

LOCATION MAP

N.T.S.

LAND DEVELOPMENT PLANS FOR PROPOSED CONTRACTOR YARD ISSUED FOR PERMITTING

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002



VICINITY MAP

SCALE: 1"=800'



PREPARED FOR:
BURNS CONSTRUCTION COMPANY
300 SPERRY AVENUE
STRATFORD, CT 06615

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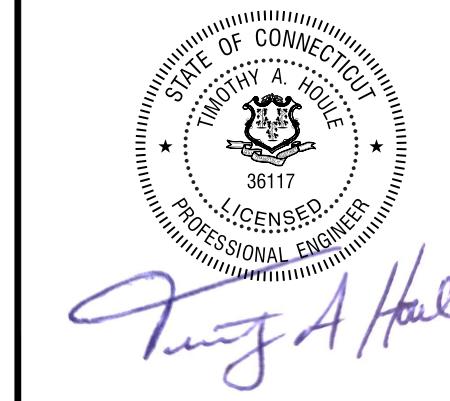
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PREPARED BY:
BL
Companies

100 Constitution Plaza, 10th Floor
Hartford, CT 06103
(860) 249-2200

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

SUBCONSULTANTS:

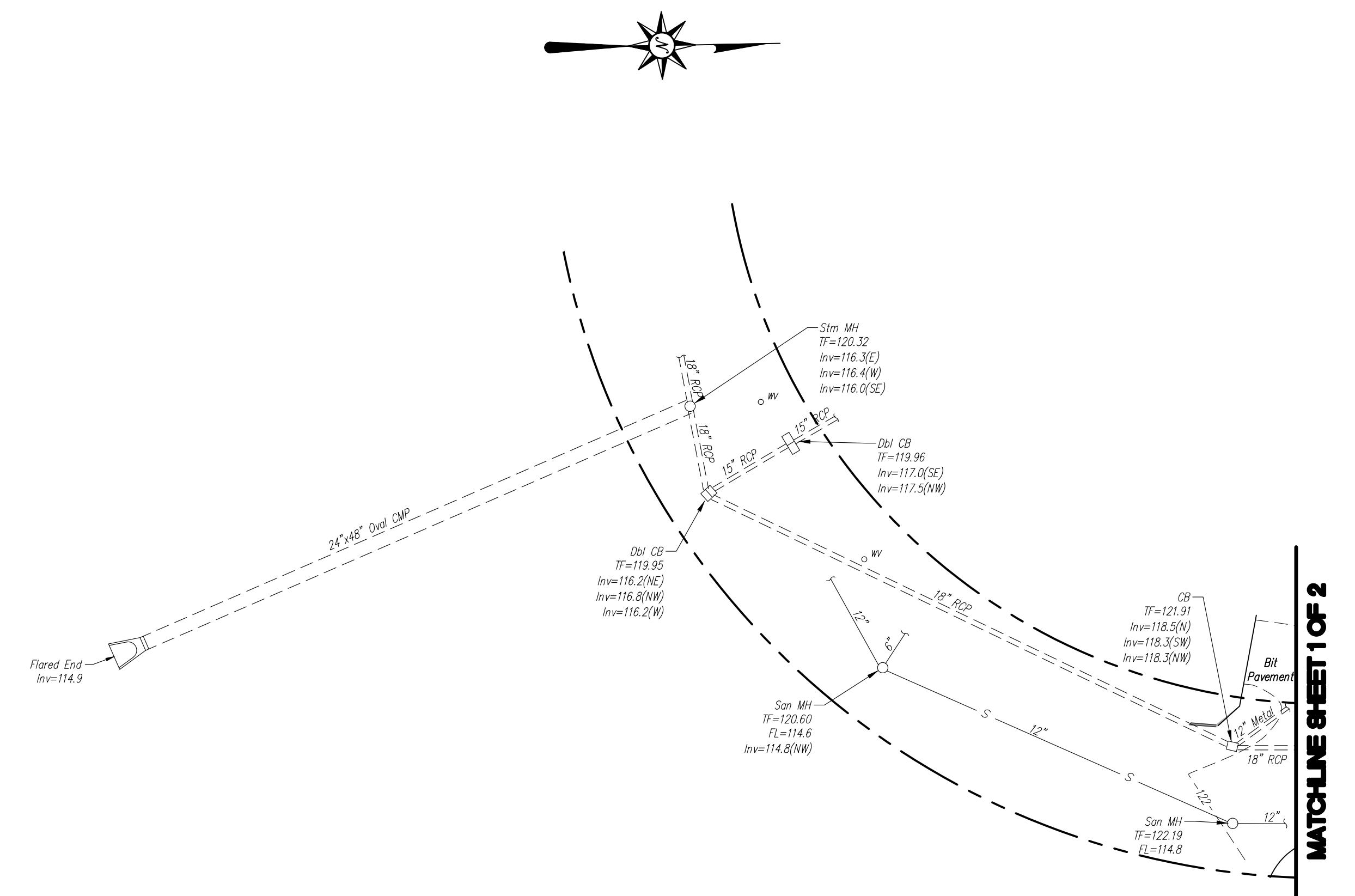


DATES

ISSUE DATE: 2/10/2025
REVISION: 7/3/2025

DEVELOPER & APPLICANT:
BURNS CONSTRUCTION COMPANY
300 SPERRY AVENUE
STRATFORD, CT 06615

OWNER:
5 NORTHWOOD DRIVE, LLC
PO BOX 568
BLOOMFIELD, CT 06002



GRAPHIC SCALE
30 15 0 30
SCALE IN FEET

LEGEND

— - - - -	Property Line
— - - - -	Major Contour
— - - - -	Minor Contour
— - - - -	Storm Sewer
□ CB	Catch Basin
□ Dbl	Double Type I Catch Basin
○ MH	Manhole
○ WV	Water Valve

MAP REFERENCES

A. "NORTHWOOD INDUSTRIAL PARK, DUDLEY TOWN ROAD, NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE 1"=50', DATE JAN. 1966 BT CLOSE, JENSEN & MILLER, HARTFORD, CONN. AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1594.

B. "PROPERTY OF FREDERICK C. MACHHOLZ, BLUE HILLS AVE. & SOUTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE: 1"=100', MAY 1967, OFFICE OF HAROLD R. SANDERSON C.E. & L.S., BLOOMFIELD, CONNECTICUT AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1586.

C. "WETLAND SURVEY PREPARED FOR 5 NORTHWOOD DRIVE, LLC SHOWING BOUNDARY AND WETLANDS 5 NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE: 1"=40', DATE: DECEMBER 3, 2010 BY ROB HELLSTROM LAND SURVEYING, LLC., HEBRON, CT.

REVISIONS	DATE	DESC.
1, 2, 3, 4	6/27/2025	Added Trees Greater Than 12 Inches, Updated Boundary of Bloomfield, Revised Per Town Comments, Drawing To South, Revised Drawing in Bear Clif Rd.
1, 2, 3, 4	6/11/2025	Initial Drawing
1, 2, 3, 4	6/21/2025	Revised Per Town Comments, Drawing To South, Revised Drawing in Bear Clif Rd.
1, 2, 3, 4	6/27/2025	Revised Per Town Comments, Drawing To South, Revised Drawing in Bear Clif Rd.

EXISTING CONDITIONS MAP

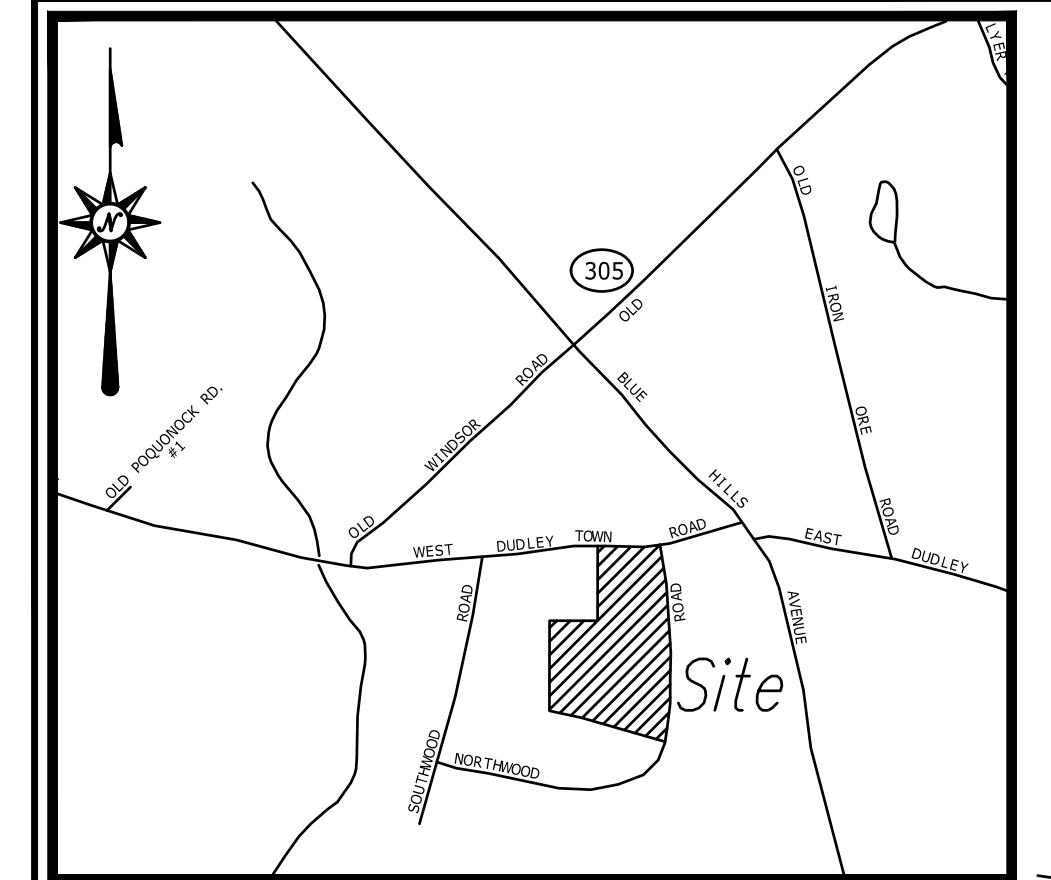
Sheet No. 2 Of 2

EX-1

LAND OF 5 NORTHWOOD DRIVE, LLC

5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD
BLOOMFIELD, CONNECTICUT

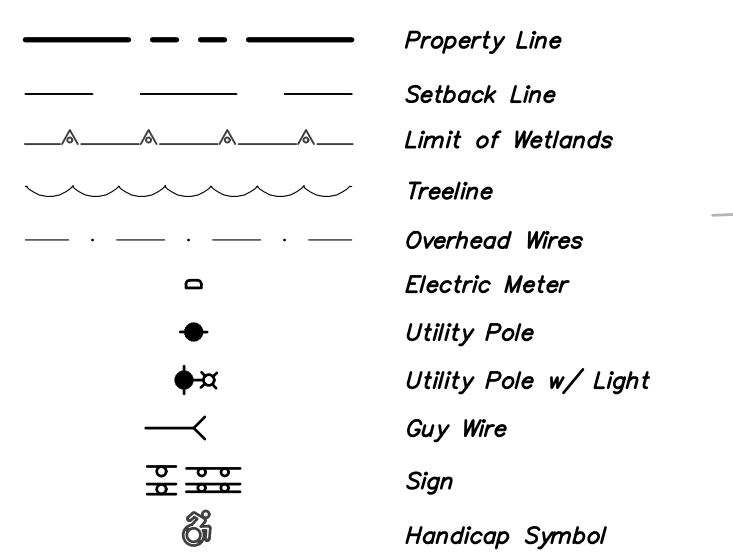
Architecture
Engineering
Environmental
Land Surveying
BL Companies
355 Research Parkway
Meriden, CT 06450
(203) 330-1406



LOCATION MAP

NOT TO SCALE

LEGEND



Map 301 Lot 1047
N/F
Northwood Properties, LLC
Vol. 771 Pg. 245
#11 Northwood Drive

Map 301 Lot 1031
N/F
5 Northwood Drive, LLC
Vol. 1969 Pg. 139
#9 Northwood Drive

Map 301 Lot 1030
N/F
5 Northwood Drive, LLC
Vol. 1969 Pg. 139
#7 Northwood Drive

Map 301 Lot 1029
N/F
5 Northwood Drive, LLC
Vol. 1969 Pg. 139
#5 Northwood Drive

One Story Building
#5 Northwood Drive
Footprint=17,847± S.F.

Northwood Drive (50' Wide - Public)

West Dudley Town Road (60' Wide - Public)

Graphic Scale

James M. Schaefer L.S. #2065

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS
THIS MAP BEARS THE ORIGINAL SIGNATURE AND THE
SEAL OF THE ABOVE NAMED LAND SURVEYOR.

ZONING INFORMATION

LOCATION: 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD, BLOOMFIELD, CT				
ZONE: I-2 (INDUSTRIAL-2)				
USE: OUTDOOR STORAGE AS AN ACCESSORY USE (SPECIAL PERMIT)				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	
1	MINIMUM LOT AREA	40,000 S.F.	288,381 S.F. (6.620 AC.)	
2	MINIMUM LOT WIDTH	125 FEET	781 FEET	
3	MINIMUM LOT FRONTAGE	NONE REQUIRED	1,015 FEET	
4	MINIMUM FRONT SETBACK	40 FEET	89.6 FEET	
5	MINIMUM SIDE SETBACK	20 FEET	53.5 FEET	
6	MINIMUM REAR SETBACK	10% DEPTH (49.6 FEET)	130.8 FEET	
7	MAXIMUM BUILDING HEIGHT	60 FEET	16.1 FEET	

GENERAL NOTES

1. A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
 - B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.
 - C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY OF MAP REFERENCE A.
 - D) THE TYPE OF SURVEY PERFORMED IS A PROPERTY/BOUNDARY SURVEY AND IS INTENDED TO CONSOLIDATE THE FOUR LOTS INTO ONE LOT WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS AND ROADWAYS.
2. NORTH ARROW, BEARINGS AND COORDINATES REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83) AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN OCTOBER 2024 UTILIZING THE SMARTNET VRS NETWORK.
3. PARCEL IS LOCATED IN A FLOOD AREA "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 09003C0352F PANEL 352 OF 675 EFFECTIVE DATE: SEPTEMBER 26, 2008.
4. WETLAND DELINEATION FLAGGED AND LOCATED BY BL COMPANIES SOIL SCIENTIST ON OCTOBER 21, 2024.

MAP REFERENCES

- A. "NORTHWOOD INDUSTRIAL PARK, DUDLEY TOWN ROAD, NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE 1"=50', DATE JAN. 1966 BT CLOSE, JENSEN & MILLER, HARTFORD, CONN. AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1594.
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- D. "EXISTING CONDITIONS SURVEY, LAND OF 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD, BLOOMFIELD, CONNECTICUT", SCALE 1"=30', DATE 11/12/2024, SHEET NO. EX-1 PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.

PARCEL DATA

OWNER	ADDRESS	SQUARE FEET	ACRES
5 NORTHWOOD DRIVE, LLC VOL. 1969 PG. 139	5 NORTHWOOD DRIVE	72,399	1.662
	7 NORTHWOOD DRIVE	72,127	1.656
	9 NORTHWOOD DRIVE	70,225	1.612
	9 WEST DUDLEY TOWN ROAD	73,630	1.690
	TOTAL	288,381	6.620

LAND OF
5 NORTHWOOD DRIVE, LLC
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD
BLOOMFIELD CONNECTICUT

REVISIONS		Desc.	Added Trees Greater Then 12 Inches.
No.	Date		
1.	1/9/2025		
<hr/>			
Drawn			JS.
Reviewed			DS
Scale			1"=30'
Project No.			2302699
Date			11/26/2024
CAD File:			BS230269901
<hr/>			
Title			
<h1>LOT CONSOLIDATION PLAN</h1> <hr/>			
Sheet No.			
<h1>BS-1</h1>			

OT CONSOLIDATION PLAN

BS-1

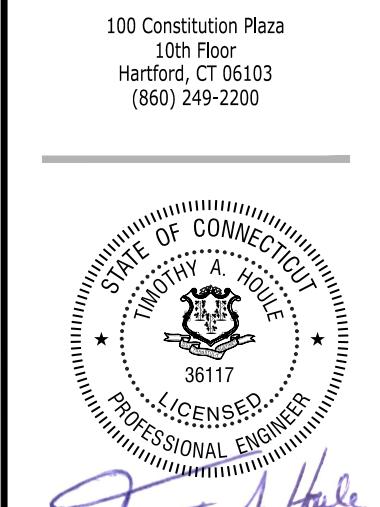
SITE WORK GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL; CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONCERNES REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS. SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL, THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION, INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CT CALL BEFORE YOU DIG (CBYD) 72 HOURS BEFORE COMMENCEMENT OF WORK AT CT (800) 922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS AND TOWN RIGHT OF WAY PERMIT IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL, NECESSARY FOR THIS WORK EXCEPT CTDOT ENCROACHMENT PERMIT BOND.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, THE RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNMENT AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- REFER TO DETAIL SHEETS FOR PAVING, CURBING, AND SIDEWALK INFORMATION.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
- PAVEMENT MARKING KEY:
 - 4" SYL 4" SOLID YELLOW DOUBLE LINE
 - 4" SYL 4" SOLID YELLOW LINE
 - 4" SWL 4" SOLID WHITE LINE
 - 12" SWLB 12" SOLID WHITE STOP BAR
 - 4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
- PARKING SPACES SHALL BE STRIPED WITH 4" SWL HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE. 2' ON CENTER, HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED BLUE AND WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- ALL PAVEMENT MARKINGS SHALL HAVE TWO COATS OF PAVING MARKINGS APPLIED TO THE STRIPING. PAVING MARKINGS SHALL BE REFLECTIVE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.
- PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKING, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "EXISTING CONDITIONS MAP"; SCALE 1"=30', DATED 1/24/2024, BY BL COMPANIES INC.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- CTDOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CTDOT ENCROACHMENT PERMIT BOND.
- AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
- THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY BL COMPANIES MAPPING BY SAGAN SIMKO, CPS.
- 12" SWB (STOP BAR) AND 4" SYL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVeways AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO DOT SPECIFICATIONS.
- FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
- THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
- ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
- ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR THE DEMOLITION AND DISPOSAL OF THE DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
- ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.

- THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
- THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT CONFORMITY WITH STATE REQUIREMENTS.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING WATER PIPE TO BE ABANDONED TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAIN.
- EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRINK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.
- DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
- THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPAL ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF BLOOMFIELD BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
- BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT, COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE STATE OF CONNECTICUT AND THE CITY OF BLOOMFIELD AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
- THE CONTRACTOR SHALL CUT AND REMOVE AT LUMHARE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONNECTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECIRCUITED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A RE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE CBYD MARK OUTS OF EXISTING UTILITIES COMPLETELY PRIOR TO MEETING.
- THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE TOWN OF BLOOMFIELD AND HEALTH CODE REQUIREMENTS.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST).
- UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
- VERTICAL DATUM IS NAD 88.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL, SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CT DEP AND THE 2023 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
- ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.
- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT, AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL, 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
- RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
- THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 3' LIFTS ACCORDING TO THE PIPE BIDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
- BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
- ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
- GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLATION IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
- SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
- SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
- ALL WATER LINES TO HAVE A MINIMUM COVER OF 4'-6", ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
- THE CONTRACTOR SHALL MAINTAIN ALL FLW'S AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT

BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
 DEFINITIONS
 MUNICIPALITY SHALL MEAN BLOOMFIELD
 COUNTY SHALL MEAN HARTFORD COUNTY
 STATE SHALL MEAN STATE OF CONNECTICUT
 WATER UTILITY PROVIDER SHALL MEAN METROPOLITAN DISTRICT COMMISSION
 SANITARY UTILITY PROVIDER SHALL MEAN METROPOLITAN DISTRICT COMMISSION
 GAS UTILITY PROVIDER SHALL MEAN CONNECTICUT NATURAL GAS
 TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN FRONTIER
 ELECTRIC UTILITY PROVIDER SHALL MEAN EVERSOURCE
 DOT SHALL MEAN THE CONNECTICUT DEPARTMENT OF TRANSPORTATION

REQUIRED PERMITS:
 INLAND WETLANDS AND WATERCOURSES COMMISSION WETLANDS AGENT PERMIT
 TOWN PLAN AND ZONING COMMISSION SPECIAL PERMIT
 TOWN OF BLOOMFIELD BUILDING PERMIT
 TOWN OF BLOOMFIELD RIGHT OF WAY PERMIT



TOWN OF BLOOMFIELD INLAND WETLANDS STANDARD NOTES

- ALL SOIL STABILIZATION AND SOIL EROSION AND SEDIMENT CONTROL MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CT 2024 EROSION CONTROL GUIDELINES. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- THE PERMITTEE, DEVELOPER AND ALL CONTRACTORS SHALL FOLLOW THE CONSTRUCTION SEQUENCE, PHASING AND SOIL EROSION AND SEDIMENT CONTROL MEASURE SCHEDULES SHOWN ON THESE PLANS. CHANGES TO THE SEQUENCE, PHASING OR EROSION CONTROL MEASURES CANNOT BE MADE WITHOUT THE APPROVAL OF THE WETLANDS COMMISSION OR AGENT.
- ALL WORK WITHIN WETLANDS, WATERCOURSES OR UPLAND REVIEW AREAS SHALL BE DONE DURING PERIODS OF LOW RAINFALL, AND ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN THIRTY (30) DAYS.
- ANY ADDITIONAL SOIL EROSION OR SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE WETLANDS COMMISSION OR AGENT. ANY FAILURES OR SHORTCOMINGS OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED BY THE WETLANDS COMMISSION OR AGENT, DURING ANY CONSTRUCTION PROCESS, SHALL BE PROMPTLY REPAIRED AND CORRECTIVE MEASURES SHALL BE PROMPTLY IMPLEMENTED BY THE PERMITTEE, DEVELOPER AND/OR CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, REPLACED, AND/OR MAINTAINED FOR THE DURATION OF THE PROJECT BY THE DEVELOPER/CONTRACTOR UNTIL ALL DISTURBED AREAS ARE STABILIZED.
- THE PERMITTEE SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.
- THE PERMITTEE SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE WETLANDS AGENT, DEVELOPER, GENERAL CONTRACTOR AND SITE WORK CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION, TREE CLEARING OR GROUND DISTURBANCE.
- CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THE PERMITTEE/DEVELOPER SHALL NOTIFY THE WETLANDS AGENT PRIOR TO CLEARING OF ANY EXISTING VEGETATION TO SCHEDULE AN INSPECTION OF THE LIMITS OF CLEARING AND TO IDENTIFY ANY TREES TO BE SAVED AND PROTECTED.
- A GENERAL CLEARING LIMIT LINE, AND ALL SPECIMEN TREES LOCATED IN OR ADJACENT TO THE PROPOSED DEVELOPMENT, SHALL BE FLAGGED. TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE DUE TO CONSTRUCTION EQUIPMENT. TREE PROTECTION MEASURES ARE REQUIRED TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- ALL TOPSOIL, WETLAND SOILS AND/OR ORGANIC MATERIAL SHALL REMAIN ON THE SITE, IN THE DESIGNATE AREAS AND PROTECTED FROM EROSION WITH TEMPORARY SEEDING AND RINGED WITH SILT FENCE OR HAY BALES, UNLESS SPECIFICALLY APPROVED TO BE REMOVED BY THE INLAND WETLANDS AND WATERCOURSES COMMISSION OR ITS AGENT. THIS MATERIAL MAY BE USED FOR FINAL RESTORATION OF DISTURBED AREAS.
- THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SURPLUS MATERIAL, WITHIN OR IMMEDIATELY ADJACENT TO THE WETLANDS OR WATERCOURSES OR THE UPLAND REVIEW AREAS, TEMPORARILY OR PERMANENTLY, EXCEPT AS SHOWN ON THE APPROVED PLANS. ANY EXCESS MATERIAL FROM THE DEVELOPMENT SHALL BE DEPOSITED IN A NON-REGULATED AREA. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEPOSITION OF THIS MATERIAL.
- ALL STORMWATER QUALITY MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CT 2024 STORMWATER QUALITY MANUAL.
- STORMWATER MANAGEMENT IMPROVEMENTS, CHANNEL WORK, AND ASSOCIATED STABILIZATION SHALL BE COMPLETED AND FULLY STABILIZED PRIOR TO THE START OF ANY BUILDING OR ROAD CONSTRUCTION SERVED BY THEM.
- THE PERMITTEE SHALL NOTIFY THE WETLANDS AGENT AT LEAST 48 HOURS IN ADVANCE OF THE START AND COMPLETION OF ALL MAJOR PHASES OF THE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, TREE CUTTING, EROSION CONTROLS, ROUGH GRADING, FINAL GRADING, STABILIZATION, REMOVAL OF EROSION CONTROLS, ETC.
- THE PERMITTEE SHALL SUBMIT A COPY OF ANY DEEP, ARMY CORPS OF ENGINEERS, OR OTHER LOCAL, STATE OR FEDERAL AGENCY PERMITS, REGISTRATIONS, REPORTS OR CORRESPONDENCE REQUIRED FOR THE PROJECT. WORK CANNOT COMMENCE ON THE PROJECT UNTIL SUCH PERMITS OR REGISTRATIONS ARE OBTAINED AND SUBMITTED FOR THE RECORD.
- THE PERMITTEE SHALL SUBMIT REPORTS TO THE WETLANDS AGENT ON THE CONSTRUCTION PROGRESS AND STATUS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT OF 0.5" OR MORE WITHIN A 24-HOUR PERIOD. THESE INSPECTIONS AND REPORTS SHALL BE DONE BY A THIRD PARTY PROFESSIONAL PERSON OR COMPANY APPROVED BY THE WETLANDS AGENT.
- WETLAND MITIGATION AREAS SHALL BE CONSTRUCTED WITHIN THE FIRST CONSTRUCTION SEASON UNDER THE SUPERVISION OF A WETLAND SCIENTIST AND MONITORED FOR A MINIMUM OF THREE (3) YEARS AFTER INITIAL STABILIZATION. ANNUAL REPORTS ON THE STATUS OF THE MITIGATION AREAS SHALL BE PREPARED AND SUBMITTED TO THE WETLANDS AGENT UNTIL SUCH TIME AS ALL MITIGATION AREAS ARE FUNCTIONING AS DESIGNED.
- THE PERMITTEE SHALL SUBMIT A COPY OF ANY CONSTRUCTION DOCUMENTS, BID PLANS OR SPECIFICATIONS, OR OTHER INFORMATION PROVIDED TO THE CONTRACTOR FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT. ALL SUCH INFORMATION SHALL NOT CONFLICT WITH THE REQUIREMENTS OF THE APPROVED PERMIT PLANS.
- ANY MODIFICATIONS TO THE REGULATED ACTIVITIES DUE TO THE APPROVAL OR REVIEW OF THE PROJECT BY THE TOWN PLAN AND ZONING COMMISSION, THE HEALTH DISTRICT, THE DEEP OR OTHER STATE AGENCY, THE ACOE OR OTHER FEDERAL AGENCY SHALL BE SUBMITTED TO THE WETLANDS COMMISSION FOR REVIEW. CHANGES TO THE PLANS APPROVED BY THE WETLANDS COMMISSION CANNOT BE MADE WITHOUT PRIOR APPROVAL OF THE COMMISSION.
- IN ACCORDANCE WITH REGULATIONS SECTIONS 11.E AND 11.E. NO PERMITS SHALL BE ASSIGNED OR TRANSFERRED WITHOUT THE WRITTEN PERMISSION OF THE COMMISSION OR ITS AGENT. THE ASSIGNEE, TRANSFEREE OR OTHER RECIPIENT OF A TRANSFERRED PERMIT SHALL BE BOUND BY ALL REPRESENTATIONS MADE BY THE APPLICANT IN OBTAINING THE PERMIT AND BY ALL THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED IN THE PERMIT AND SUCH PERSON SHALL HAVE ALL THE RIGHTS, DUTIES AND OBLIGATIONS OF THE ORIGINAL PERMITTEE WHO WAS GRANTED THE PERMIT. REQUESTS FOR PERMIT TRANSFERS SHALL BE MADE IN WRITING TO THE COMMISSION.
- ALL PLANS SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF BLOOMFIELD'S 2017 STORMWATER MANAGEMENT PLAN WITH REGARDS TO PRE-POST-CONSTRUCTION EROSION AND SEDIMENTATION CONTROL MEASURES.
- AT LEAST TWO WEEKS BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY OR COMPLETION THE PERMITTEE SHALL SCHEDULE AN INSPECTION WITH THE WETLANDS AGENT TO ENSURE THAT ALL SITE WORK COVERED BY THE WETLANDS PERMIT IS SUBSTANTIALLY COMPLETE.
- ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT STABILIZATION OF ALL DISTURBED AREAS HAS BEEN ACHIEVED.
- THE AMOUNT OF OPEN GROUND IS TO BE KEPT TO A MINIMUM TO REDUCE THE POTENTIAL FOR SOIL EROSION AND SEDIMENTATION PROBLEMS. OPEN GROUND IS TO BE PROTECTED FROM EROSION WITH TEMPORARY SEEDING AND/OR MULCH EVERY THIRTY (30) DAYS.
- THE PERMITTEE SHALL PROVIDE AN EMERGENCY STOCKPILE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING HAY BALES, STAKES, CRUSHED STONE AND EQUIPMENT TO PLACE OR INSTALL THESE MEASURES, FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
- NO DISTURBED SOILS SHALL REMAIN UN-STABILIZED FOR MORE THAN 30 DAYS. STABILIZATION IS THE ESTABLISHMENT OF GROUND COVER WITH TEMPORARY OR PERMANENT SEEDING, WITHIN NORMAL SEEDING DATES, OR MULCH OUTSIDE OF THE NORMAL SEEDING DATES. ALL DISTURBED AREAS SHALL BE STABILIZED IN THE SPRING NO LATER THAN JUNE 1 AND IN THE FALL NO LATER THAN OCTOBER 1.
- CONSERVATION EASEMENT CORNERS SHALL BE PINNED BY A LAND SURVEYOR AND NOTICE SIGNS ERECTED EVERY 150-200 FEET ALONG THE LINE, FACING AWAY FROM THE CONSERVATION AREA.
- ALL TRASH AND DEBRIS IS TO BE REMOVED FROM THE WETLANDS OR WATERCOURSES BEFORE ANY CONSTRUCTION ACTIVITIES ARE COMMENCED. THE EXTENT OF THE REMOVAL SHALL BE DETERMINED IN THE FIELD BY THE WETLANDS AGENT.
- ONLY NATIVE PLANTS, SUITED TO THE SPECIFIC HABITAT, SHALL BE PLANTED IN DISTURBED AREAS. THE PLANT SPECIES, NUMBER AND SPACING SHALL BE SUBJECT TO THE APPROVAL OF THE WETLANDS AGENT AND/OR TOWN PLANNER.
- NO EQUIPMENT, MATERIALS OR MACHINERY TO BE STORED, CLEANED, REPAIRED OR REFUELED WITHIN 75 FEET OF THE WETLANDS OR WATERCOURSE.
- ANY FUELS STORED ON THE SITE DURING CONSTRUCTION SHALL BE IN DOUBLE-WALLED TANKS WITH CONTAINMENT FOR ACCIDENTAL SPILLS AND SHALL NOT BE LESS THAN 75 FEET FROM THE WETLAND OR WATERCOURSE.
- ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN DUMPSTERS AND REMOVED FROM THE SITE. ANY CONSTRUCTION MATERIALS OR DEBRIS DUMPED OR BLOWN INTO THE WETLANDS OR WATERCOURSE IS TO BE REMOVED AT ONCE.
- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND DOCUMENTED IN A LOG MAINTAINED ON THE SITE AND AVAILABLE FOR INSPECTION BY THE WETLANDS AGENT.
- SUBDIVISION PLANS SHALL INCLUDE A NOTE ON EACH LOT THAT CONTAINS WETLANDS OR WATERCOURSES, OR LIES WITHIN THE UPLAND REVIEW AREAS 100 FEET FROM A WETLAND AND 200 FEET FROM A WATERCOURSE, STATING THAT "A PERMIT IS REQUIRED FROM THE WETLANDS COMMISSION PRIOR TO ANY EXCAVATION, FILLING, GRADING, CONSTRUCTION OR TREE CLEARING WITHIN THE WETLANDS, WATERCOURSES, OR UPLAND REVIEW AREAS ON THIS LOT."
- PILOT PLANS FOR THE DEVELOPMENT OF THE INDIVIDUAL HOUSE LOTS SHALL COMPLY WITH THE INTENT OF THE PLANS APPROVED BY THE WETLANDS COMMISSION. PILOT PLANS THAT DO NOT COMPLY SHALL BE SUBMITTED WITH AN APPLICATION FOR A REVISED WETLANDS PERMIT.
- ALL PROJECTS INVOLVING A TOTAL CUMULATIVE DISTURBANCE OF LAND AREA ASSOCIATED WITH CONSTRUCTION ACTIVITIES, THAT IS GREATER THAN OR EQUAL TO FIVE ACRES SHALL BE REGISTERED WITH THE CT DEP IN ACCORDANCE WITH THE GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DE-WATERING WASTEWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PHASE 1). MUNICIPAL BUILDING, ZONING OR WETLANDS COMPLIANCE PERMITS WILL NOT BE ISSUED FOR THE INITIATION OF WORK IN THE TOWN OF BLOOMFIELD WITHOUT VERIFICATION OF THIS REGISTRATION PRESENTED TO THE PERMITTING AGENCY.
- AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED, CATCH BASIN SUMPS AND ALL OTHER STORM DRAINAGE SYSTEMS, INCLUDING WATER QUALITY MEASURES, SHALL HAVE ACCUMULATED SEDIMENTS REMOVED, AND ANY RESTORATION DONE BEFORE A CERTIFICATE OF OCCUPANCY IS REQUESTED.
- PROVISIONS FOR DUST CONTROL SHALL BE IMPLEMENTED ON ALL CONSTRUCTION PROJECTS, INCLUDING BUT NOT LIMITED TO WATERING OF EXPOSED GROUND AND STABILIZATION OF SOIL STOCKPILES TO PREVENT WIND EROSION.
- ANY INTEGRATED TURF/LANDSCAPING/PEST MANAGEMENT PROGRAM APPROVED FOR THE SITE SHALL BE IMPLEMENTED BY THE PERMITTEE, DEVELOPER AND CONTRACTORS DURING CONSTRUCTION AND BY THE PROPERTY OWNER(S), NEIGHBORHOOD ASSOCIATION OR CONDOMINIUM ASSOCIATION AFTER THE CONSTRUCTION PHASE HAS BEEN COMPLETED OR WHEN THE MANAGEMENT OF THE SITE IS TRANSFERRED.
- IN ACCORDANCE WITH THE REGULATIONS SECTION 6.3, WETLAND AND WATERCOURSE VEGETATED BUFFERS SHALL BE RETAINED WHERE EVER POSSIBLE AND WHERE NO WOODED VEGETATION EXISTS THE BUFFERS SHALL BE PLANTED TO THEIR RECOMMENDED MOths. THE LIMIT OF CLEARING IS ALSO TO BE PLANTED IN A TEN-FOOT STRIP AS A TRANSITION TO UNDISTURBED WOODS. PLANTED BUFFERS SHALL INCLUDE NATIVE CANOPY OR SHADE TREES, SHRUBS AND HERBACEOUS SPECIES SUITED TO THE LOCAL HABITAT AND HAVING VALUES FOR FOOD, SHELTER, NESTING, ETC. EXISTING VEGETATED BUFFERS SHALL BE RETAINED WHERE EVER POSSIBLE.
- ANY STORMWATER POLLUTION PREVENTION PLAN (SPPP) APPROVED FOR THE SITE SHALL BE IMPLEMENTED BY THE DEVELOPER AND SITE CONTRACTOR. NO DEVIATIONS FROM THE SPPP ARE PERMITTED WITHOUT THE APPROVAL OF THE INLAND WETLANDS & WATERCOURSES COMMISSION AND MAY REQUIRE A REVISED PERMIT.
- COMPOSITE DECKING MATERIALS SHALL BE USED AS MUCH AS POSSIBLE IN PLACE OF PRESSURE TREATED LUMBER TO REDUCE THE LEACHING OF COPPER AND CHROMIUM.
- NO CONSTRUCTION EQUIPMENT OR ACTIVITIES SHALL OCCUR WITHIN A WETLANDS OR WATERCOURSE MORE THAN FIVE DAYS CONSECUTIVELY AND NOT WITHIN THREE DAYS OF A RAIN OR SNOW EVENT OF 1" OR GREATER.
- IN ACCORDANCE WITH THE BLOOMFIELD TOWN PLAN AND ZONING REGULATIONS A FLOODPLAIN PERMIT IS REQUIRED FOR ANY GRADING, BUILDING OR OTHER DISTURBANCES WITHIN THE FLOODPLAIN OR FLOOD HAZARD ZONES. FOUNDATIONS, STRUCTURES, SWALES OR DRAINAGE CHANNELS SHALL NOT BE CONSTRUCTED WITHIN 50 FEET OF A WATERCOURSE UNLESS SPECIFICALLY APPROVED BY THE WETLANDS AND PLAN AND ZONING COMMISSIONS.
- EVERY TWELVE MONTHS AFTER THE END OF CONSTRUCTION CLEANING OF STORM DRAINAGE SYSTEMS, AN INSPECTION SHALL BE MADE TO DETERMINE THE CONDITION OF THE SYSTEMS AT LEAST ONCE. CATCH BASINS AND OTHER STORM DRAINAGE FACILITIES SHALL BE INSPECTED ANNUALLY AND CLEANED IF NECESSARY. ALL PAVED AREAS SHALL BE SWEEPED TWICE PER YEAR, ONCE IN THE EARLY SPRING TO REMOVE WINTER SAND, AND AGAIN IN THE FALL TO REMOVE ANY LEAVES OR OTHER DEBRIS. STORM DRAINAGE SYSTEM INSPECTION AND CLEANING REPORTS SHALL BE SUBMITTED TO THE WETLANDS AGENT ON AN ANNUAL BASIS.

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION





PROFESSIONAL ENGINEER
Reg. No. 30117
Troy A. Hale

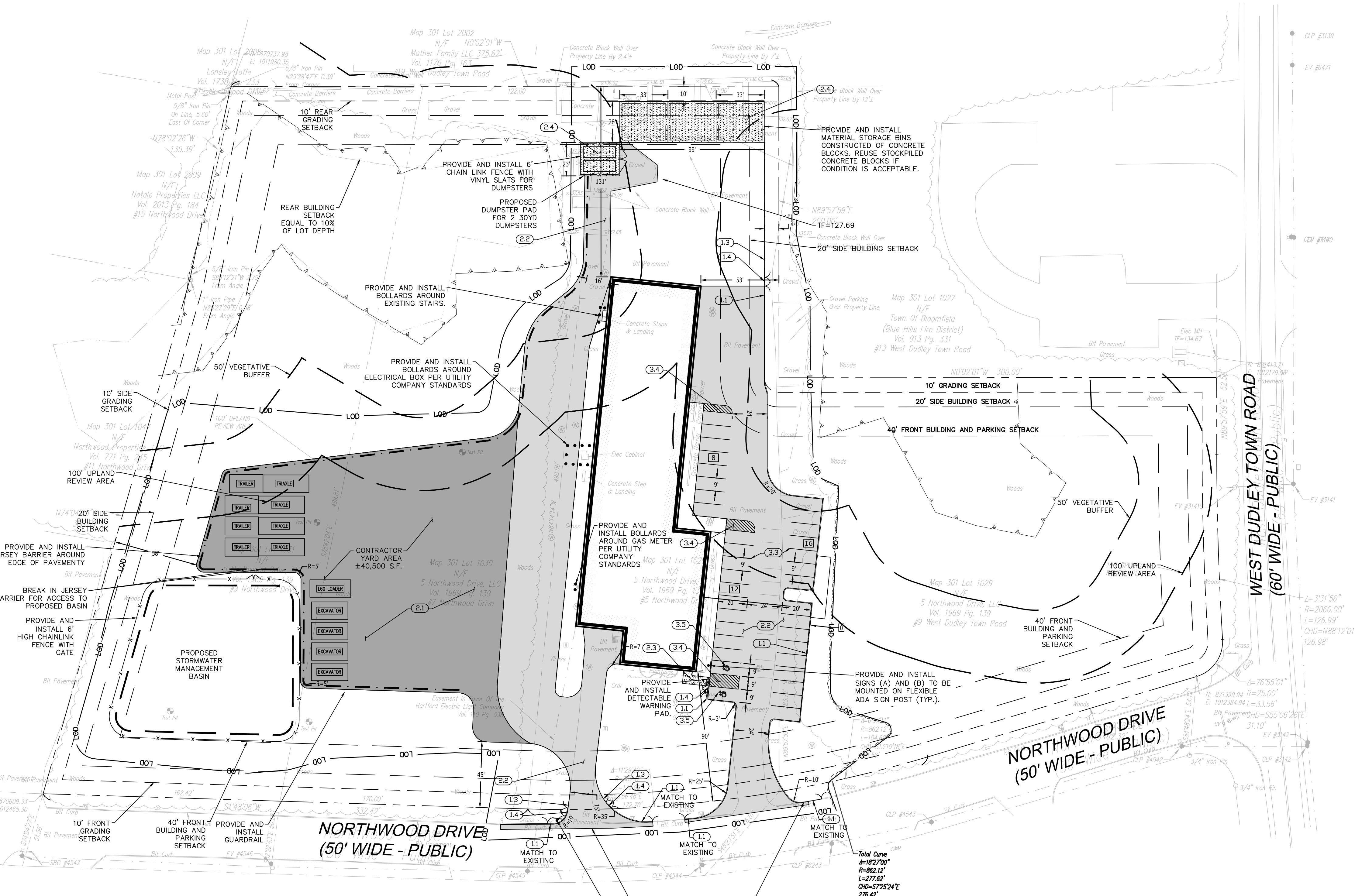
PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

VEHICLE INFORMATION

ITEM	DIMENSIONS	PARKING SPACE DIMENSIONS	HEIGHT
TRIAXLE DUMP TRUCK	27'5" x 8'	31'5" x 12'	10'
20 TON EAGER BEAVER TRAILER	19' x 8.5'	23' x 12.5'	2.83'
VOLVO 88 SIZED EXCAVATOR	21' x 8'	25' x 12'	9'
VOLVO L60 LOADER	24' x 8'	28' x 12'	10'

SITE PLAN LEGEND

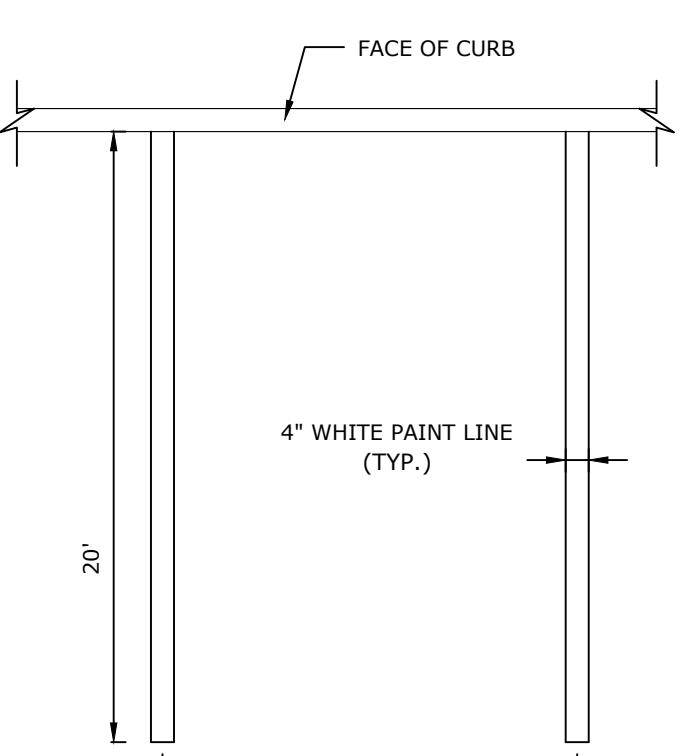
PROPERTY LINE	solid line
LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE	dashed line
SAVCUT LINE	dash-dot line
EASEMENT LINE	dash-dot-dot line
BUILDING SETBACK	thin solid line
PARKING SETBACK	thin dashed line
WETLAND BOUNDARY	thin dash-dot line
PROVIDE AND INSTALL CURB	thin solid line with small 'A' symbols
PROVIDE AND INSTALL 6' HIGH CHAIN LINK FENCE	thin solid line with 'x' symbols
VEGETATIVE BUFFER	thin solid line with 'x' symbols
100' UPLAND REVIEW AREA	thin dashed line
GRADING SETBACK	thin dashed line
CLEARING LIMIT	thin dashed line
PROVIDE AND INSTALL CONCRETE PAVEMENT STRUCTURE OR REINFORCED CONCRETE SIDEWALK	solid grey area
PROVIDE AND INSTALL BITUMINOUS CONCRETE PAVEMENT STRUCTURE	medium grey area
PROVIDE AND INSTALL ASPHALT MILLINGS PAVEMENT STRUCTURE	dark grey area
PROVIDE AND INSTALL TRAFFIC SIGN	black dot





Fug A Hale

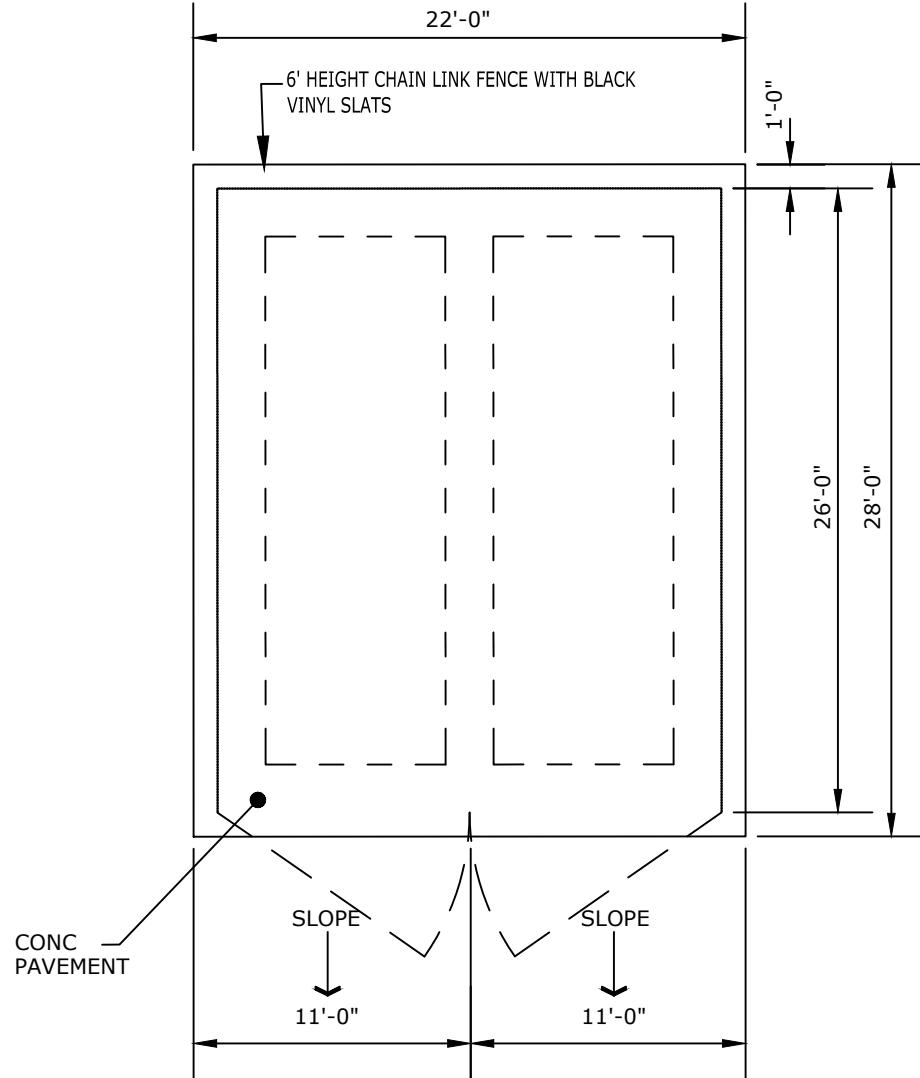
PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06020



NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

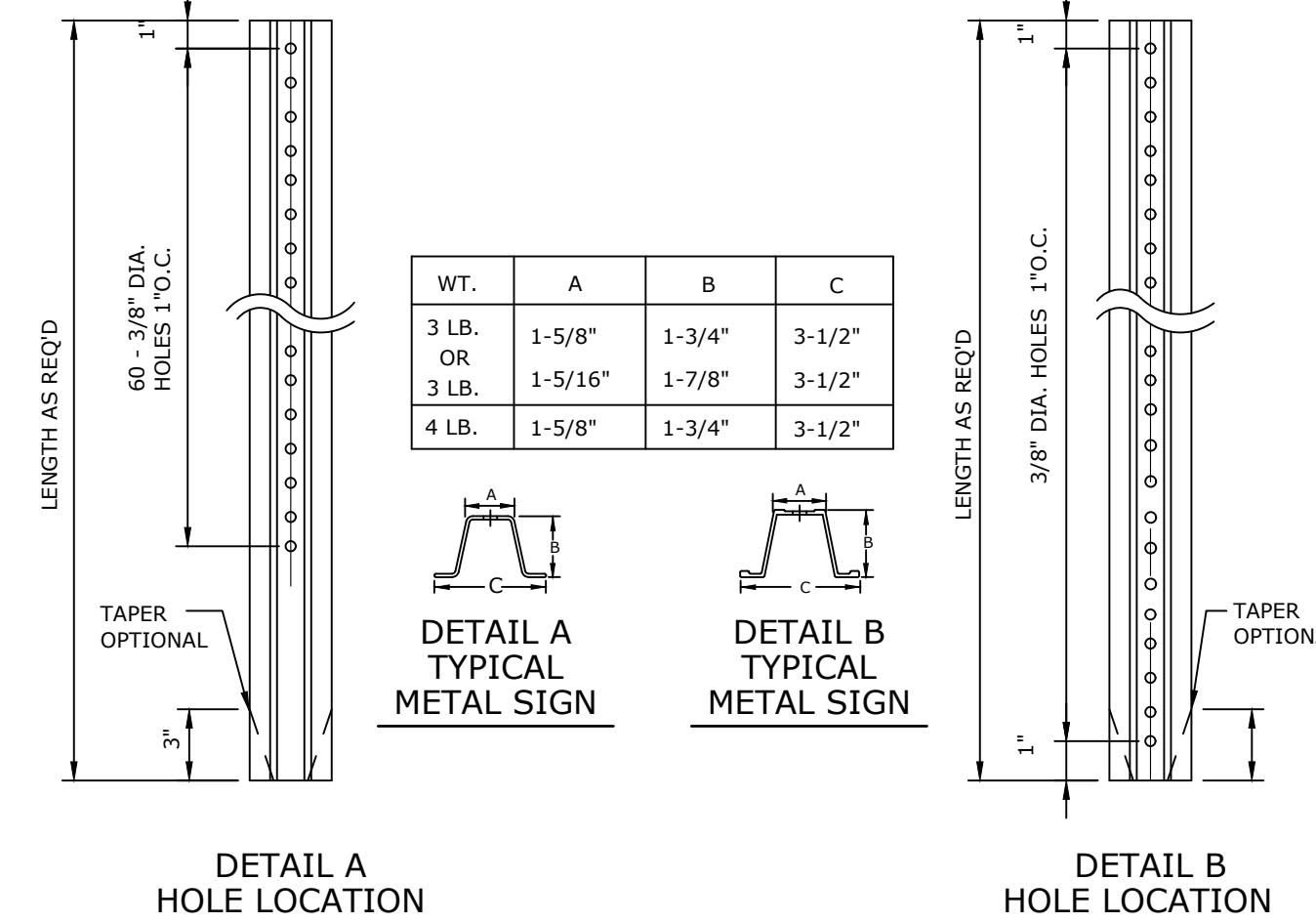
**TYPICAL
PARKING SPACE DETAIL**

N.T.S. BLPC-003



TRASH ENCLOSURE PLAN

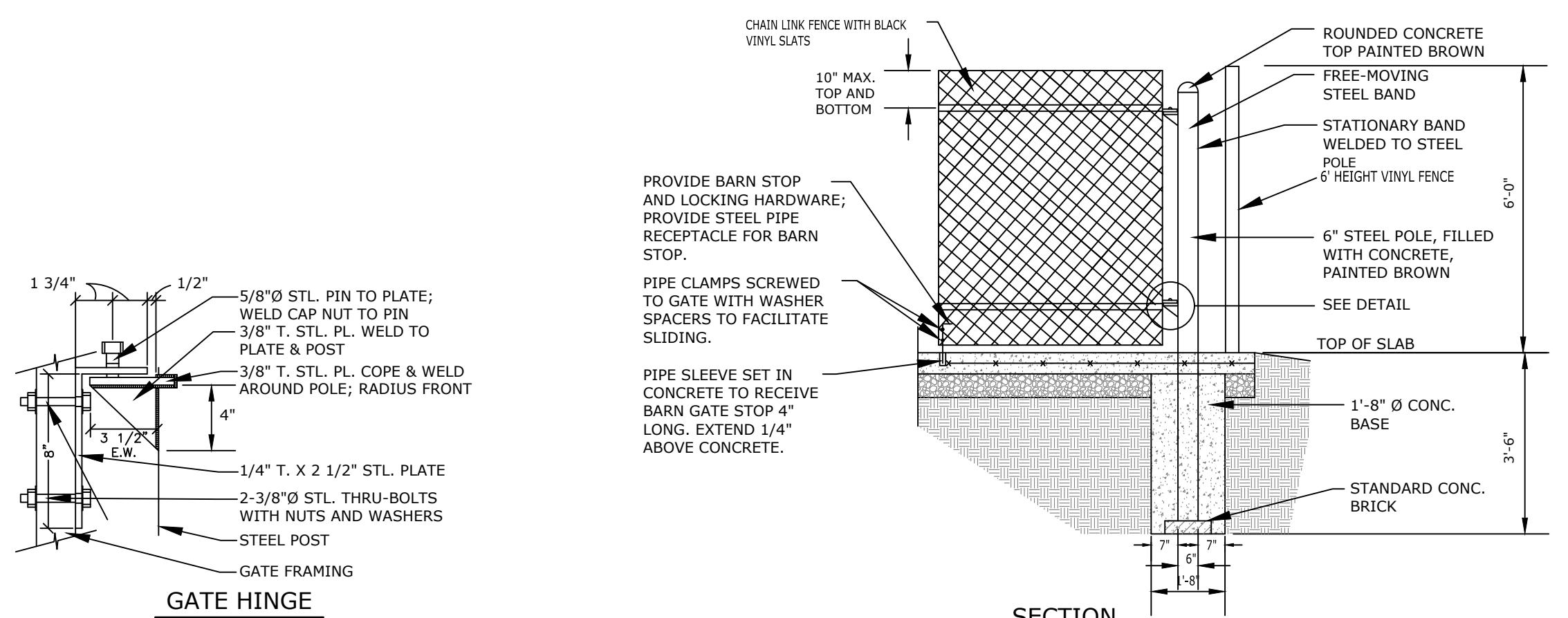
N.T.S. BLSE-004



NOTES:
STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 490-K1 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A-75 CARBON STEEL TEE RAIL HAVING NORMAL WEIGHT OF 91 LBS OR GREATER PER LINEAR FOOT.
AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.
SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.
ALL SIGNS IN STATE ROW TO MEET CT DOT SPECIFICATIONS FOR BREAKAWAY SIGNS. SEE CT DOT STANDARD DETAIL SHEET TYPICAL METAL SIGN POSTS AND SIGN MOUNTING DETAILS AND CT DOT FORM B17

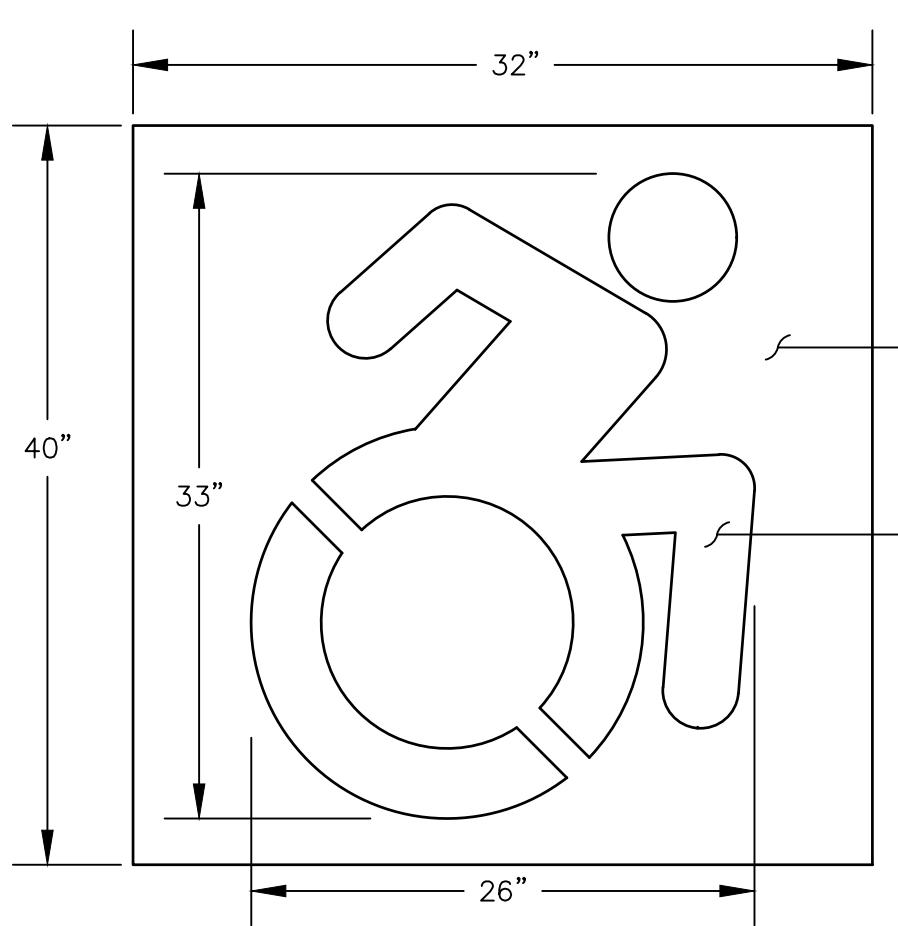
TYPICAL METAL SIGN POSTS

N.T.S. BLSD-001



**TRASH ENCLOSURE GATE
(HALF SECTION)**

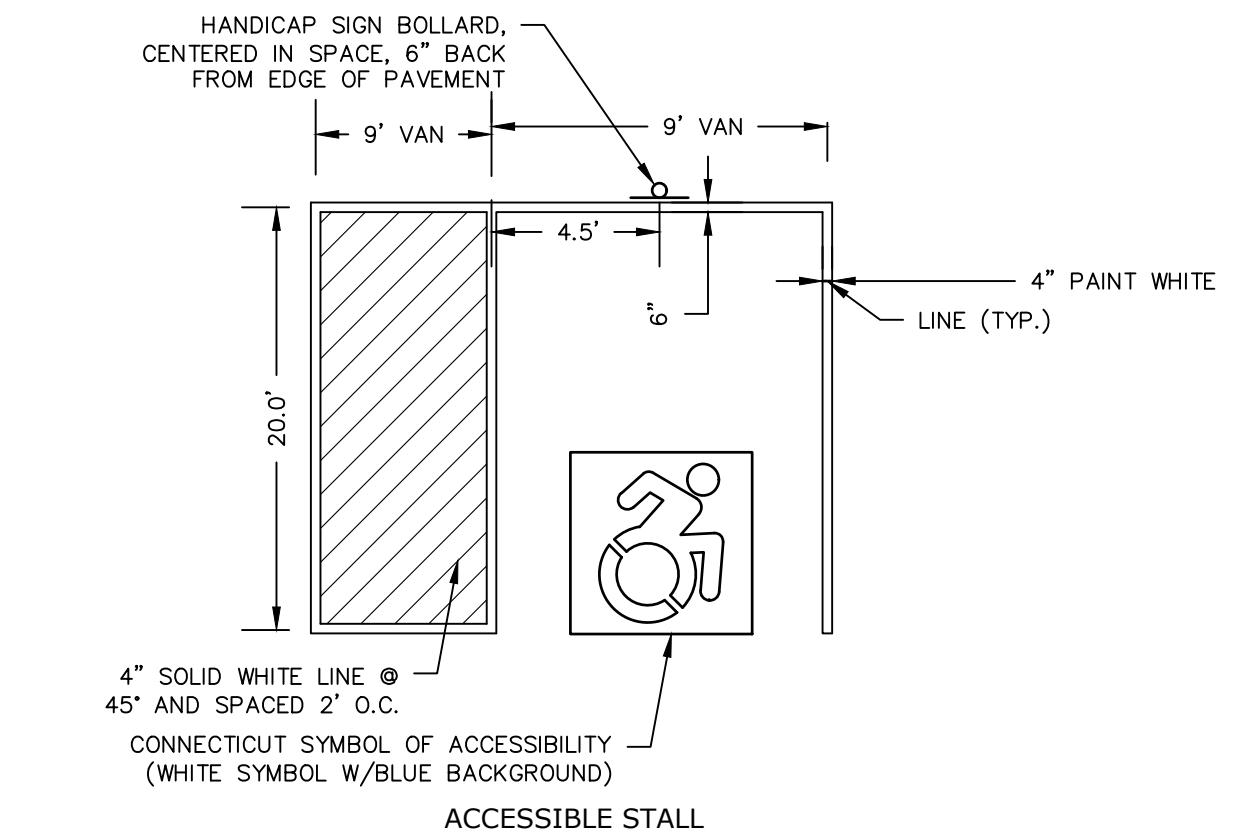
N.T.S. BLSE-001



NOTE: HANDICAP SYMBOL TO ADHERE TO
STATE BUILDING CODE, LATEST EDITION

CONNECTICUT SYMBOL OF ACCESSIBILITY

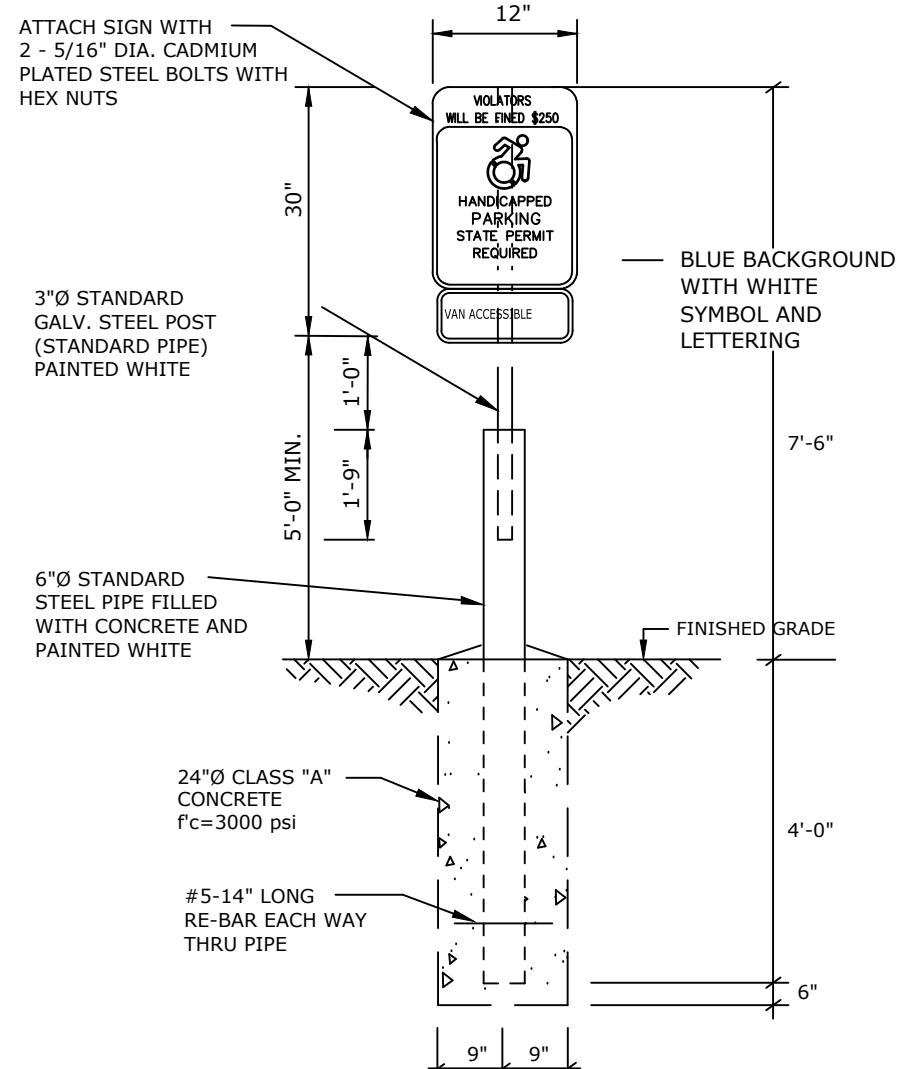
N.T.S.



NOTE:
UNIFORM FEDERAL ACCESSIBILITY STANDARDS, SECTION
4.30. & 2010 ADA

**TYPICAL ADA ACCESSIBLE
PARKING STALL LAYOUT**

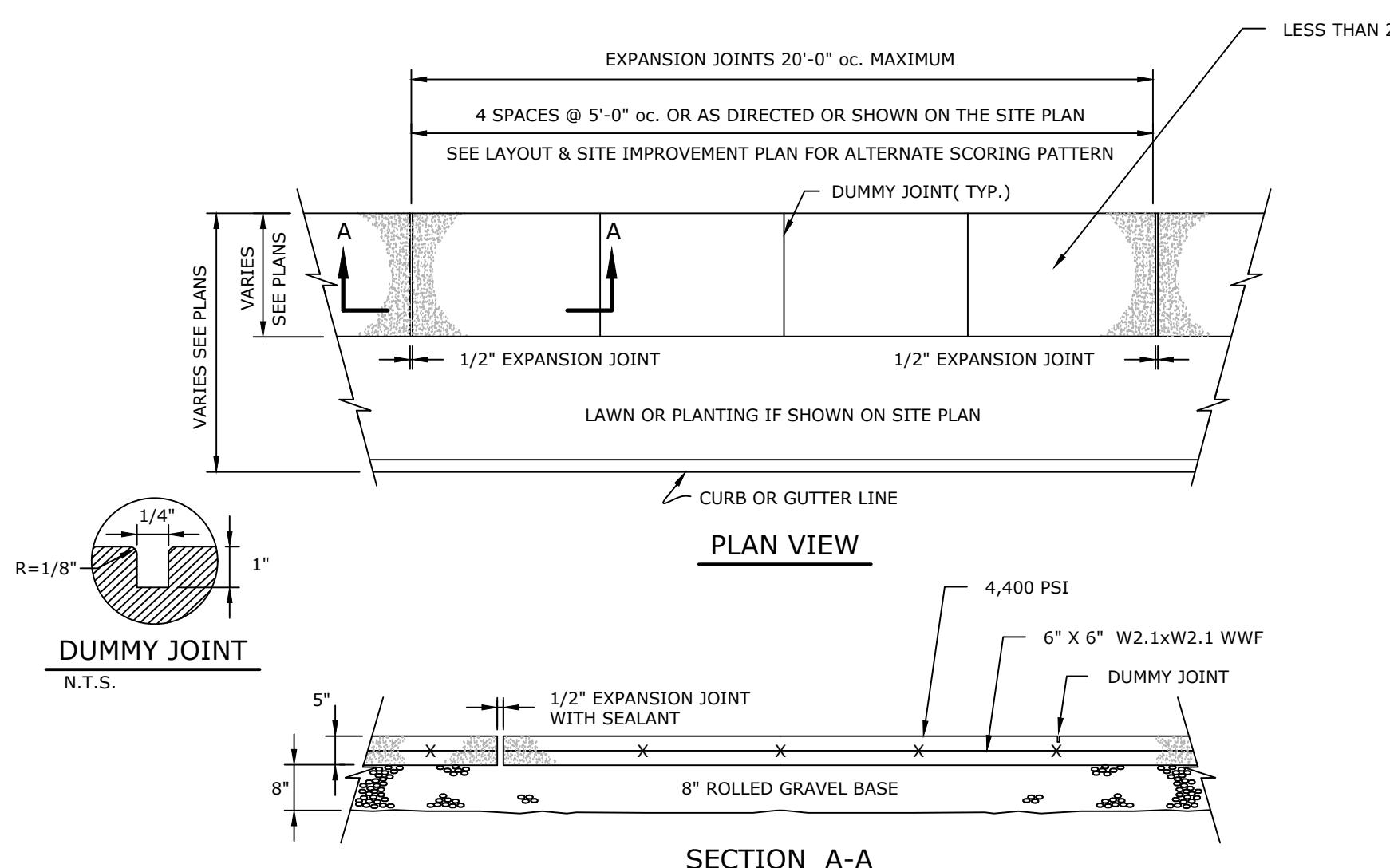
N.T.S.



NOTE: HANDICAP SYMBOL TO ADHERE TO
STATE BUILDING CODE, LATEST EDITION

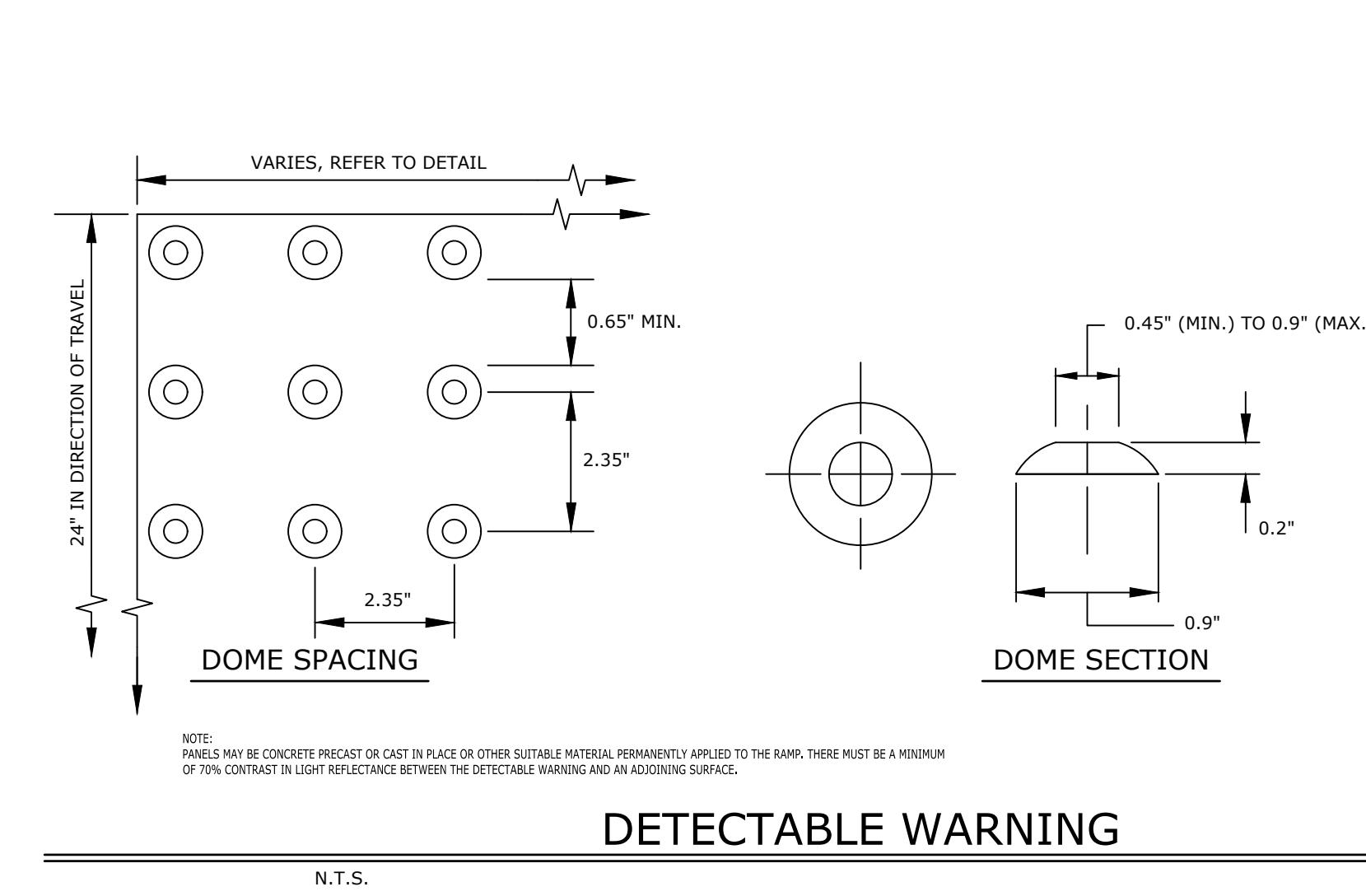
**HANDICAP SIGN BOLLARD
DETAIL**

N.T.S.



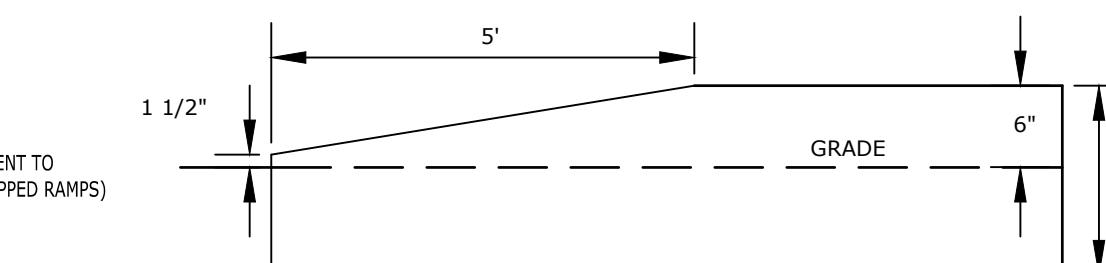
CONCRETE SIDEWALK DETAIL

N.T.S. BLSR-001



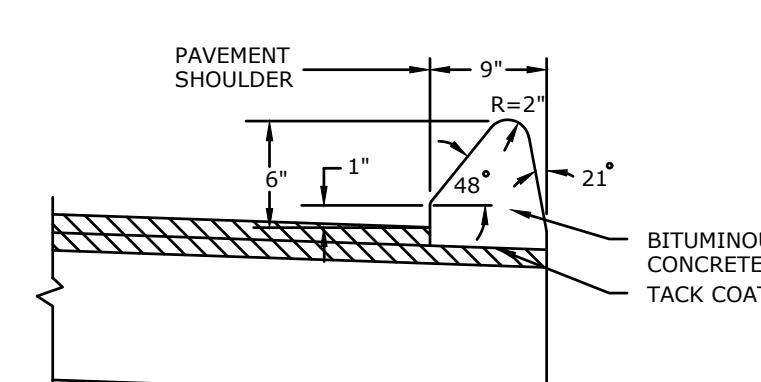
DETECTABLE WARNING

N.T.S.



TRANSITION CURB

N.T.S.



BITUMINOUS CONCRETE LIP CURBING

N.T.S.

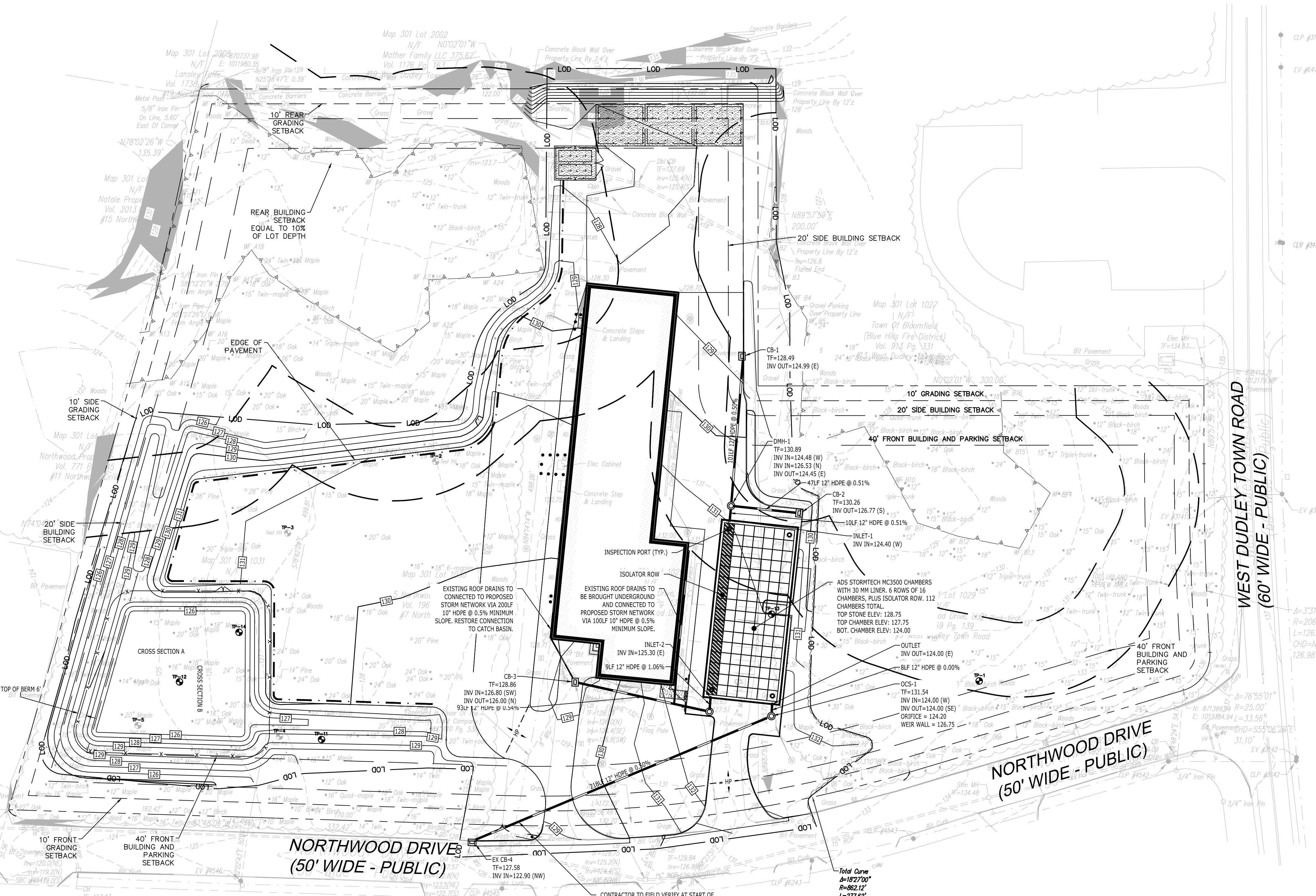
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NOT RELEASED FOR CONSTRUCTION

REVISIONS	Date	Desc.
No. 1	7/7/2025	Response to Town Comments
Designed	J.N.B.	
Drawn	J.N.B.	
Reviewed	R.M.R.	
Scale	N.T.S.	
Project No.	2302699	
Date	2/10/2025	
CAD File:	C2302699-110	
Title	SITE PLAN DETAILS	
Sheet No.		

GRADING AND DRAINAGE LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITWORK CONTRACT LIMIT LINE
	LIMITS OF CLEARING
	SAWCUT LINE
	PROVIDE AND INSTALL STORM LINE
	PROVIDE AND INSTALL TYPE C CATCH BASIN
	PROVIDE AND INSTALL TYPE C-L CATCH BASIN
	PROVIDE AND INSTALL DRAINAGE MANHOLE OR OUTLET CONTROL STRUCTURE
	PROVIDE AND INSTALL FLARED END SECTION
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED SPOT GRADE
SPOT GRADE ABBREVIATIONS	
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
MEX	MEET EXISTING CONDITION

NOTE: ALL NEW CATCH BASINS SHALL BE PROVIDED WITH HOODED OUTLETS



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

GRAPHIC SCALE

A horizontal scale bar divided into four equal segments by vertical tick marks. The first segment is labeled '40' at its left end. The second segment is labeled '20' at its left end. The third segment is labeled '0' at its left end. The fourth segment is labeled '40' at its right end. The entire scale is labeled 'SCALE IN FEET' at the bottom center.

SCALE IN FEET

**PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002**

Architecture
Engineering
Environmental
Land Surveying
B2B
Companies

100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200

signed	J.N.B.
awn	J.N.B.
viewed	R.M.R.
ale	1"=40'
ject No.	2302699
ts	2/16/2025

Drainage Plan

DRAINAGE PLAN

RAINWATER PLAN

Sheet No. 1

C2 E0

C2.50

1118

10 of 10 pages

DRAINAGE PLAN



MC-3500 STORMTECH CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE STORMTECH MC-3500.
2. CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
4. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
5. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
6. CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
7. REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 12" (300 mm).
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT², THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
8. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR SEVEN (7) YEAR DEAD LOAD AND 1.50 FOR LIVE LOAD, MINIMUM IN ACCORDANCE WITH ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
9. CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

1. STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
2. STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
3. CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STORMTECH RECOMMENDED OFFICIAL BACKFILL BED.
 - BACKFILL AS ROWS ARE INSTALLED USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
4. THE FOUNDATION STONE SHALL BE LEVELED AND COMPAKTED PRIOR TO PLACING CHAMBERS.
5. JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEALED PRIOR TO PLACING STONE.
6. MAINTAIN MINIMUM 12" (300 mm) SPACING BETWEEN THE CHAMBER ROWS.
7. INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
8. EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION #3 OR #4.
9. STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
10. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
11. ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

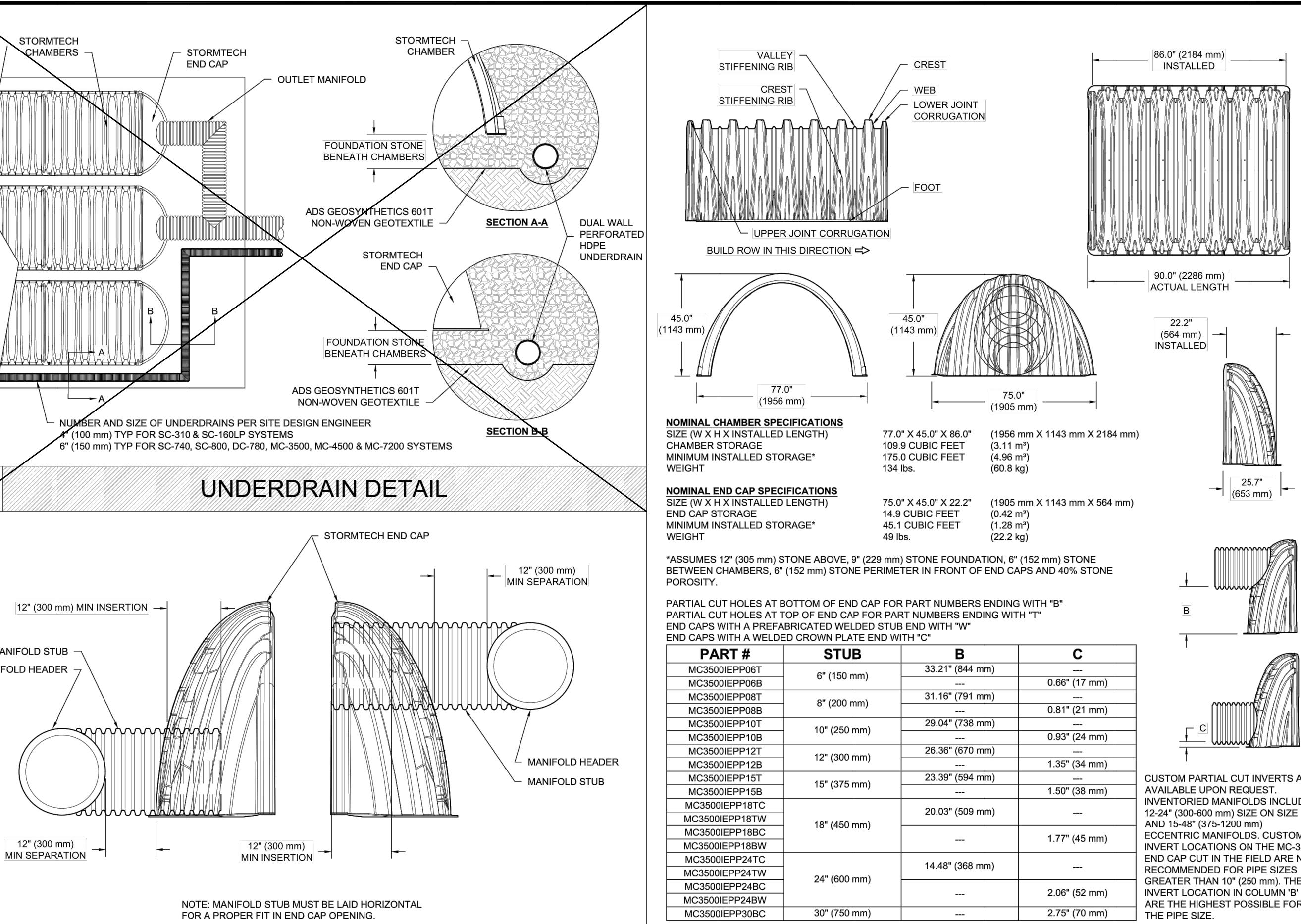
NOTES FOR CONSTRUCTION EQUIPMENT

1. STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
2. THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO RUBBER TIRED DUMP TRUCKS OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
3. FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

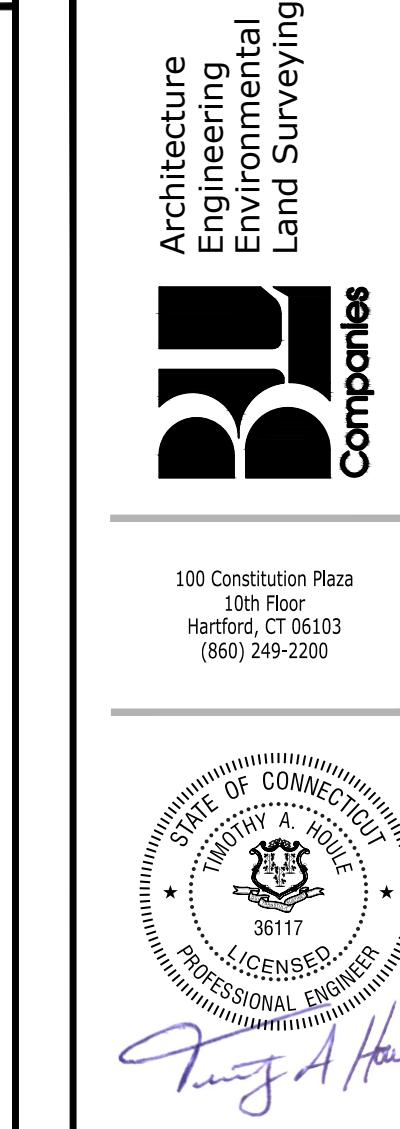
73/205_BUREAU/2023/08/20/20699/DWG23020699-110.DWG/C4108/C4106



MC-3500 STANDARD DETAILS

DRAWN: JLM DATE: 01/10/24
REVIEWED: JLM PROJECT NO: NOT TO SCALE
REV:

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002



ADDS HAS PREPARED THIS DETAIL BASED ON REFERENCED STANDARDS. ADDS HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICES FOR THIS PROJECT. NOR HAS ADDS INDEPENDENTLY VERIFIED THE INFORMATION PROVIDED HEREIN. THE SITE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION AND SEALING THE DOCUMENT. IT IS THE SITE DESIGN ENGINEER'S RESPONSIBILITY TO GENERAL REQUIREMENTS AND ARE NOT SPECIFIC FOR THIS PROJECT, UNLESS THE PLANS ARE SIGNED AND SEALED BY THE SITE DESIGN ENGINEER. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.

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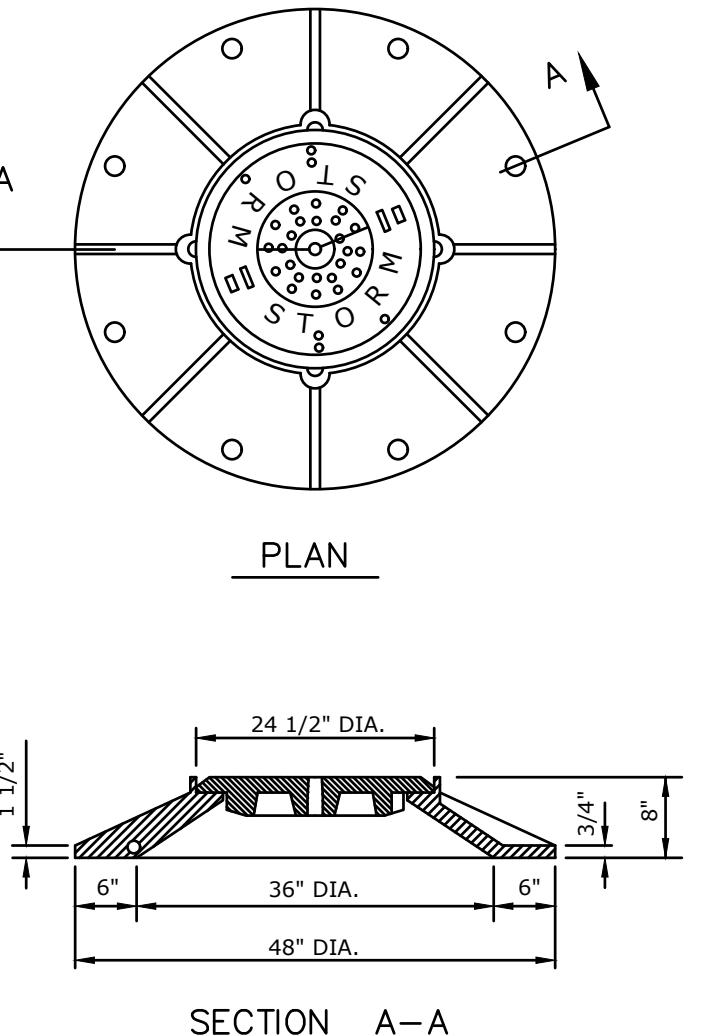
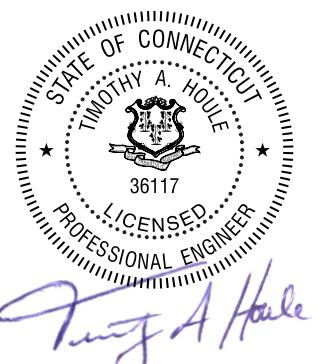
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STANDARD MANHOLE FRAME AND COVER

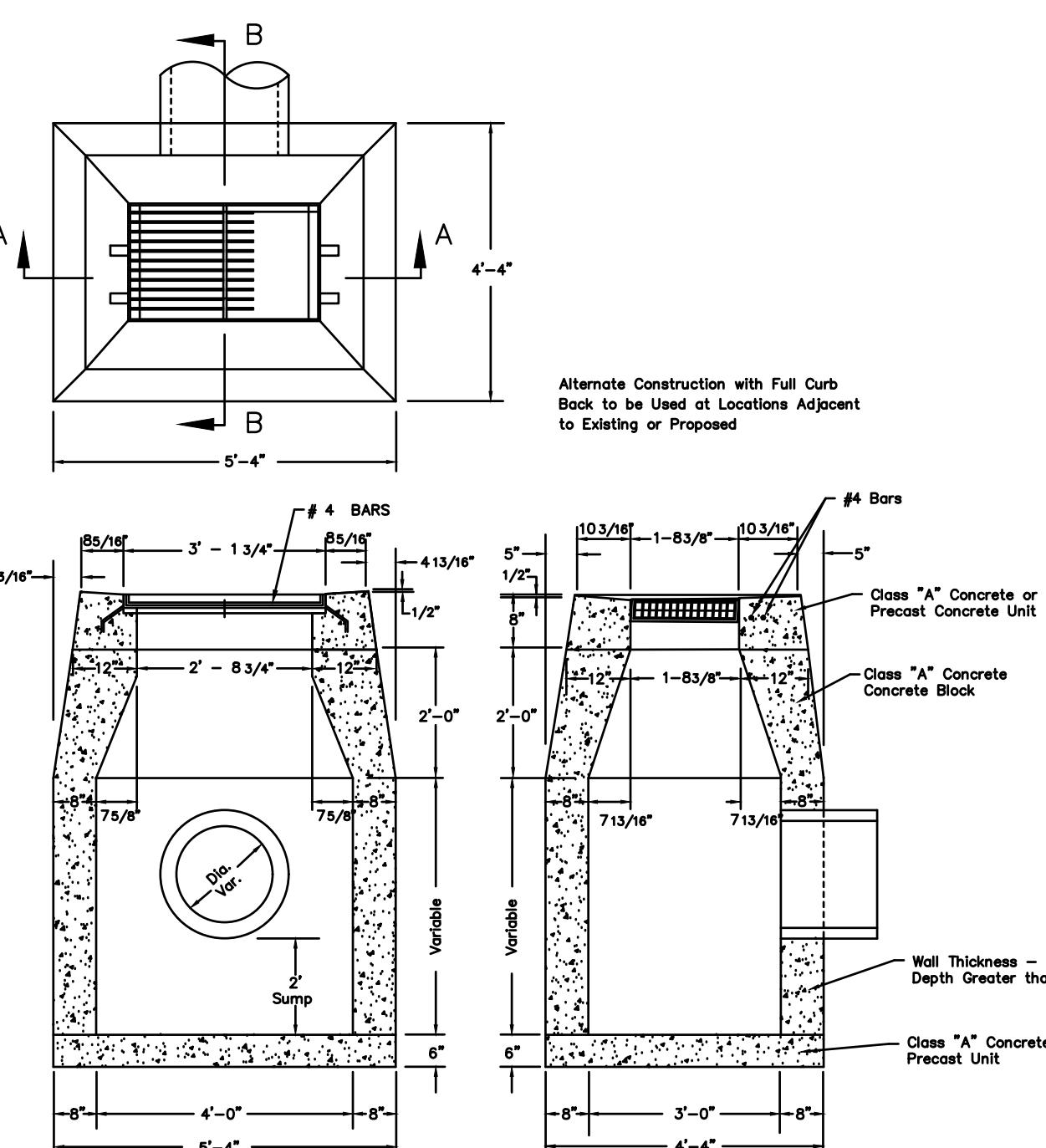
N.T.S. ZDD-079

PRECAST STORM MANHOLE DETAIL

N.T.S. ZDD-049

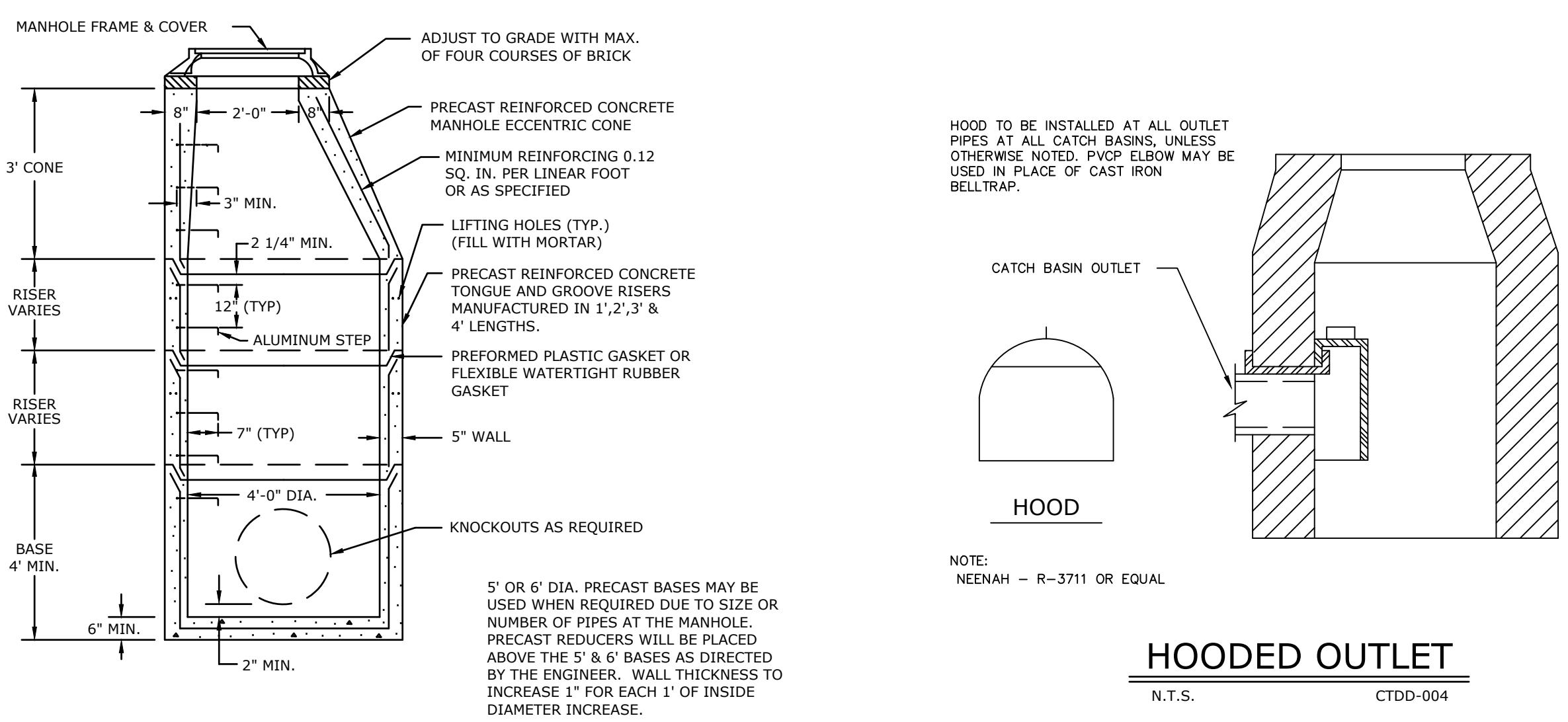
TYPICAL STORM SEWER TRENCH SECTION

N.T.S. BLDD-004



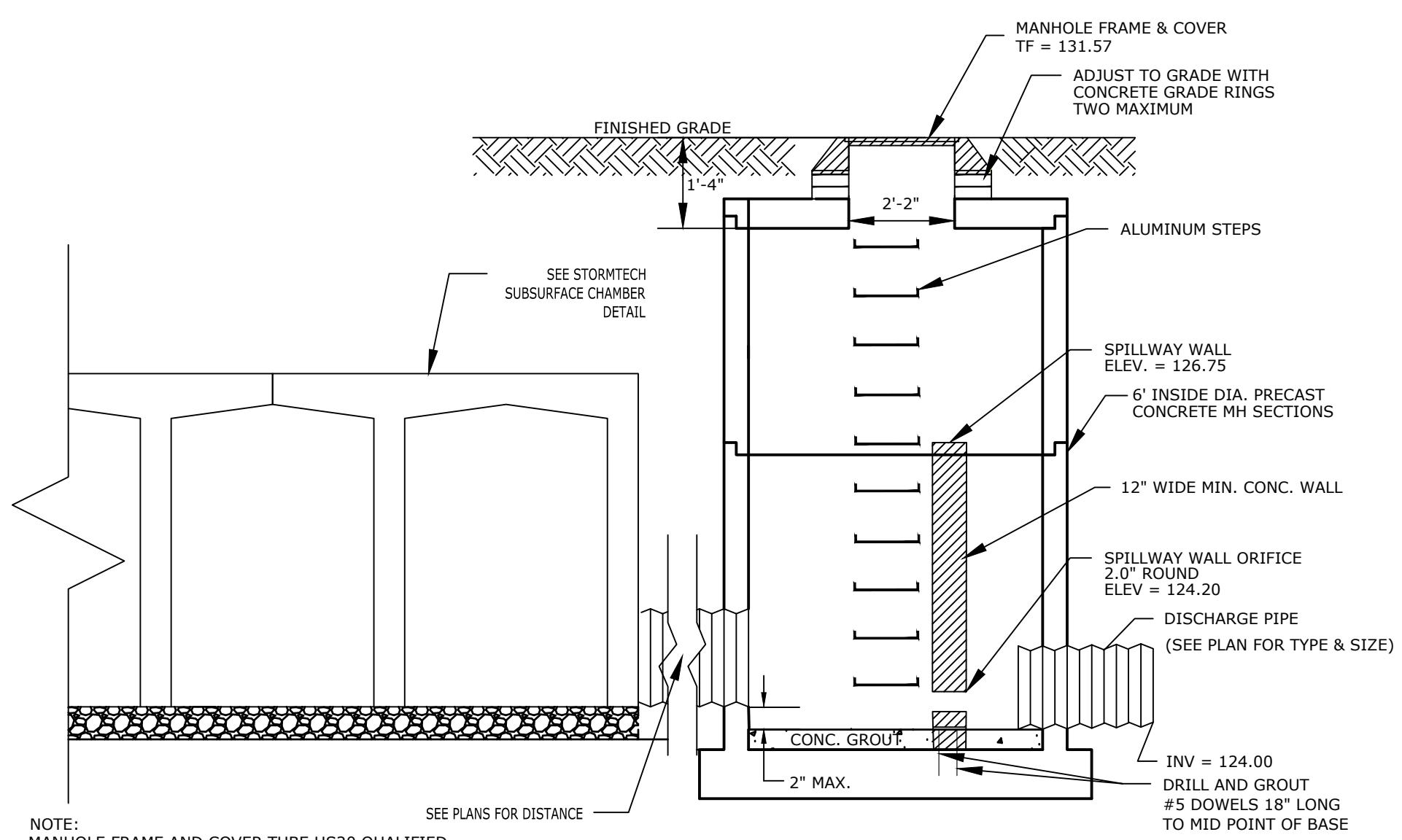
TYPE "C-L" CATCH BASIN

N.T.S. SW-004



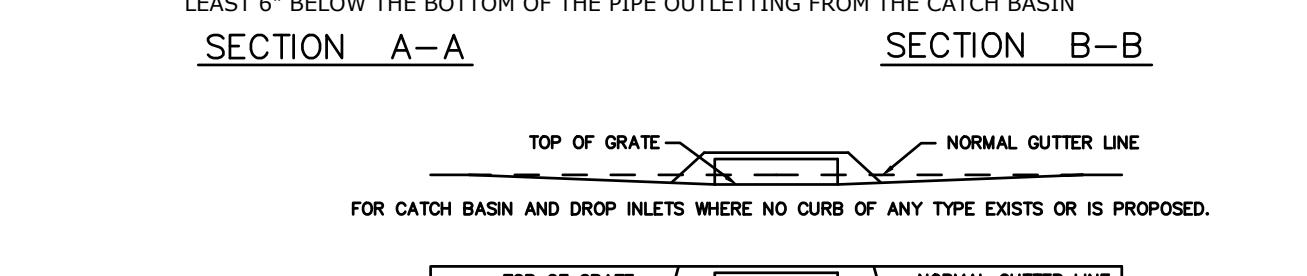
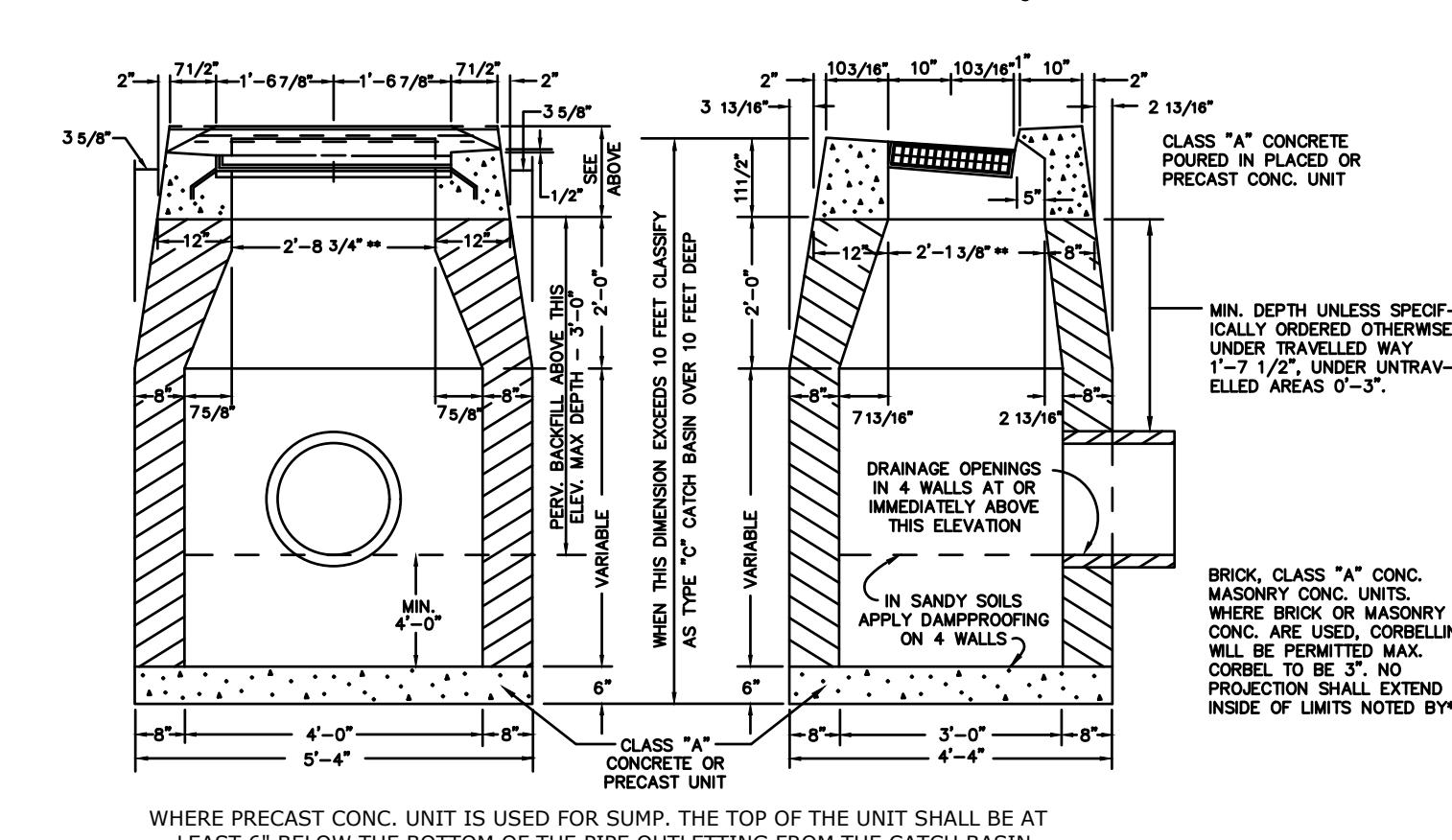
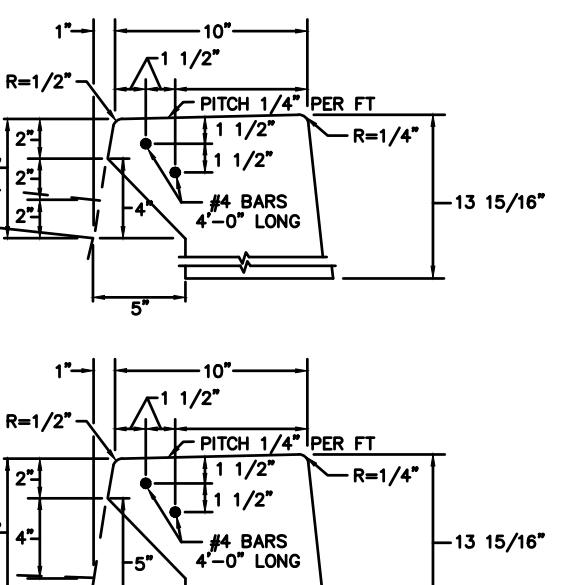
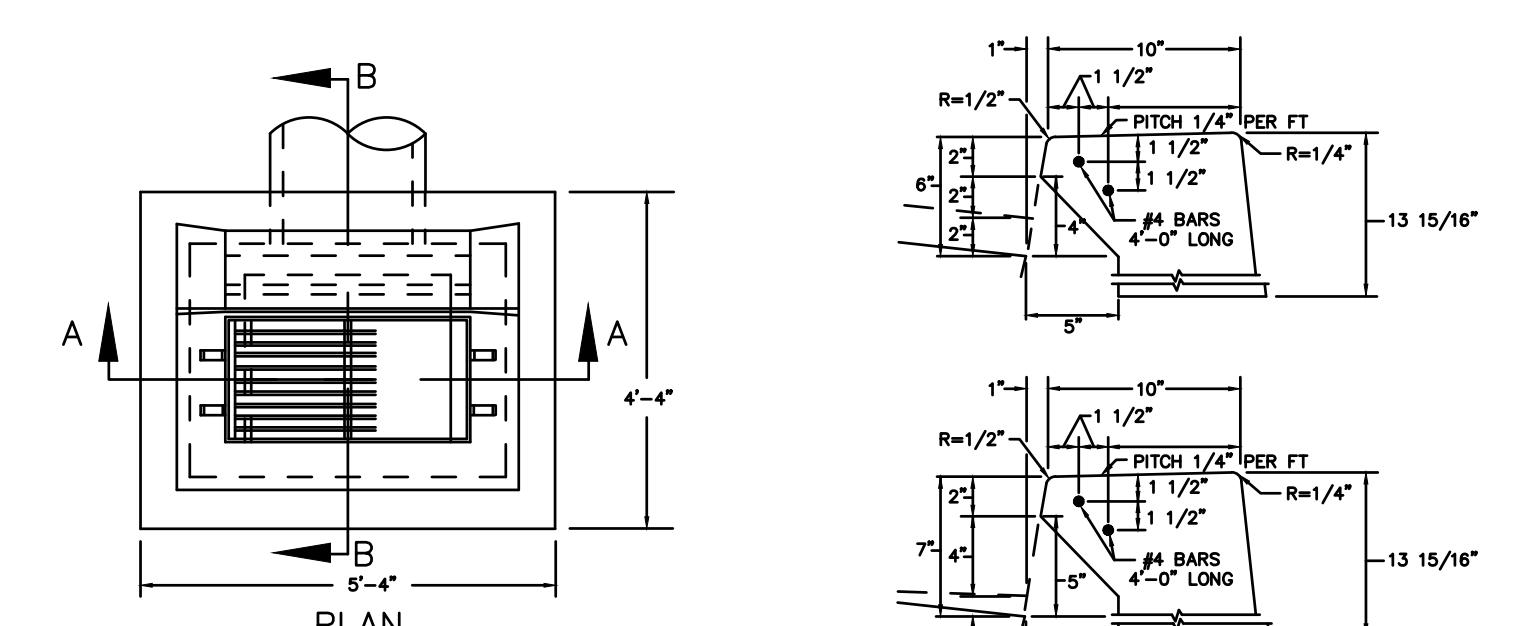
HOODED OUTLET

N.T.S. CTDD-004



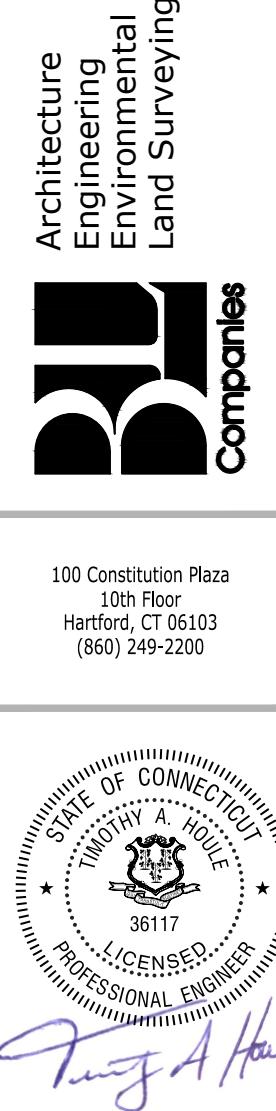
CHAMBER SYSTEM
OUTLET CONTROL STRUCTURE

N.T.S.



TEST PIT FIELD LOG		TEST PIT FIELD LOG		TEST PIT FIELD LOG																	
PERSONNEL PRESENT		EXCAVATION EQUIPMENT		PERSONNEL PRESENT		EXCAVATION EQUIPMENT		PERSONNEL PRESENT		EXCAVATION EQUIPMENT											
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor Burns	Ground Surface Elevation 126.5 ft.	Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor Burns	Ground Surface Elevation 130.7 ft.	Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor Burns	Ground Surface Elevation 125.3 ft.										
		Operator	Datum NAVD 88			Operator	Datum NAVD 88			Operator	Datum NAVD 88										
		Make Komatsu	Temperature 70°			Make Komatsu	Temperature 70°			Make Komatsu	Temperature 70°										
		Bucket Capacity	Reach			Bucket Capacity	Reach			Bucket Capacity	Reach										
Depth (in.)	SOIL DESCRIPTION		Excav. Effort	Cobble and Boulder Data	Remark No.	Depth (in.)	SOIL DESCRIPTION		Excav. Effort	Cobble and Boulder Data	Remark No.	Depth (in.)	SOIL DESCRIPTION		Excav. Effort	Cobble and Boulder Data	Remark No.				
0 to 11	Dark Brown Topsoil		E	NONE		0 to 24	Dark Brown Topsoil		E	NONE	1. was	0 to 12	Dark Brown Topsoil		E	NONE					
11 to 30	Tan/Brown Loom and Silt		E	NONE		24 to 48	Tan/Brown Sand and Silt		E	NONE	1. was	12 to 40	Light Tan/Brown Sand little Silt		E	NONE	1. was				
30 to 63	Gray Very fine sand little Silt		E	NONE	1. was	48 to 96	Gray Very fine Silt and Sand		E	NONE	1., 2. was	40 to 84	Gray Very fine sand little Silt		E	NONE	2. was				
Bottom of Test Pit at 63 inches below ground elevation						Bottom of Test Pit at 96 inches below ground elevation						Bottom of Test Pit at 84 inches below ground elevation									
REMARKS:						REMARKS:						REMARKS:									
1. Mottling was observed at 40 in.						1. Mottling was observed at 72 in.						1. Mottling was observed at 25 in.									
2. Groundwater was not observed						2. Groundwater was observed at 96 in.						2. Groundwater was observed at 84 in. seeping in									
3. Bedrock/Restrictive layer was not observed						3. Bedrock/Restrictive layer was not observed						3. Bedrock/Restrictive layer was not observed									
TEST PIT PLAN		COBBLES AND BOULDERS		LEGEND		TEST PIT PLAN		COBBLES AND BOULDERS		LEGEND		TEST PIT PLAN		COBBLES AND BOULDERS		LEGEND					
		Size Range Classification	Letter Designation	PROPORTIONS USED QUANTITATIVE TERMS		TRACE (TR)	0-10%			Size Range Classification	Letter Designation	PROPORTIONS USED QUANTITATIVE TERMS		TRACE (TR)	0-10%			Size Range Classification	Letter Designation	PROPORTIONS USED QUANTITATIVE TERMS	
		3" - 12"	Cobble (C)	AND		LITTLE (L)	10-20%			3" - 12"	Cobble (C)	PROPORTIONS USED QUANTITATIVE TERMS		LITTLE (L)	10-20%			3" - 12"	Cobble (C)	PROPORTIONS USED QUANTITATIVE TERMS	
		12" - 24"	Small (S)	AND		SOME (SO)	20-35%			12" - 24"	Small (S)	PROPORTIONS USED QUANTITATIVE TERMS		SOME (SO)	20-35%			12" - 24"	Small (S)	PROPORTIONS USED QUANTITATIVE TERMS	
		24" - 36"	Medium (M)	AND		35-50%	FEW			24" - 36"	Medium (M)	PROPORTIONS USED QUANTITATIVE TERMS		35-50%	FEW			24" - 36"	Medium (M)	PROPORTIONS USED QUANTITATIVE TERMS	
		36" and Larger	Large (L)			OCCASIONAL				36" and Larger	Large (L)	OCCASIONAL		OCCASIONAL				36" and Larger	Large (L)	OCCASIONAL	
				NUMEROUS		E - Easy						NUMEROUS		E - Easy						NUMEROUS	
				M - Moderate		M - Moderate						M - Moderate		M - Moderate						M - Moderate	
				D - Difficult		D - Difficult						D - Difficult		D - Difficult						D - Difficult	
						▼						▼		▼						▼	
						Observed Depth to Groundwater						Observed Depth to Groundwater		Observed Depth to Groundwater						Observed Depth to Groundwater	
TEST PIT PLAN						TEST PIT PLAN						TEST PIT PLAN									
355 Research Parkway Meriden, CT 06450 Tel.(203) 630-1406 Fax (203) 630-2615						355 Research Parkway Meriden, CT 06450 Tel.(203) 630-1406 Fax (203) 630-2615						355 Research Parkway Meriden, CT 06450 Tel.(203) 630-1406 Fax (203) 630-2615									
Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences						Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences						Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences									

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06020



REVISIONS
No. 1
Date 7/2/2025
Desc. RESPONSE TO TOWN COMMENTS

Designed J.N.B.
Drawn J.N.B.
Reviewed R.M.R.
Scale N.T.S.
Project No. 2302699
Date 2/10/2025

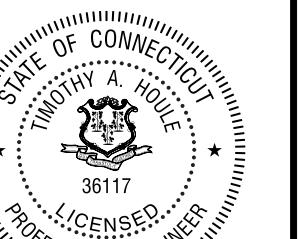
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Title GRADING AND DRAINAGE DETAILS

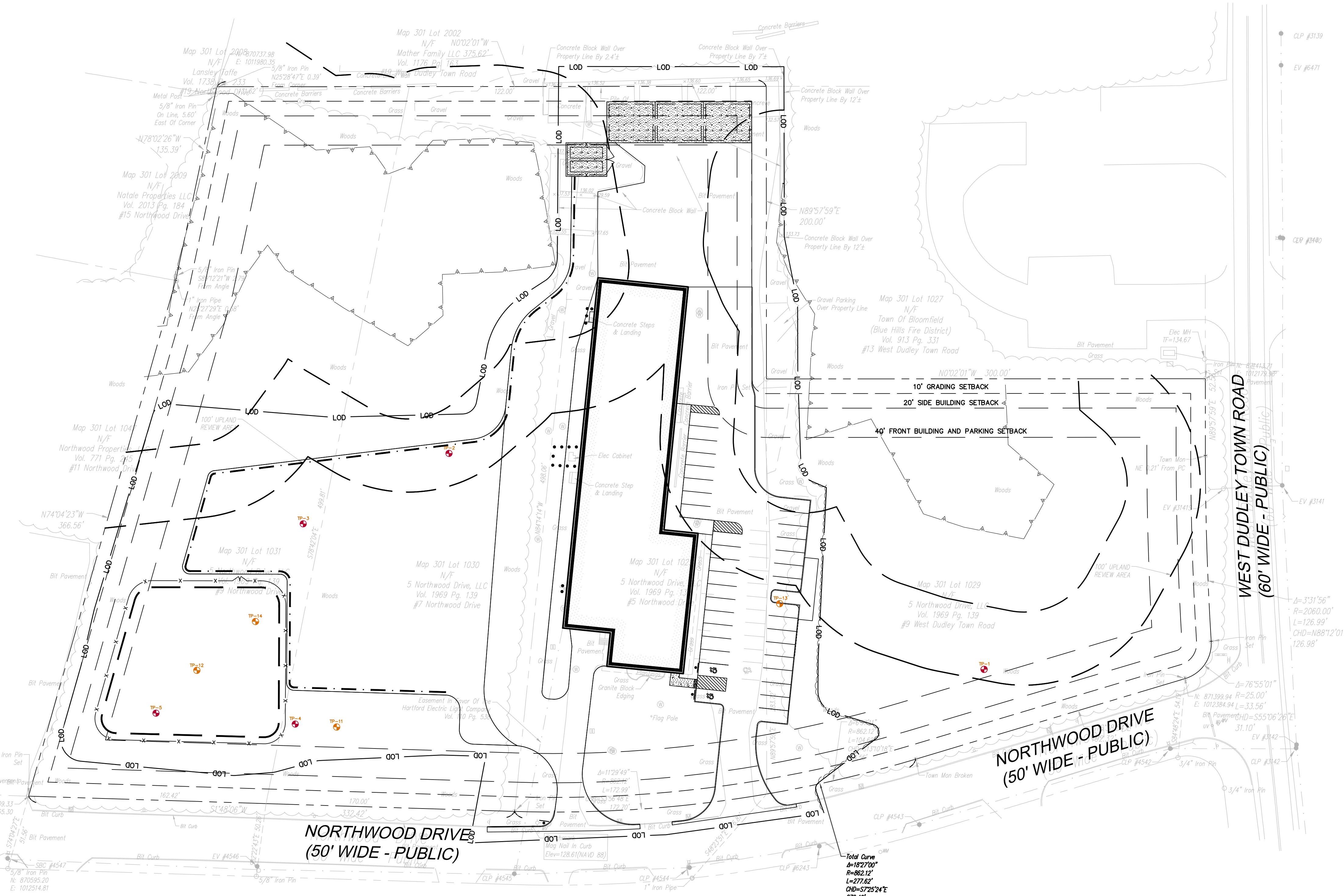
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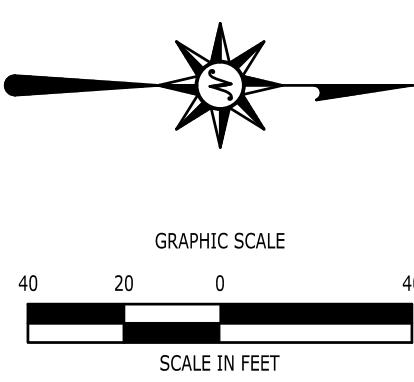
FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



TEST PIT LOCATION
MAP

Sheet No.

7/3/2025

1

REVISIONS

Date

7/3/2025

No.

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES - CONNECTICUT

SEDIMENT & EROSION CONTROL NARRATIVE
THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SUMMER 2025 WITH COMPLETION ANTICIPATED WINTER 2025. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS COMMISSION AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

1. CONTACT BLOOMFIELD INLAND WETLANDS AND WATERCOURSES COMMISSION AGENT FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
2. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS COMMISSION AGENT PRIOR TO THE START OF WORK. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE.
3. CONSTRUCT STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS AT CONSTRUCTION ENTRANCES/EXITS AND INSTALL FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
4. CLEAR AND GRUB SITE. STOCKPILE CHIPS, STOCKPILE TOPSOIL, INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
5. BUILDING AND SITE DEMOLITION AND REMOVAL. PAVEMENT REMOVAL. REFER TO DEMOLITION PLAN.
6. INSTALL SILT FENCE. COMMENCE INSTALLATION OF STORM DRAINAGE SYSTEM.
7. COMMENCE EARTHWORK. INSTALL ADDITIONAL SEDIMENT AND EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
8. CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
9. ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
10. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
11. BEFORE DISPOSING OF SILT OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
12. CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
13. THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENT BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
14. INSTALL UTILITIES. COMPLETE STORM DRAINAGE SYSTEM.
15. INSTALL SITE LIGHTING AND TRASH ENCLOSURE.
16. COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
17. CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
18. CONDUCT FINE GRADING.
19. PAVING OF PARKING AREAS AND DRIVEWAYS.
20. FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
21. PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED AUGUST 15-OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
22. LANDSCAPE ISLANDS, INTERIOR NON-PAVED AREAS, AND PERIMETER AREAS.
23. INSTALL SIGNING AND PAVEMENT MARKINGS.
24. CLEAN STORM DRAINAGE PIPE STRUCTURES, DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
25. UPON DIRECTION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION AGENT, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

CLEARING AND GRUBBING OPERATIONS

1. ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
2. FOLLOWING INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
4. FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEALED, MULCHED WITH HAY, AND ENCLOSED BY A SILT FENCE.

FILLING OPERATIONS

1. PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE. FILL MATERIAL SHALL BE USED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFT THICKNESSES SHALL BE COMPUTED AS 3-5% DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.

1. SILT FENCES SHALL BE INSTALLED AT THE DOWNSHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.

FINAL GRADING AND PAVING OPERATIONS

1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEADED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
3. PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
4. AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

1. SILTATION FENCE
2. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
3. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNSHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
4. LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
5. BACKFILL THE TRENCH AND COMPACT.
6. HAY BALES/STRAW BALES
7. BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
8. BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.
9. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.
10. THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.

E. THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE, TO ENSURE THAT RUN-OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

1. SILTATION FENCE

A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY POSITIONED IN ACCORDANCE WITH THIS PLAN.

B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT.

II. HAY BALES/STRAW BALES

A. ALL HAY BALES/STRAW BALES RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.

B. DEPOSITS SHALL BE REMOVED AND CLEANED-OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.

III. SEDIMENT BASINS/SEDIMENT TRAPS

A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP LOCAL AUTHORITIES OR ENGINEER.

B. ALL SEDIMENT BASINS AND/OR SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.

C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.

D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

SEDIMENT AND EROSION CONTROL PLAN

1. HAY BALES/STRAW BALES FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS IF CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.

2. CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.

3. CATCH BASINS WILL BE PROTECTED WITH HAY/STRAW BALES FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS, THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.

4. ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT SOIL AND EROSION CONTROL GUIDELINES LATEST EDITION.

5. SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.

6. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.

7. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.

8. SEDIMENT REMOVAL FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.

9. OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION, OFFICE OR AUTHORITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES

1. THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.

2. OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE AUTHORITY HAVING JURISDICTION OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

3. AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH AUTHORITY HAVING JURISDICTION TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE AUTHORITY HAVING JURISDICTION FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.

4. VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (SES) BMPs ARE OPERATIONAL AND EFFECTIVE. IN INSPECTION PLANS, THE DATE, TIME, AND LOCATION OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:

A) A SUMMARY OF THE SITE CONDITIONS, SES BMPs, AND COMPLIANCE.

B) THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION.

C) TURBIDITY TESTING AS REQUIRED BY THE GENERAL PERMIT (NPDES).

5. THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH CT SOIL AND EROSION CONTROL GUIDELINES LATEST EDITION IN ACCORDANCE WITH CONTRACT DOCUMENTS, AND AS DIRECTED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.

6. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.

7. THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.

8. THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.

9. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.

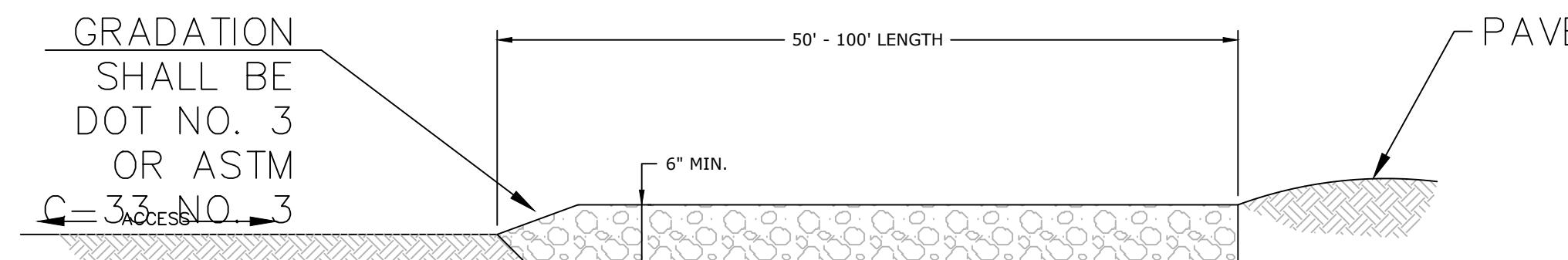
10. INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNSHILL SIDE OF THE FENCE.

11. STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.

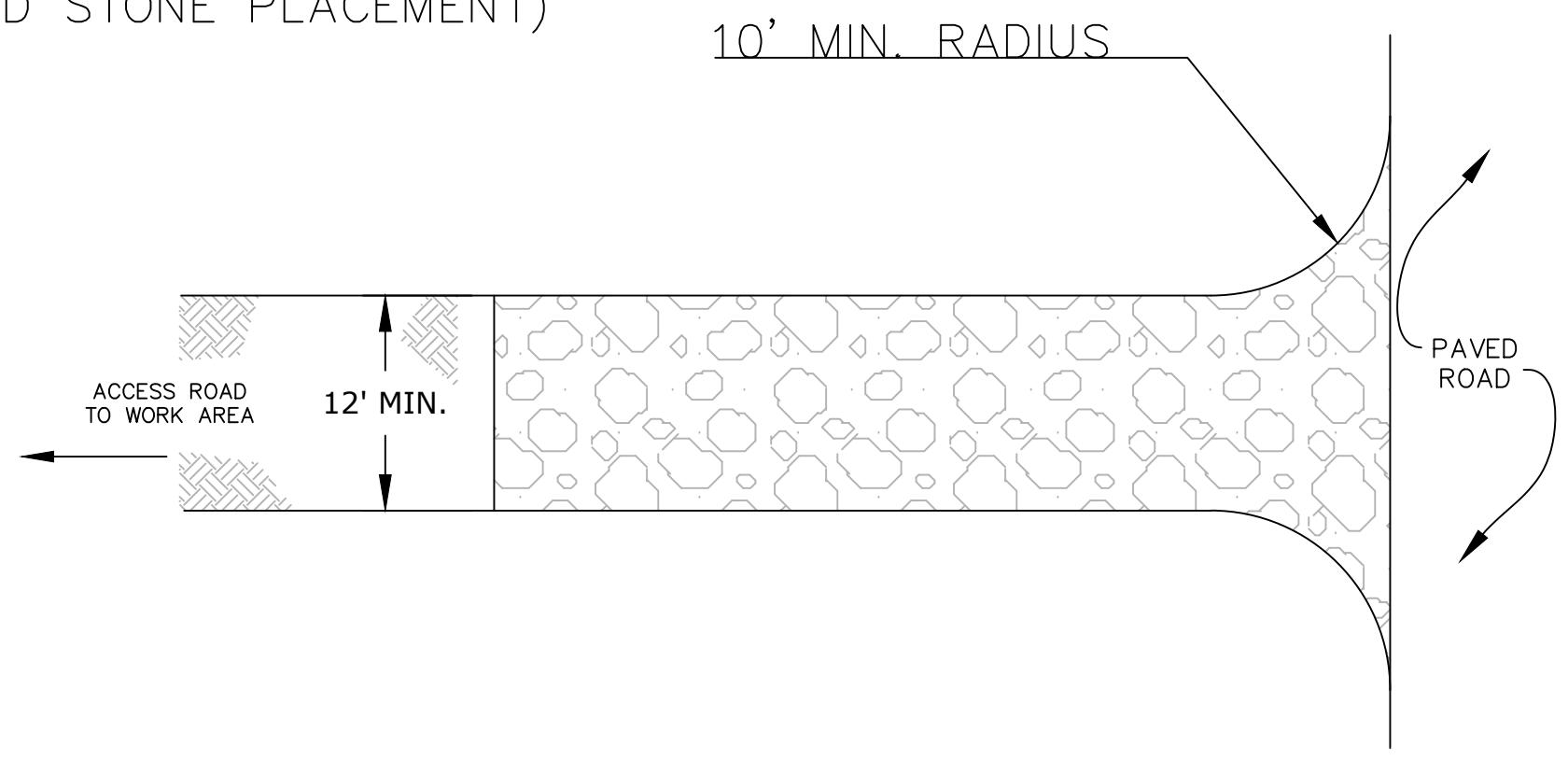
12. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEADED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.

13. SEDIMENT BASINS AND SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.

14. COMPLY WITH REQUIREMENTS OF CGS SECTION 22A-430B, FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.



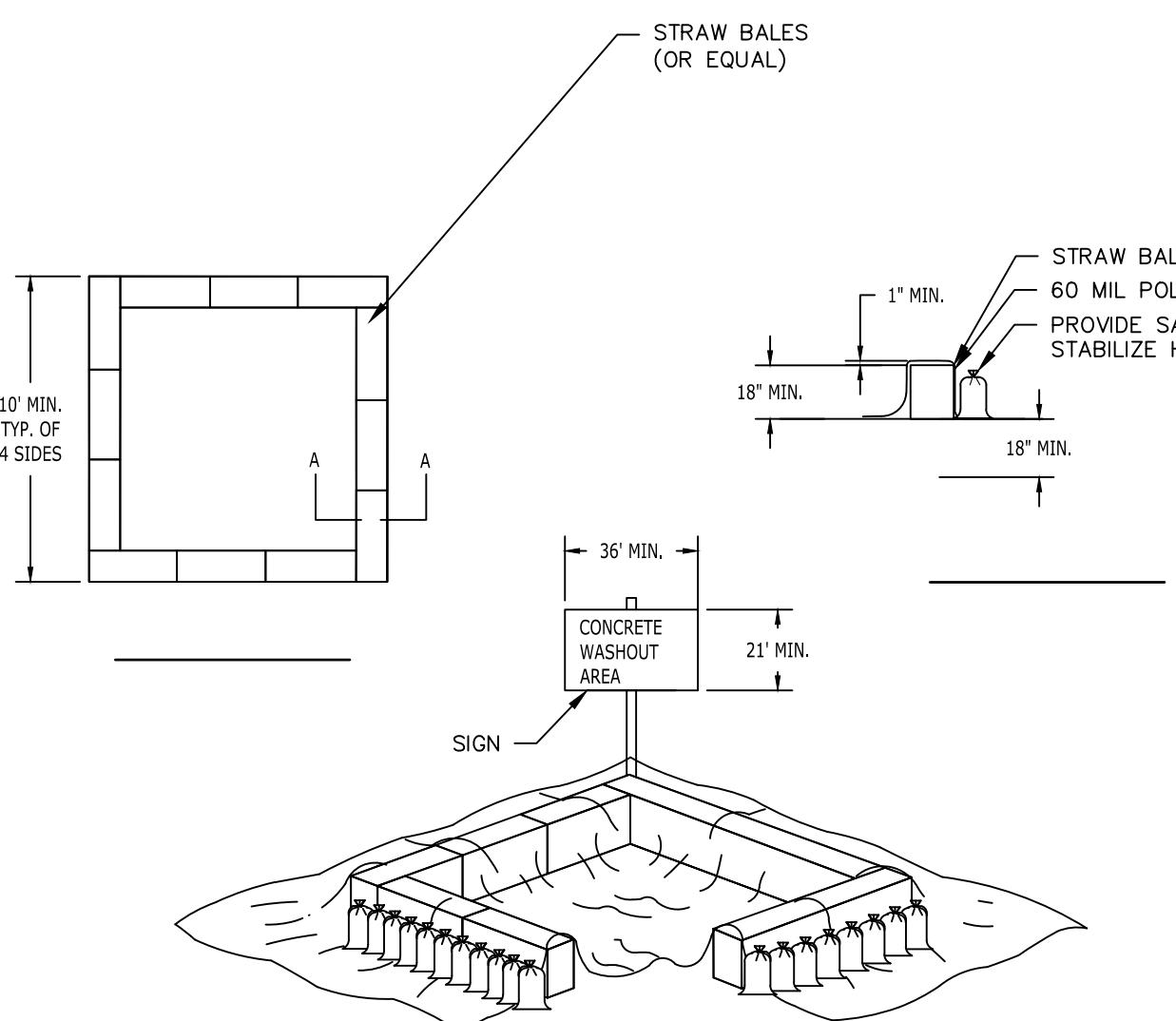
GRADATION
SHALL BE
DOT NO. 3
OR ASTM
C-33 NO. 3
ACCESS
6' MIN.
PAVED ROAD
STRIPPED GROUND LINE
(REMOVE TOPSOIL AND
ORGANICS PRIOR TO
CRUSHED STONE PLACEMENT)
10' MIN. RADIUS
INSTALL SUB-BASE OF FREE DRAINING BACKFILL
OR ROAD STABILIZATION GEOTEXTILE AS
NECESSARY ON UNSTABLE SOILS.



TYPICAL CONSTRUCTION ENTRANCE

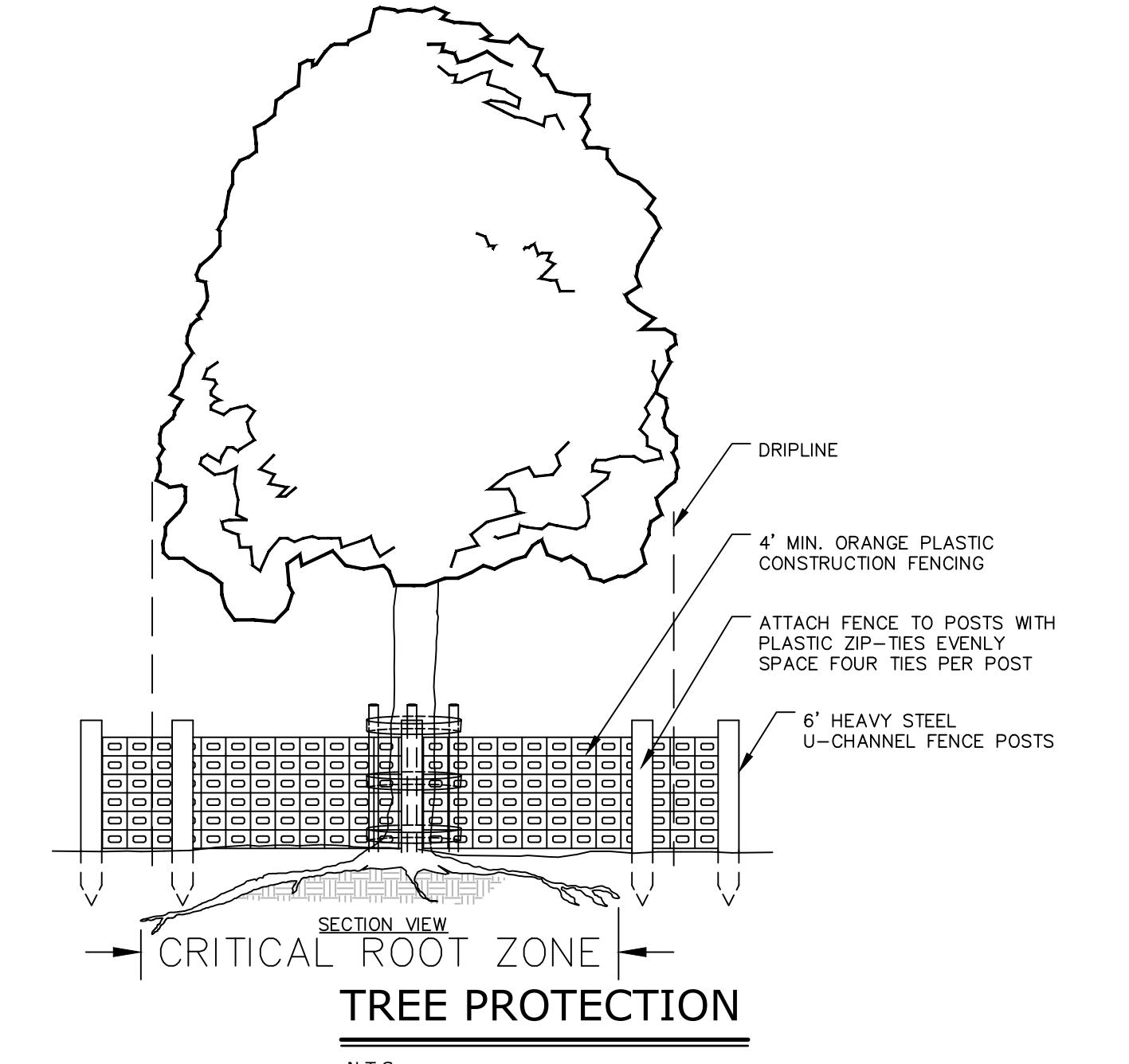
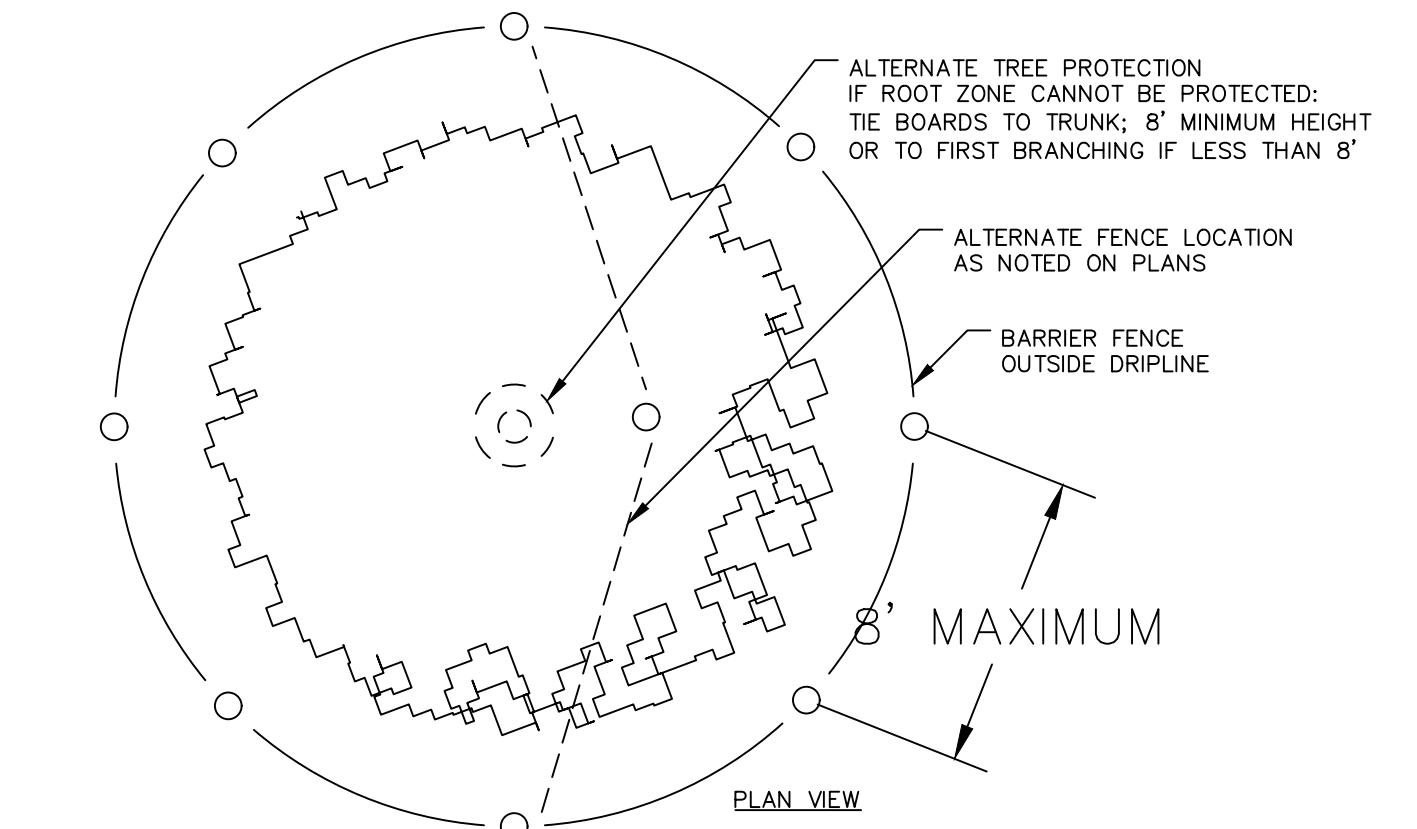
N.T.S.

CT DEEP CE-2



CONCRETE WASH PIT DETAIL

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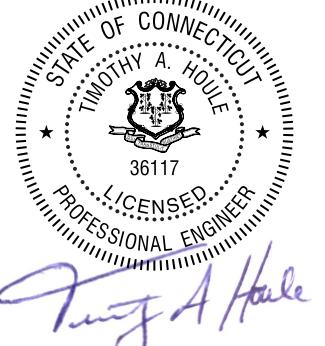


TREE PROTECTION

N.T.S.

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

Architecture
Engineering
Environmental
Land Surveying
BL Companies
100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



Tony A. Hale

REVISIONS
No. 1
Date 7/3/2025
Desc. RESPONSE TO TOWN COMMENTS

Designed
Drawn
Reviewed
Scale
Project No.
Date
CAD File:
Title

INITIALS
R.M.R.
N.T.S.
2302699
2/10/2025
C2302699-110

INITIALS
R.M.R.
N.T.S.
2302699
2/10/2025
C2302699-110

EROSION AND
SEDIMENT CONTROL
DETAILS

Sheet No.

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