 500	9
75 TO 100	4	501 TO 1,000	2% OF TOTAL
101 TO 150	5	1,001 AND OVER	20, PLUS ONE FOR EACH 100, OR FRACTION THEREOF, OVER 1,000
151 TO 200	6		

EXCEPTION: PARKING AREAS ON THE PREMISES OF, OR IMMEDIATELY ADJACENT TO, MEDICAL SERVICES FACILITIES PROVIDING TREATMENT FOR MOBILITY IMPAIRED PERSONS AND OTHER SIMILAR LOCATIONS MAY REQUIRE A GREATER NUMBER OF ACCESSIBLE PARKING SPACES THAN INDICATED ABOVE. REFER TO THE APPLICABLE ACCESSIBILITY STANDARD.

3. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.

4. DIMENSIONS - ACCESSIBLE PARKING SPACES SHALL BE AT LEAST 8' WIDE AND SHALL HAVE AN ADJACENT ACCESS AISLE 8' WIDE MEASURED PERPENDICULAR TO THE STALL STRIPE TO ACCOMMODATE VANS WITH LIFTS.

5. COMMON ACCESS AISLES FOR 90° PARKING - TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE FOR ACUTE ANGLED PARKING, SUCH AS 60° PARKING, OR WHERE ONE WAY DRIVEWAY AISLES WOULD PREVENT VANS WITH PASSENGER SIDE LIFTS FROM BACKING INTO ACCESSIBLE SPACES. AN ACCESSIBLE ACCESS AISLE MUST BE PROVIDED FOR EACH ACCESSIBLE PARKING SPACE. WIDTH OF ACCESS AISLES AND PARKING SPACES ARE MEASURED PERPENDICULAR TO THE STRIPING.

6. SIGNING - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL FOR ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED GROUND MOUNTED SIGNS INDICATING THAT STOPPING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE 7" MINIMUM ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" MINIMUM ABOVE THE PAVEMENT SURFACE.

7. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1.5% MAXIMUM IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND 2.0% MAXIMUM FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.

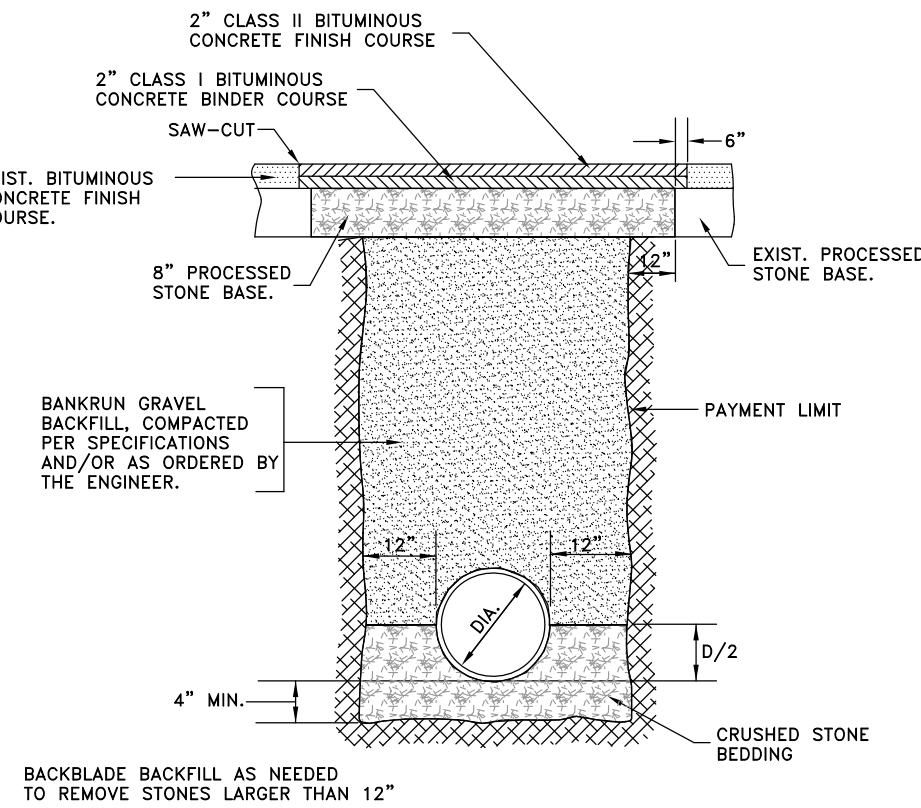
8. OVERHEAD CLEARANCE - VEHICLE ACCESS ROUTES TO AND FROM ACCESSIBLE PARKING SPACES, INCLUDING IN GARAGES AND OPEN PARKING STRUCTURES, SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 8'-2".

9. PAVEMENT MARKING COLORS - REQUIRED ACCESSIBLE PARKING SPACE AND ACCESS AISLE STRIPING AND OTHER OPTIONAL PAVEMENT MARKINGS, SUCH AS THE INTERNATIONAL ACCESS SYMBOL, SHALL BE PAINTED WHITE OR BLUE.

10. REFER TO STANDARD SHEETS 608-01 TITLED "SIDEWALK AND CURB RAMP DETAILS" FOR CURB RAMP REQUIREMENTS. DETECTABLE WARNING SURFACES ARE NOT REQUIRED.

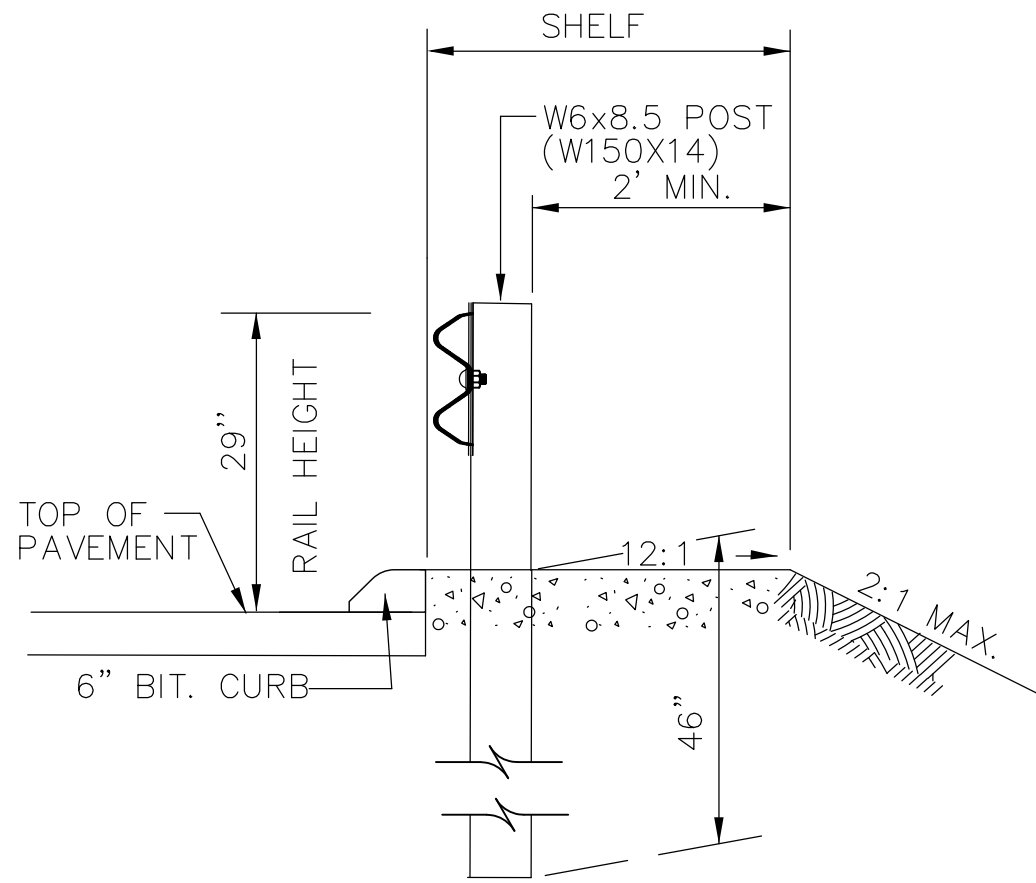
11. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS, ACCESSIBLE PARKING SPACES AND AISLES.

12. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE 4'-0" x 4'-0" MINIMUM SHALL BE PROVIDED AT THE BASE OR THE TOP OF CURB RAMP, AS APPLICABLE. THE CROSS SLOPE OF TURNING SPACES SHALL NOT EXCEED 1.5% IN ANY DIRECTION FOR DESIGN AND LAYOUT, AND 2.0% FOR WORK ACCEPTANCE, WHILE PROVIDING POSITIVE DRAINAGE.



TYPICAL STORM TRENCH
CROSS SECTION

N.T.S.



CURB APPLICATION

NO SCALE

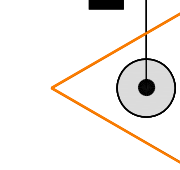
HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

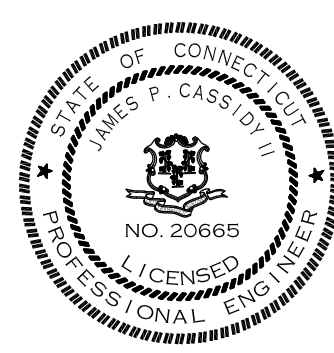
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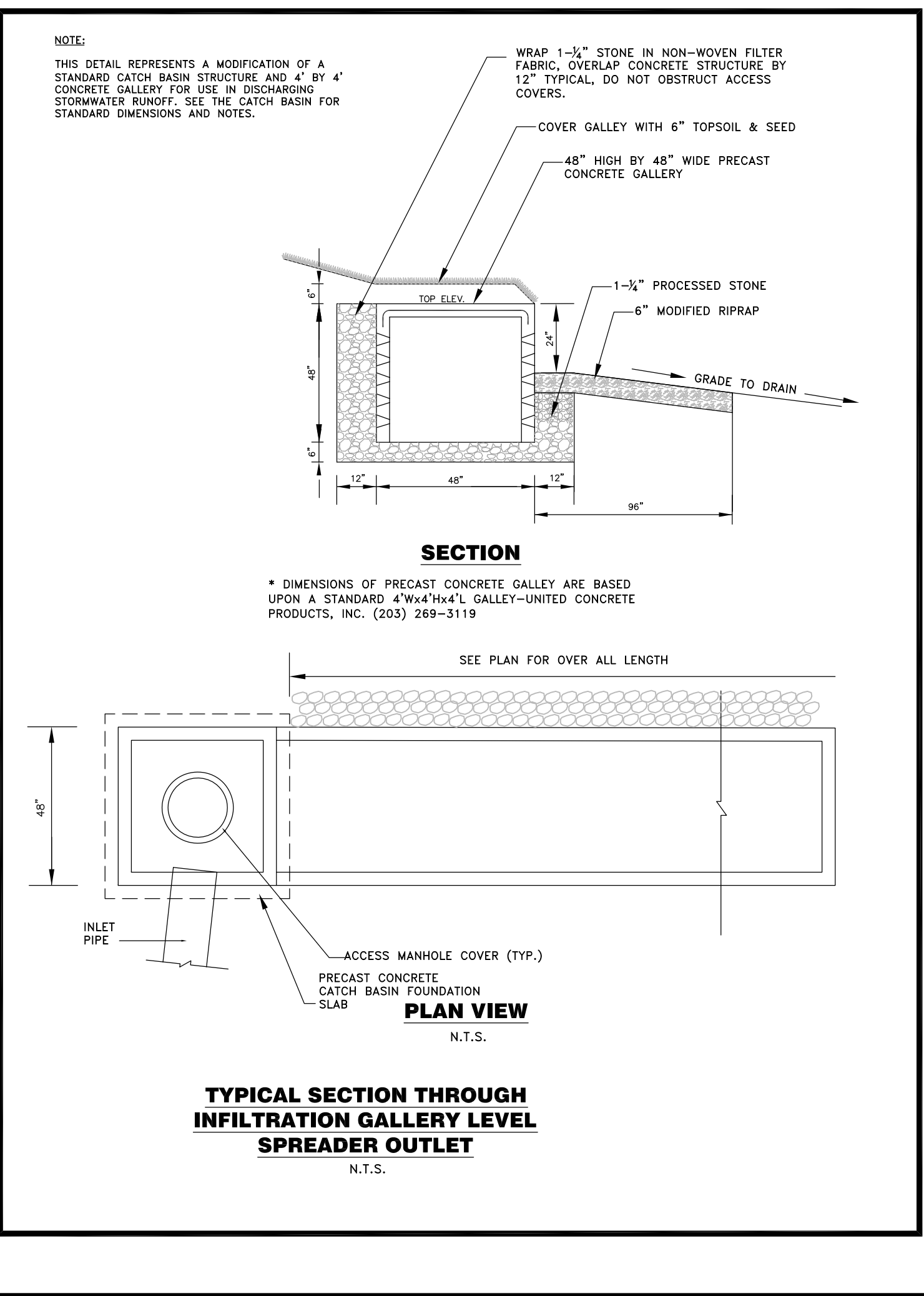
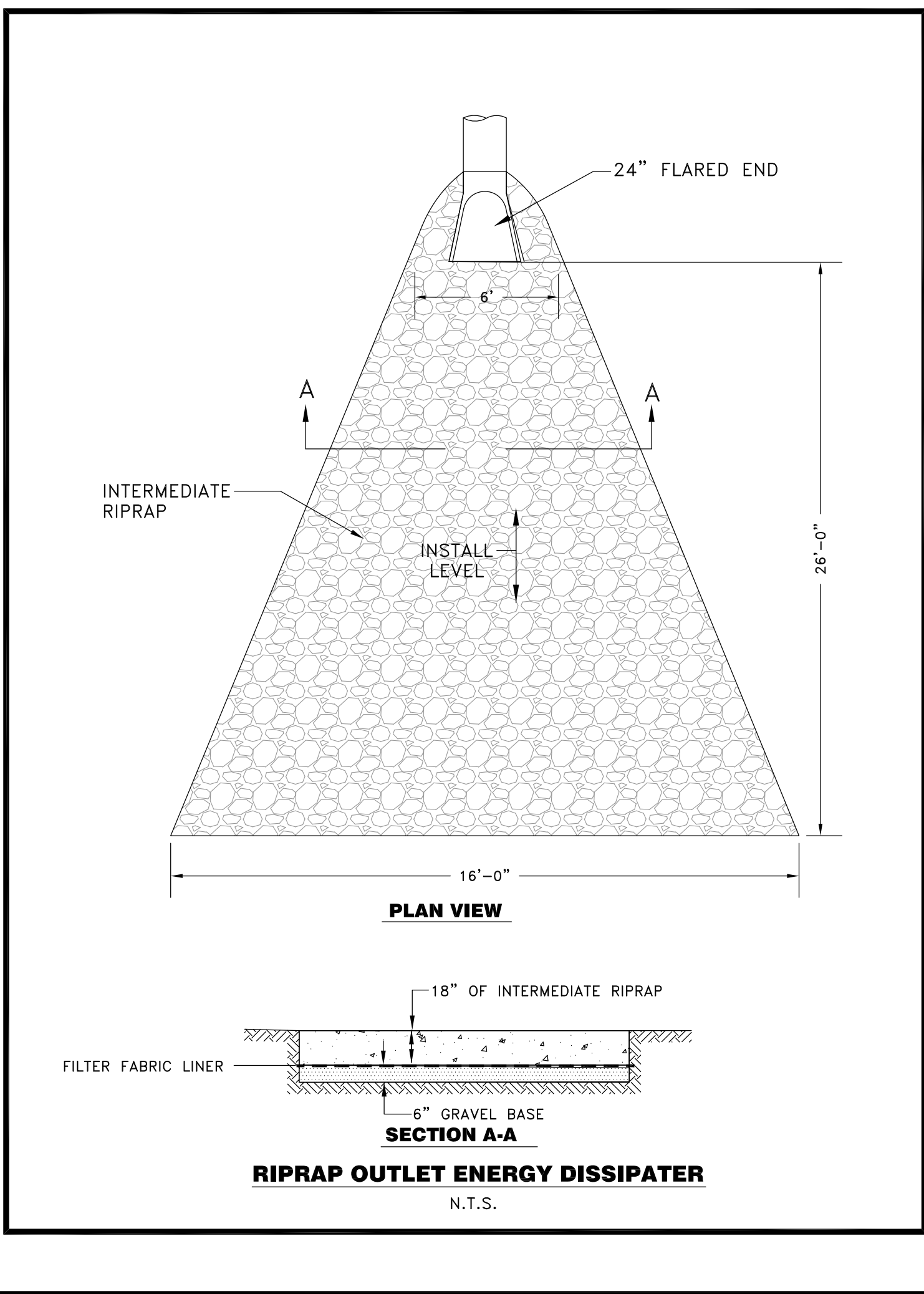
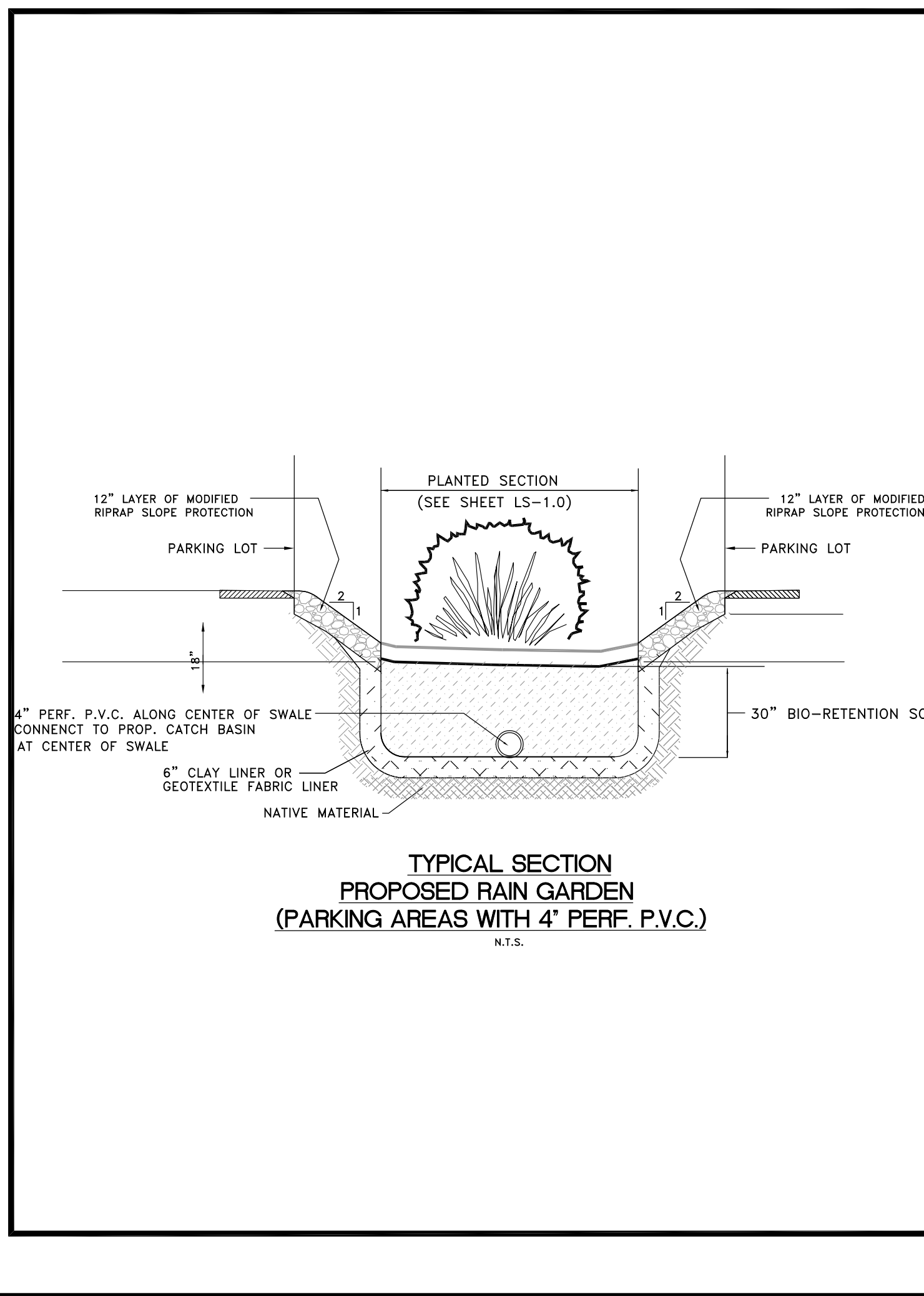
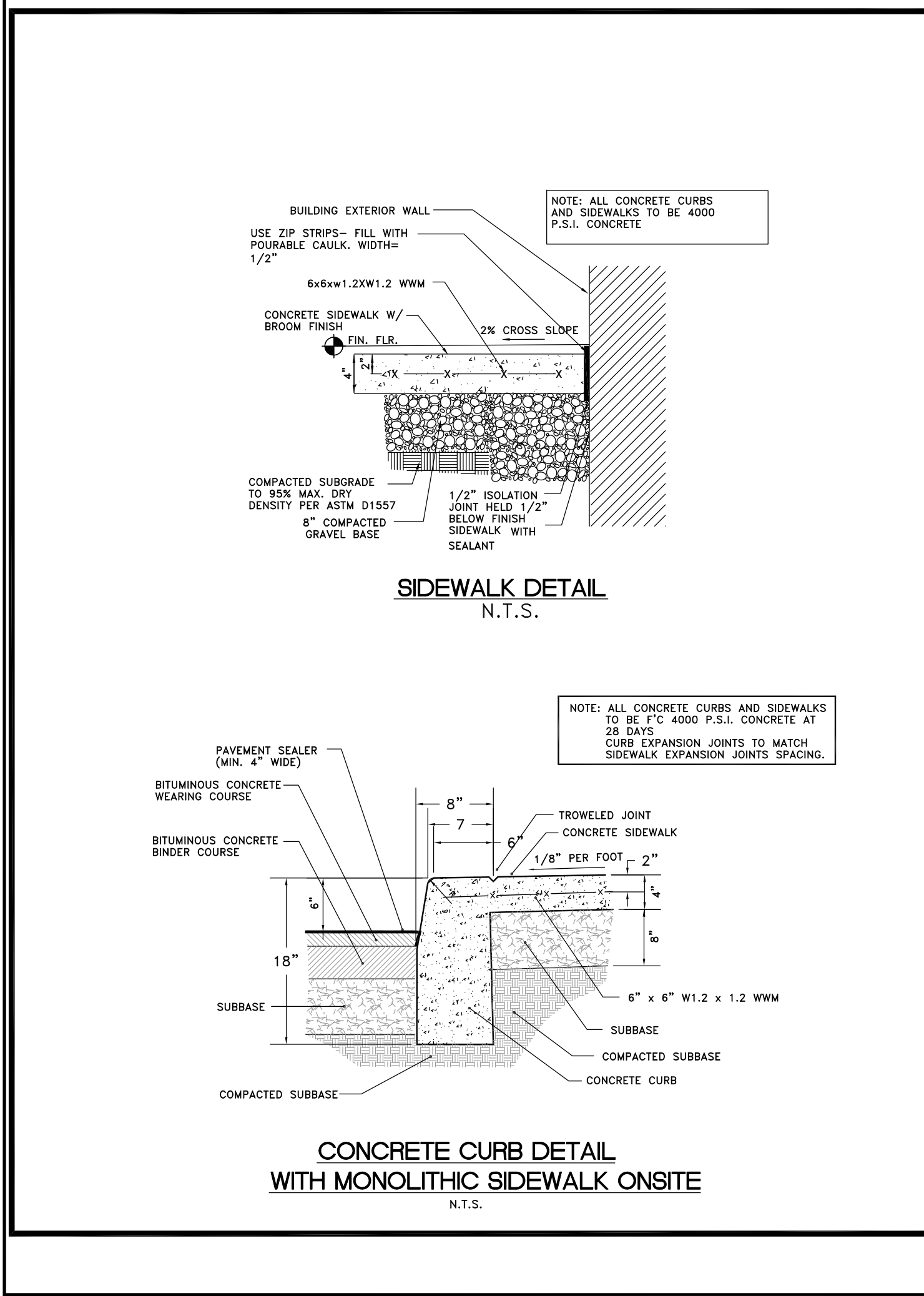
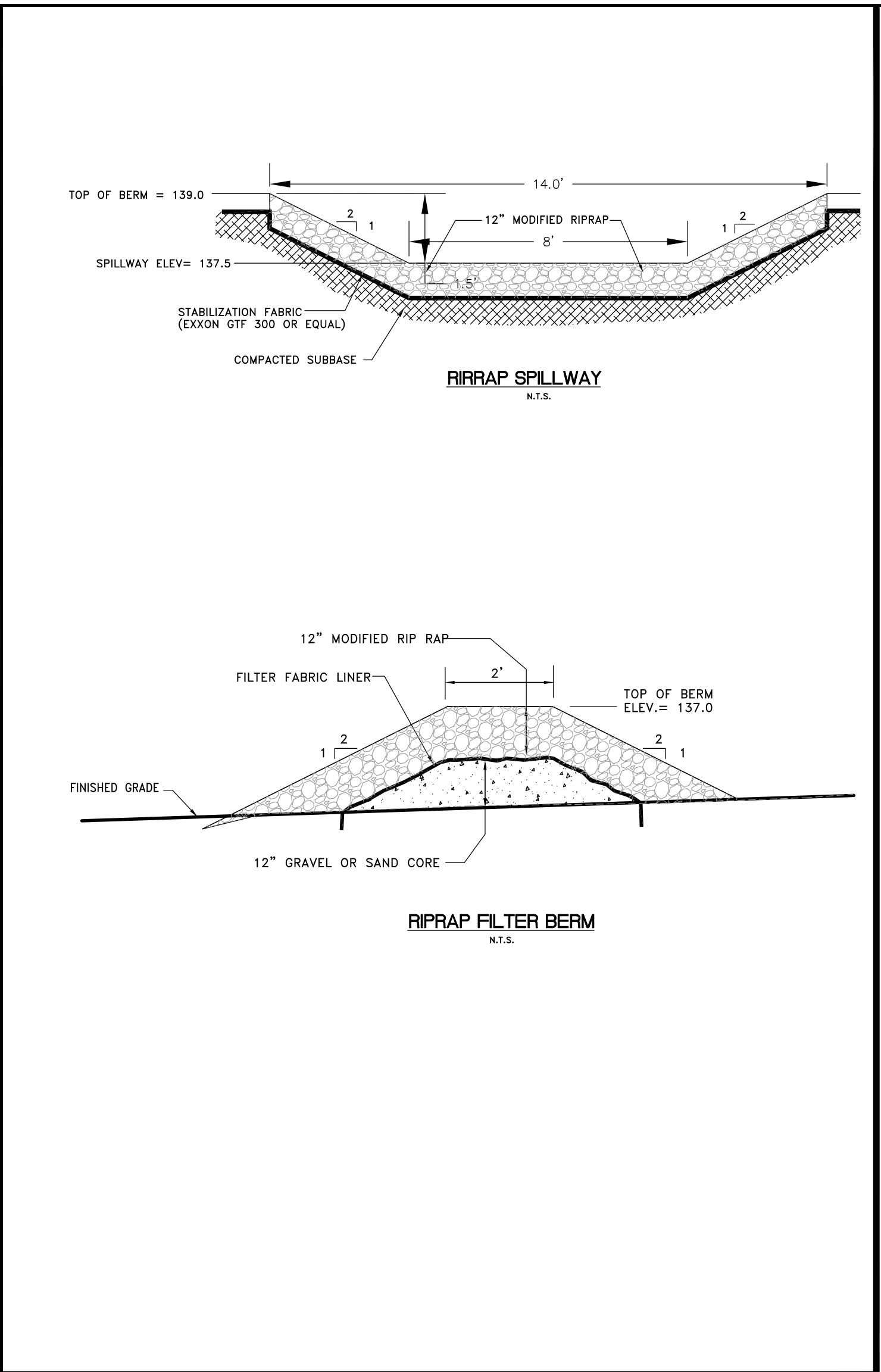
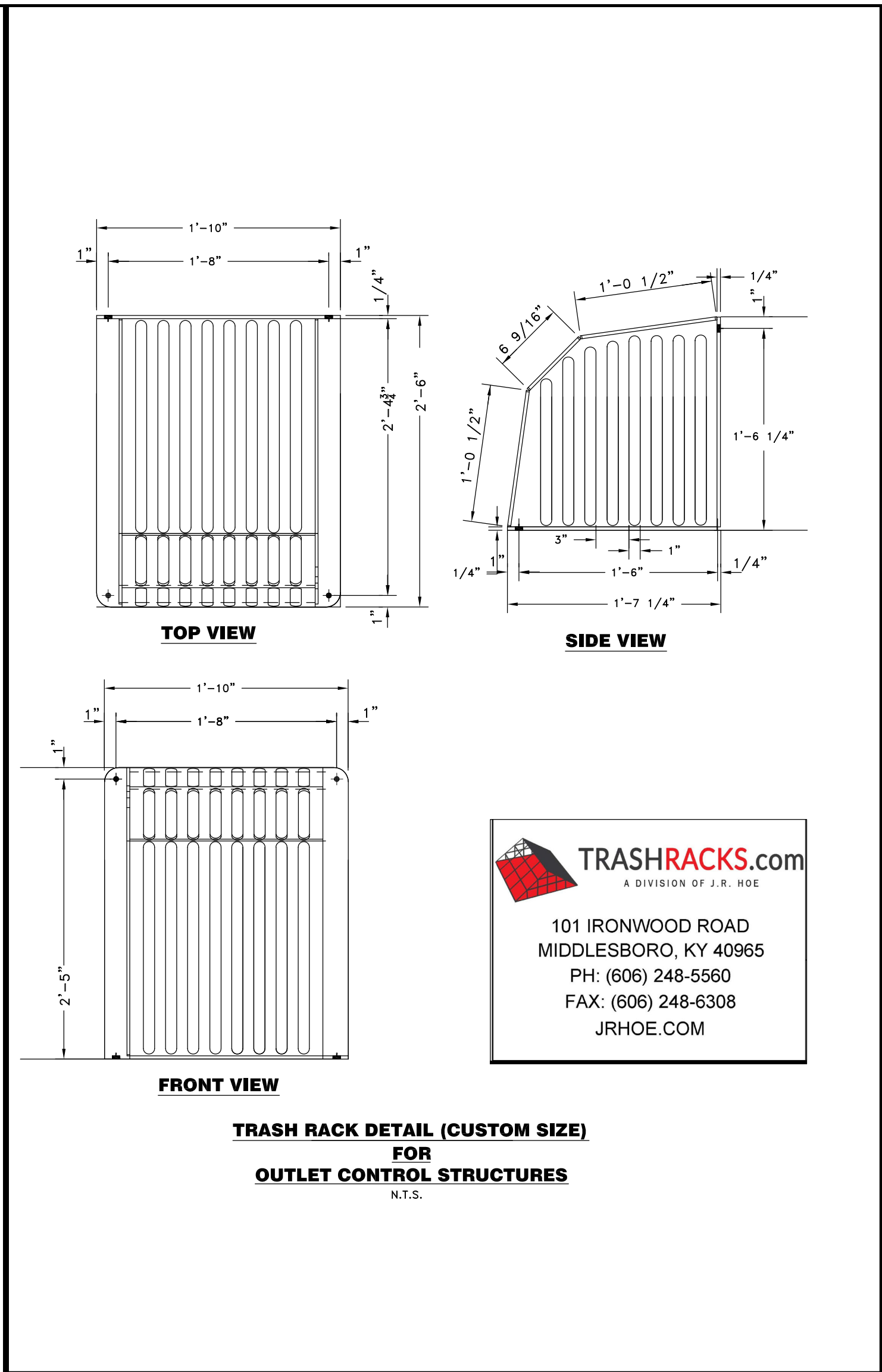
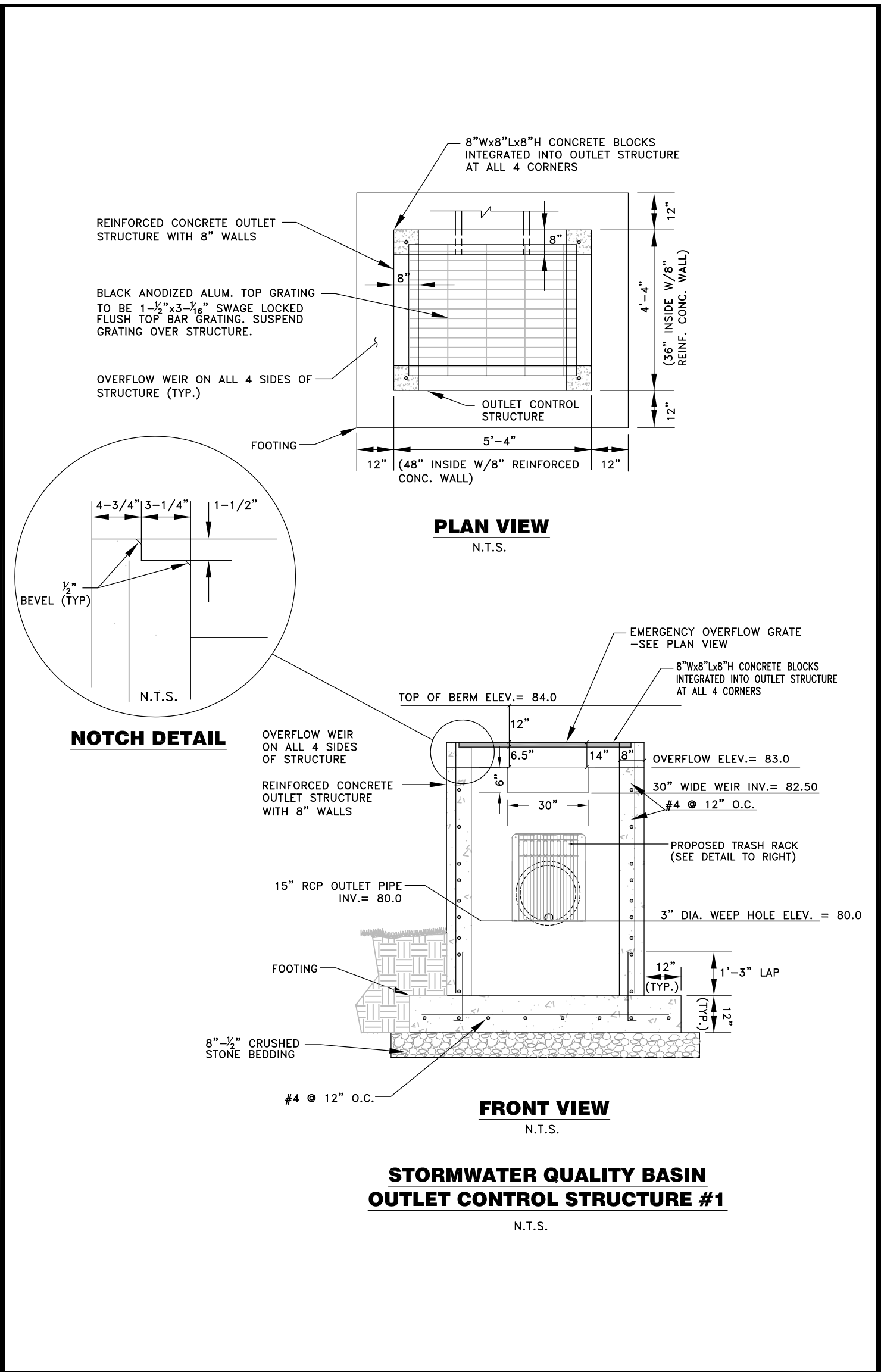
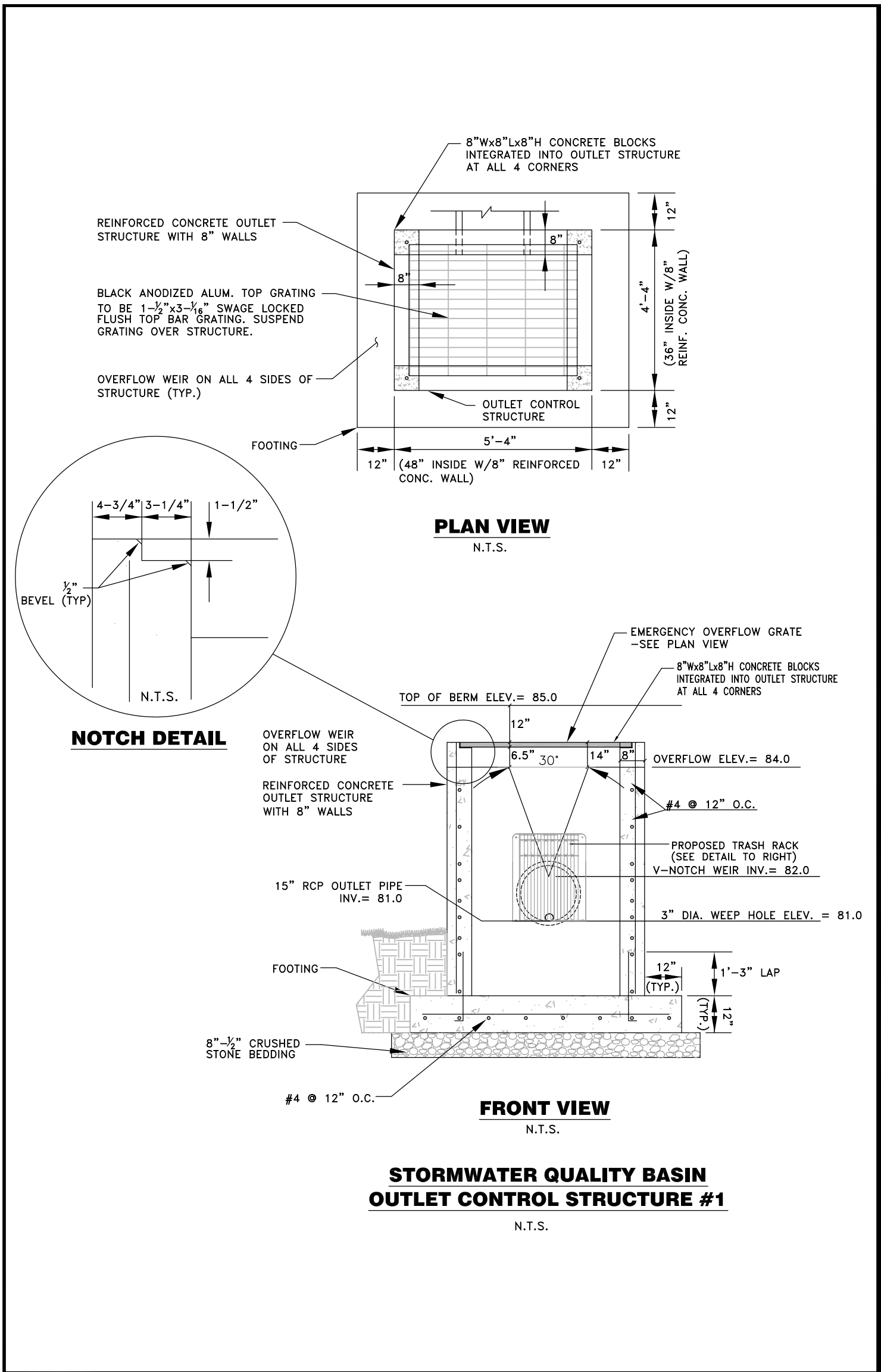
CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709



SITE DETAILS
PREPARED FOR
Estero Holding Company, LLC
FOR PROPERTY OF
UNIVERSITY OF HARTFORD
#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT



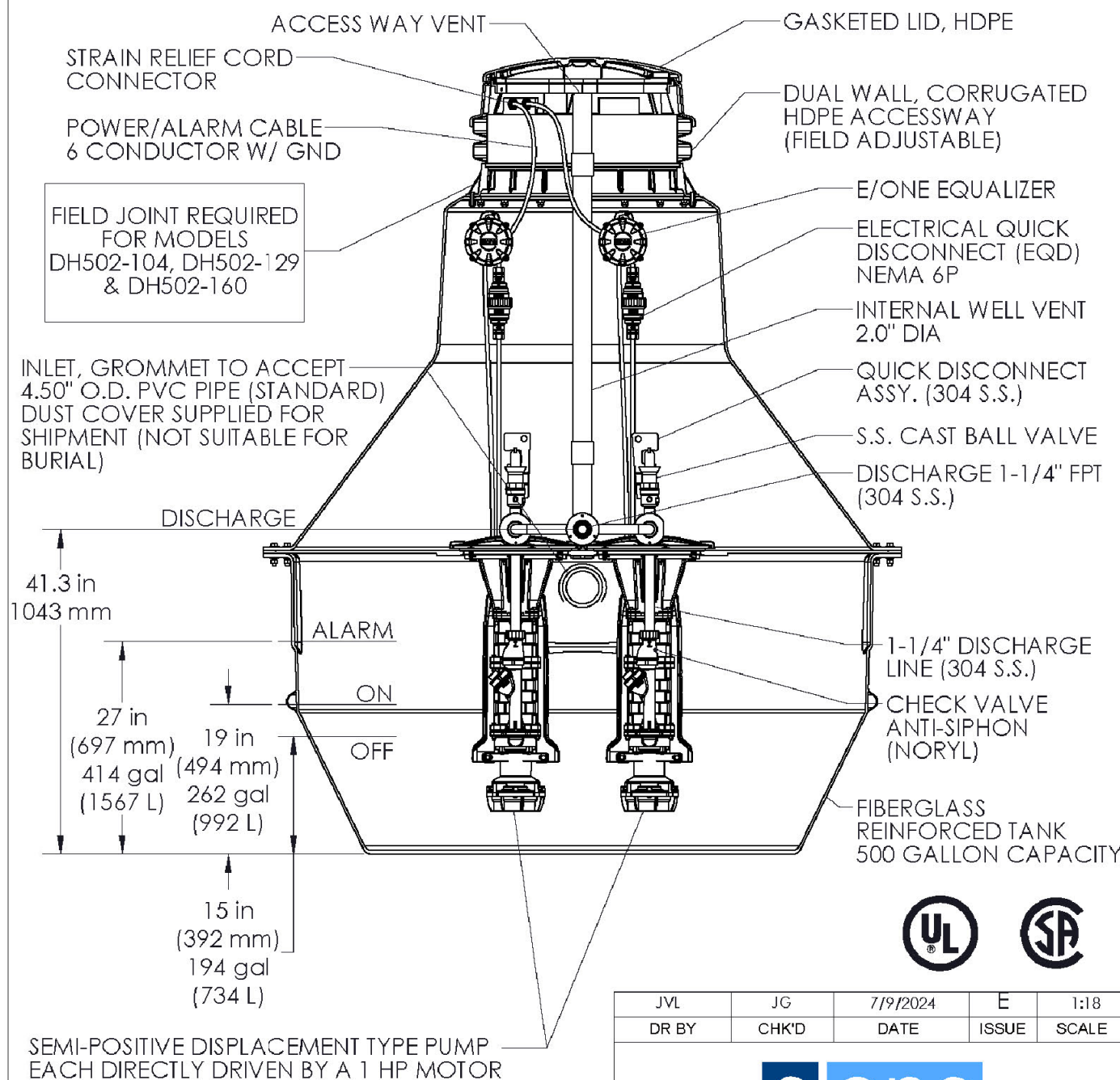


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DATE: MAR. 09, 2025	DRAWN BY: JMP
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SHEET: C-14	
REVISIONS: MAY 02, 2025 PER INITIAL TOWN COMMENTS	

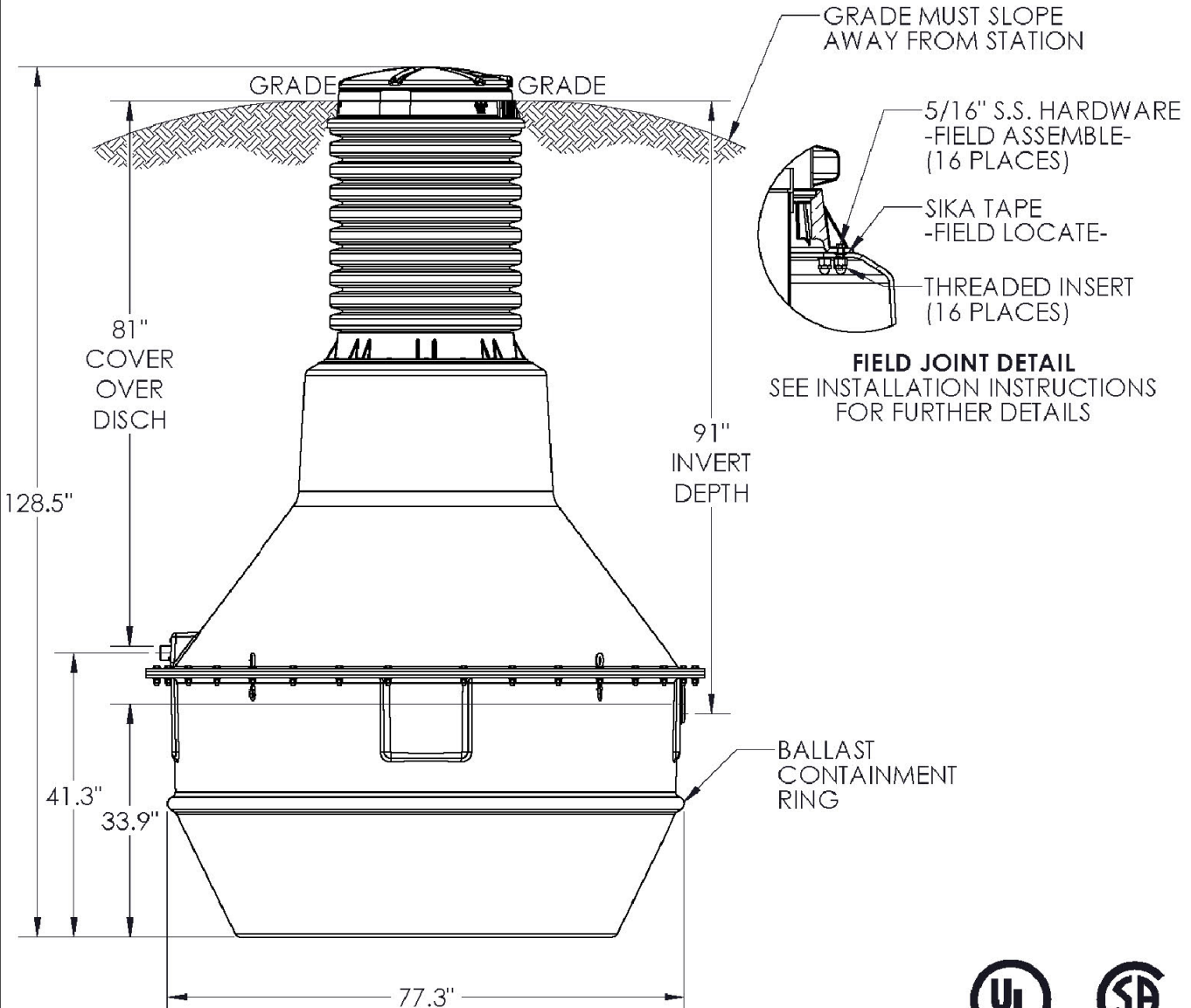
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860) 529-6812, FAX: (860) 721-7709

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#529 COTTAGE GROVE ROAD (CT RTE. #218)
BLOOMFIELD, CONNECTICUT**

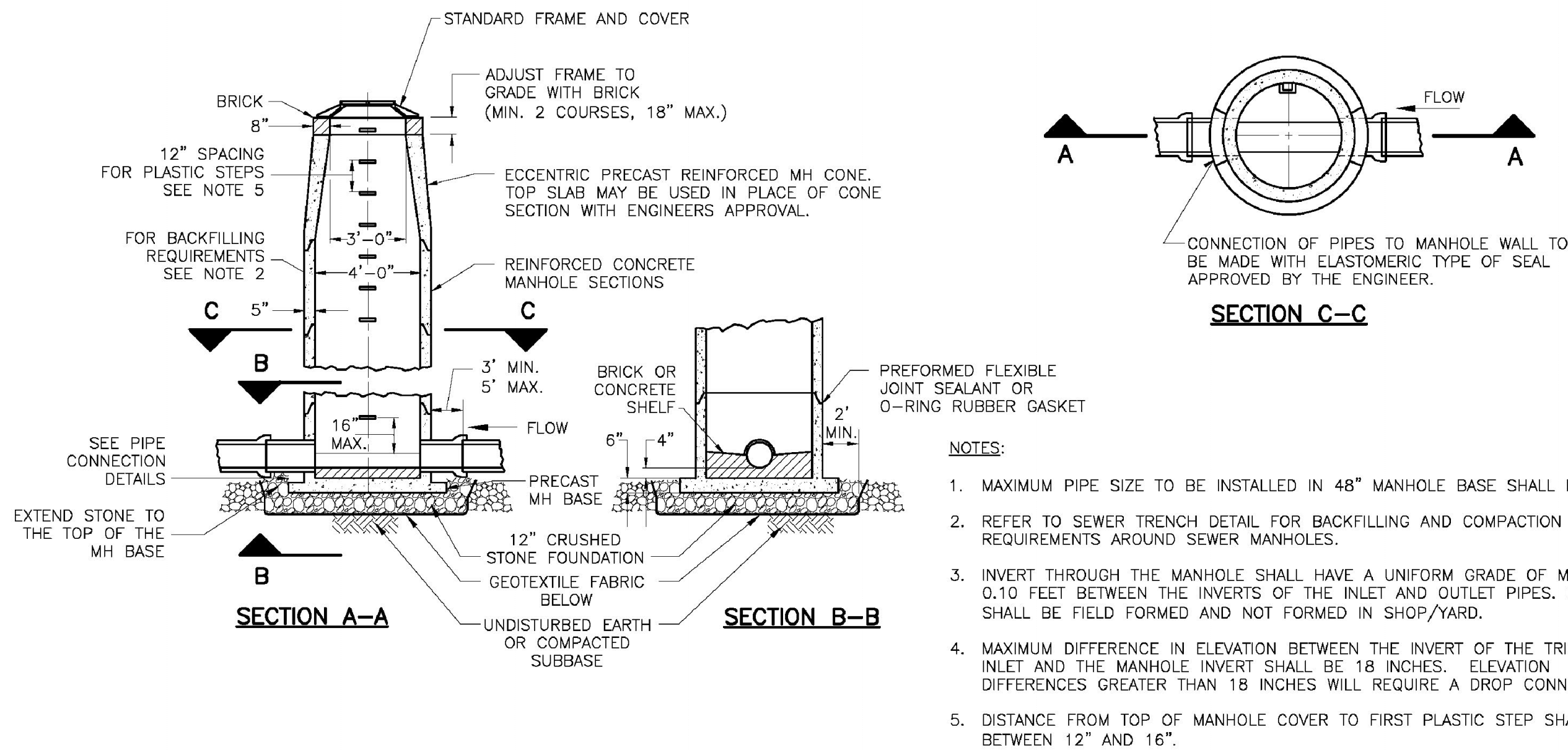
STATE OF CONNECTICUT
JAMES P. CASSIDY, III
NO. 20665
LICENSED PROFESSIONAL ENGINEER



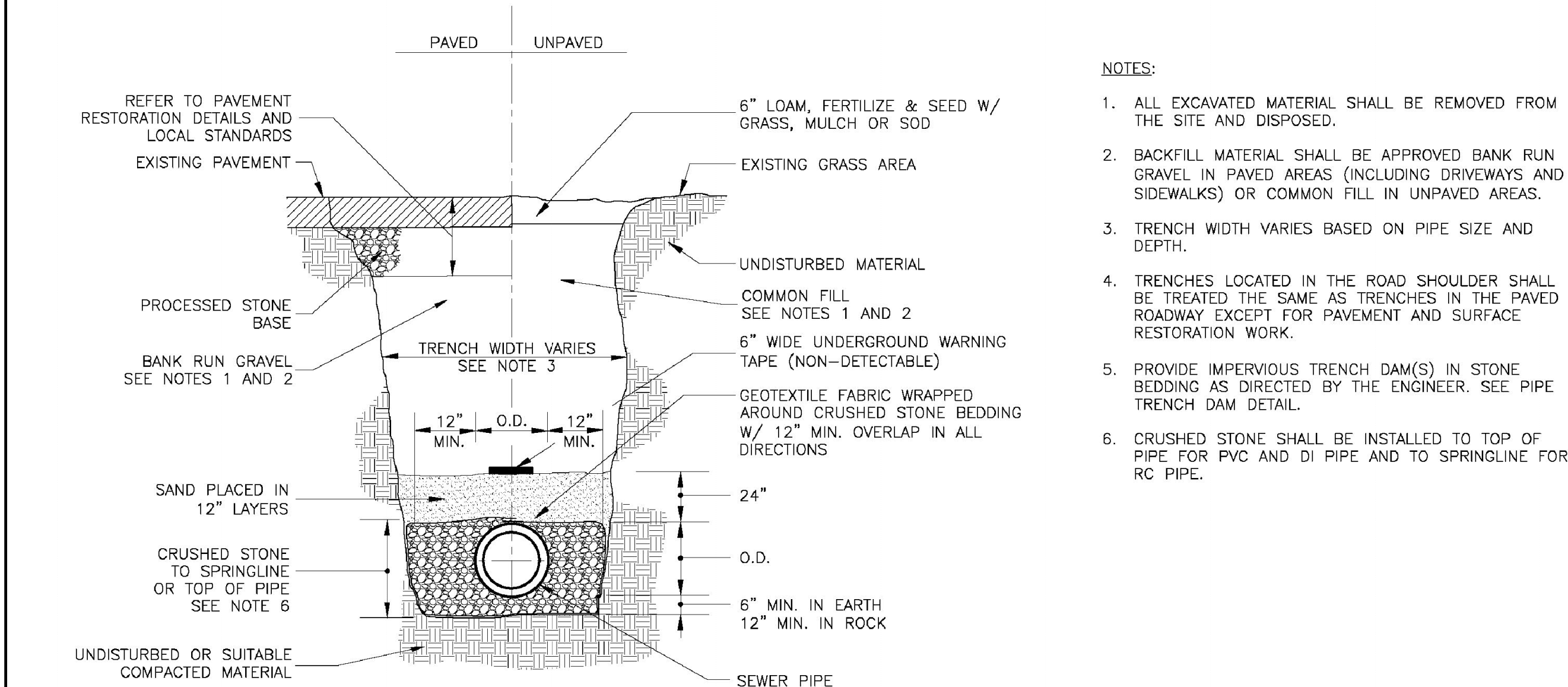
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DR BY	CHKD	DATE	ISSUE	SCALE
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MODEL DH502 DETAIL SHEET				
NA0054P02				



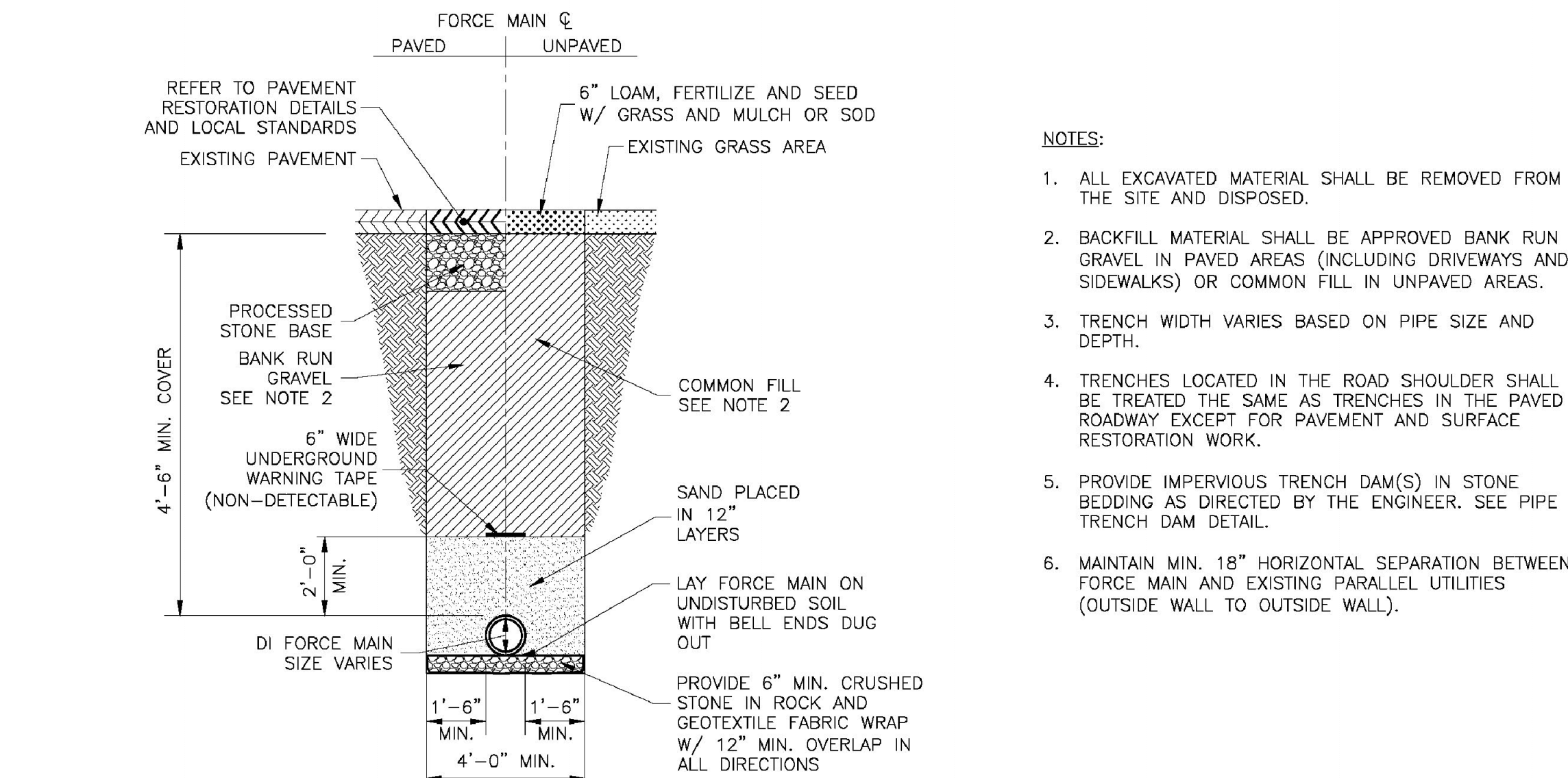
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MODEL DH502-129				
NA0054P05				



TYPE II PRECAST CONCRETE MANHOLE
DETAIL S
NTS



SEWER TRENCH
DETAIL S
NTS



SEWER FORCE MAIN TRENCH
DETAIL S
NTS







OXFORD
ARCHITECTURE

2934 Sidco Drive
Suite 120
Nashville, TN 37204

Architecture
Planning
Interior Architecture

SHOPPES AT COTTAGE GROVE

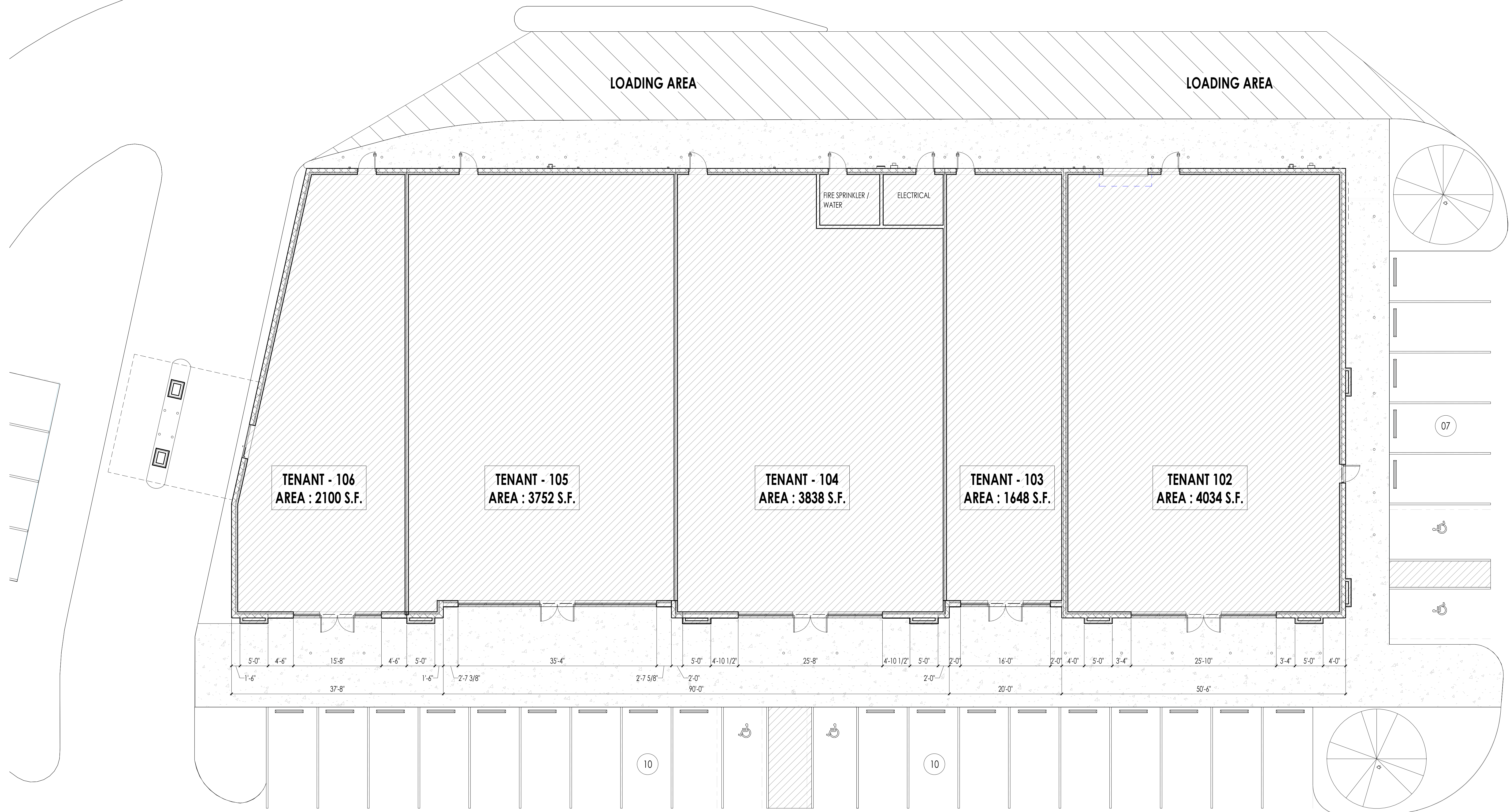
#529 COTTAGE GROVE
ROAD (CT RTE. #218)
BLOOMFIELD,
CONNECTICUT

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Job Number: 2524
Issue Date: 03.21.2025
Revisions:
Revisions:
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Revisions:
Revisions:
Revisions:

OVERALL FLOOR PLAN

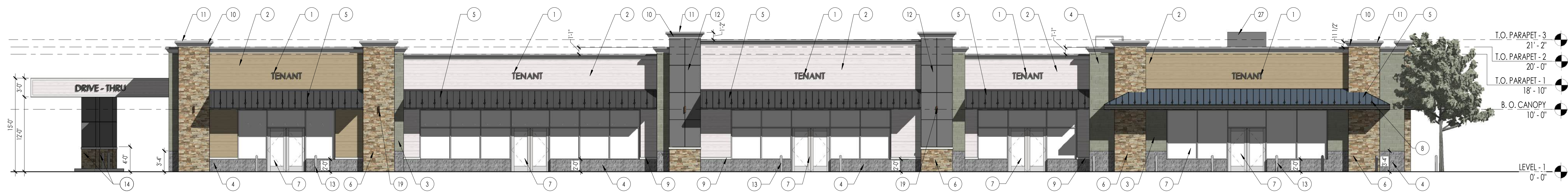
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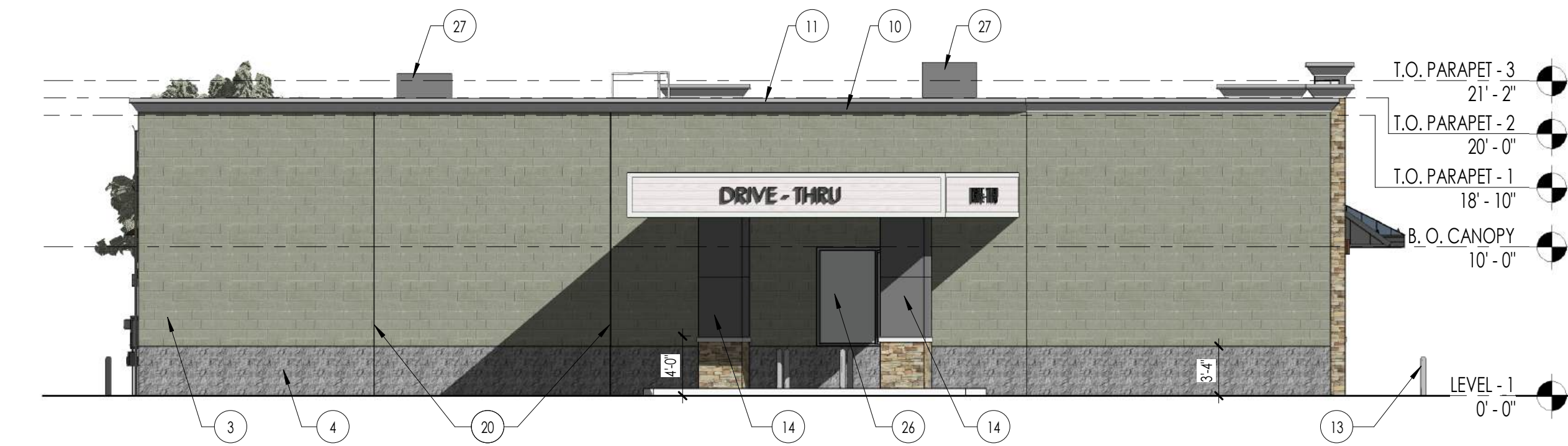
01

OVERALL FLOOR PLAN

SCALE: 1/8" = 1'-0"



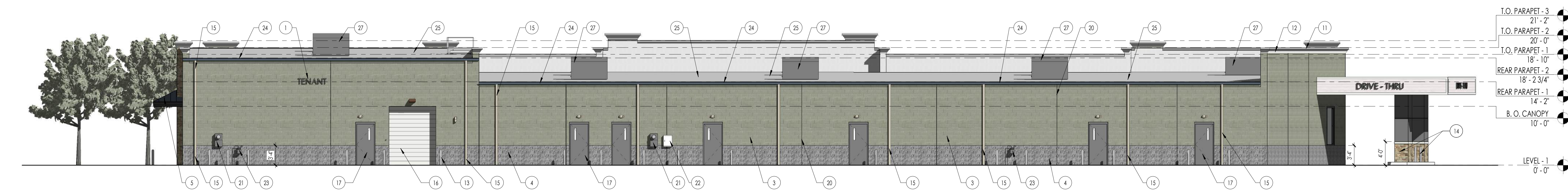
01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



03 EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 WEST ELEVATION
SCALE: 1/8" = 1'-0"



04 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



05 3D VIEW FOR REFERENCE
SCALE:

KEYNOTES

- 1 TENANT SIGNAGE- UNDER SEPARATE PERMIT.
- 2 HARDIE PLANK LAP SIDING- OR EQUAL- PRIME AND PAINT.
- 3 SMOOTH CONCRETE MASONRY UNIT, COLOR 1.
- 4 SPLIT FACE CONCRETE MASONRY UNIT, COLOR 2.
- 5 STANDING SEAM METAL AWNING W/ SNOW GUARDS.
- 6 SYNTHETIC STONE VENEER AS APPROVED BY THE OWNER.
- 7 CLEAR ANODIZED ALUMINUM STOREFRONT.
- 8 SNOW GUARD.
- 9 SYNTHETIC STONE SILL/WATER TABLE, AS SPECIFIED.
- 10 EIFS CORNICE, PRIME AND PAINT.
- 11 PRE-FINISHED METAL COPING.
- 12 EIFS- PRIME AND PAINT.
- 13 6" CONCRETE FILLED PIPE BOLLARDS- PRIME AND PAINT.
- 14 CMU COLUMNS WITH STONE BASE, CAST STONE WATERTABLE, AND EIFS.
- 15 PRE-FINISHED METAL DOWNSPOUT.
- 16 OVERHEAD DOOR AS SPECIFIED BY THE TENANT.
- 17 HOLLOW METAL DOOR AND FRAME- PRIME AND PAINT.
- 19 DECORATIVE SCONCE LIGHT FIXTURE.
- 20 CONTROL JOINT.
- 21 ELECTRIC METER.
- 22 CT CABINET.
- 23 GAS METER.
- 24 PRE-FINISHED METAL GUTTER.
- 25 ROOF AS SPECIFIED.
- 26 DRIVE-THROUGH WINDOW.
- 27 RTU - REFER MECHANICAL.



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COLORED ELEVATIONS

Sheet Number: A2.0



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KEYNOTES

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- 4 SPLIT FACE CONCRETE MASONRY UNIT. COLOR 2.
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- 6 SYNTHETIC STONE VENEER AS APPROVED BY THE OWNER.
- 7 CLEAR ANODIZED ALUMINUM STOREFRONT.
- 8 SNOW GUARD.
- 9 SYNTHETIC STONE SILL/WATER TABLE. AS SPECIFIED.
- 10 EIFS CORNICE. PRIME AND PAINT.
- 11 PRE-FINISHED METAL COPING.
- 12 EIFS- PRIME AND PAINT.
- 13 6" CONCRETE FILLED PIPE BOLLARDS- PRIME AND PAINT.
- 14 CMU COLUMNS WITH STONE BASE, CAST STONE WATERTABLE, AND EIFS.
- 18 DRIVE-THROUGH CANOPY- PRIME AND PAINT.
- 19 DECORATIVE SCONCE LIGHT FIXTURE.
- 27 RTU - REFER MECHANICAL.



01 NORTH ELEVATION - A
SCALE: 1/4" = 1'-0"



02 NORTH ELEVATION - B
SCALE: 1/4" = 1'-0"

SHOPPES AT COTTAGE GROVE

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ENLARGED FRONT COLORED ELEVATIONS

Sheet Number: A2.1 A

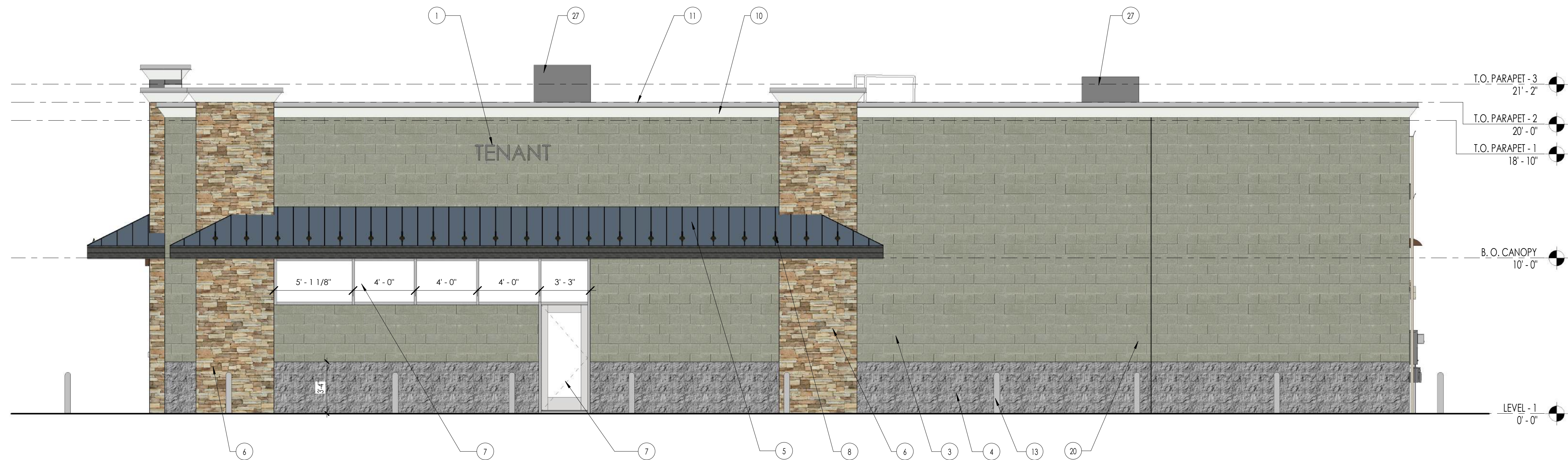




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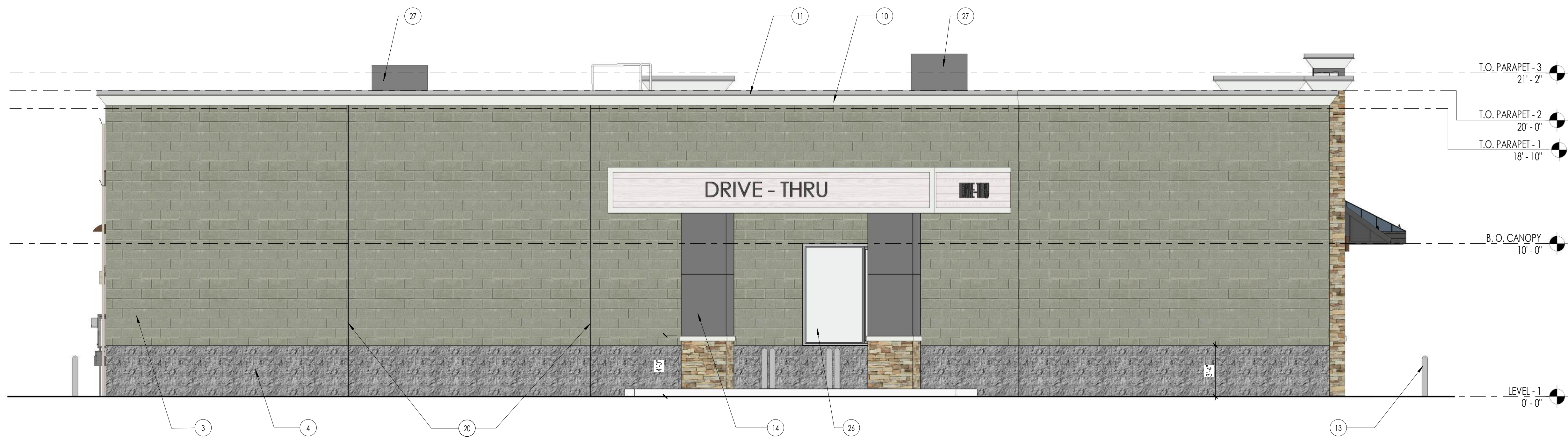
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KEYNOTES

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- 4 SPLIT FACE CONCRETE MASONRY UNIT, COLOR 2.
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- 8 SNOW GUARD.
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- 11 PRE-FINISHED METAL COPING.
- 13 6" CONCRETE FILLED PIPE BOLLARDS- PRIME AND PAINT.
- 14 CMU COLUMNS WITH STONE BASE, CAST STONE WATERTABLE, AND EIFS.
- 20 CONTROL JOINT.
- 26 DRIVE-THROUGH WINDOW.
- 27 RTU - REFER MECHANICAL.

01 WEST ELEVATION
SCALE: 1/4" = 1'-0"



02 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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ENLARGED SIDE COLORED ELEVATIONS

Sheet Number: A2.1 B

