

LOCATION MAP

N.T.S.



# LAND DEVELOPMENT PLANS FOR PROPOSED CONTRACTOR YARD ISSUED FOR PERMITTING

PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002



VICINITY MAP

SCALE: 1"=800'

PREPARED FOR:  
BURNS CONSTRUCTION COMPANY  
300 SPERRY AVENUE  
STRATFORD, CT 06615

PREPARED BY:



100 Constitution Plaza, 10th Floor  
Hartford, CT 06103  
(860) 249-2200

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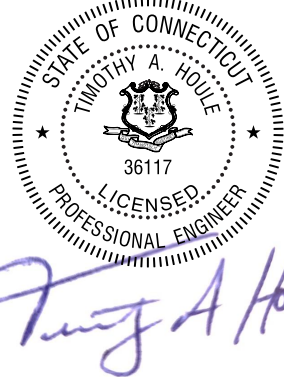
FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

DEVELOPER & APPLICANT:  
BURNS CONSTRUCTION COMPANY  
300 SPERRY AVENUE  
STRATFORD, CT 06615

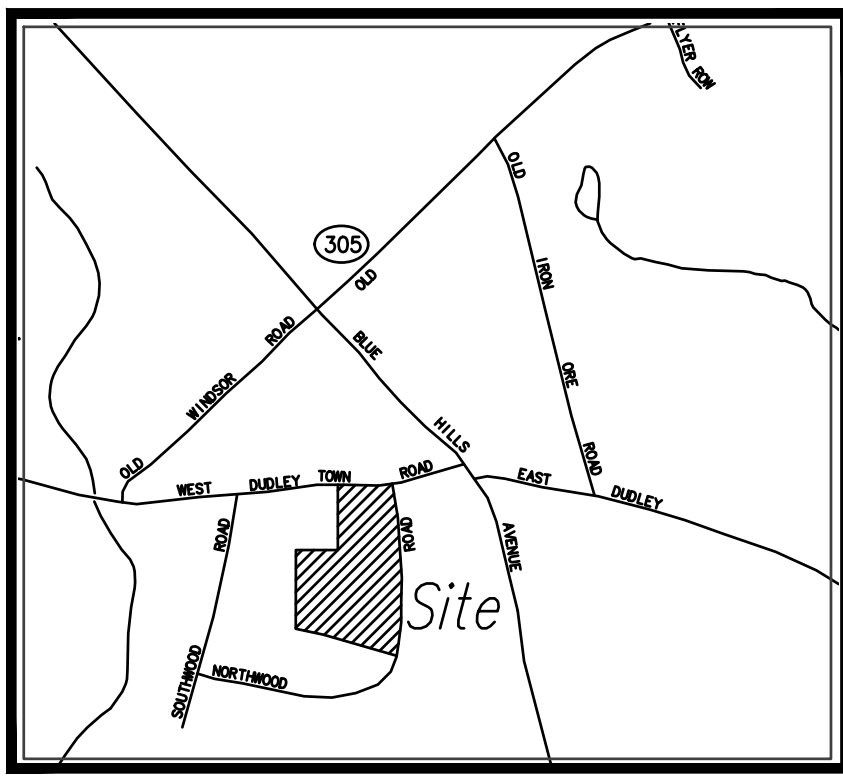
OWNER:  
5 NORTHWOOD DRIVE, LLC  
PO BOX 568  
BLOOMFIELD, CT 06002

## DATES

ISSUE DATE: 2/10/2025  
REVISION: 7/3/2025



## SUBCONSULTANTS:



LOCATION MAP  
NOT TO SCALE

## PARCEL DATA

OWNER	ADDRESS	SQUARE FEET	ACRES
5 NORTHWOOD DRIVE, LLC VOL. 1969 PG. 139	5 NORTHWOOD DRIVE	72,399	1.662
	7 NORTHWOOD DRIVE	72,127	1.656
	9 NORTHWOOD DRIVE	70,225	1.612
	9 WEST DUDLEY TOWN ROAD	73,630	1.690
TOTAL		288,381	6.620

## LEGEND

	Property Line
	Limit of Wetlands
	Edge of Water
	Treeline
	Major Contour
	Minor Contour
	Overhead Wires
	Storm Sewer
	Electric Meter
	Utility Pole
	Utility Pole w/ Light
	Guy Wire
	Gas Meter
	Catch Basin
	Double Type I Catch Basin
	Manhole
	Roof Drain
	Fire Hydrant
	Water Valve
	Water Meter
	Valve- Utility Type Unknown
	Sign
	Handicap Symbol
	Mail Box
	Monitoring Well
	Boring Test Pit
	Irrigation Control Box
	Shrub
	Deciduous Tree
	Coniferous Tree
	Areas Of Slope Greater Than 25%

## GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY OF MAP REFERENCE A.
- D) THE TYPE OF SURVEY PERFORMED IS A PROPERTY/TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE EXISTING CONDITIONS WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
- NORTH ARROW, BEARINGS AND COORDINATES REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83) AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN OCTOBER 2024 UTILIZING THE SMARTNET VRS NETWORK.
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING (GEOID 18) AND IS BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN OCTOBER 2024 UTILIZING THE SMARTNET VRS NETWORK.
- PARCEL IS LOCATED IN A FLOOD AREA "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 09003C0352F PANEL 352 OF 675 EFFECTIVE DATE: SEPTEMBER 26, 2008.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
- WETLAND DELINEATION FLAGGED AND LOCATED BY BL COMPANIES SOIL SCIENTIST ON OCTOBER 21, 2024.
- AT THE DATE OF THIS SURVEY MANY OF THE REQUESTED UTILITY RECORDS HAVE NOT BEEN RECEIVED FROM THE RESPECTIVE UTILITY SERVICE PROVIDERS.
- PROPERTY BOUNDARY MONUMENTS ARE REQUIRED TO BE IN PLACE PRIOR TO CONSTRUCTION.

MATCHLINE SHEET 2 OF 2

Jun 27, 2025 15:49m - Schrieger G. LOBES2302020699/INWEX20206991.dwg  
Layout: EX-1.dwg  
Xref(s): XY20206991

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LAND OF  
5 NORTHWOOD DRIVE, LLC  
5 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD  
BLOOMFIELD, CONNECTICUT

Disc:  
Added Trees Greater Than 12 Inches.  
Updated Per Town of Bloomfield.  
Revised Drainage in Rear of Lot.  
Revised Per Town Comments, Drainage To South.

REVISIONS  
Date  
1/14/2025  
5/13/2025  
5/21/2025  
6/27/2025

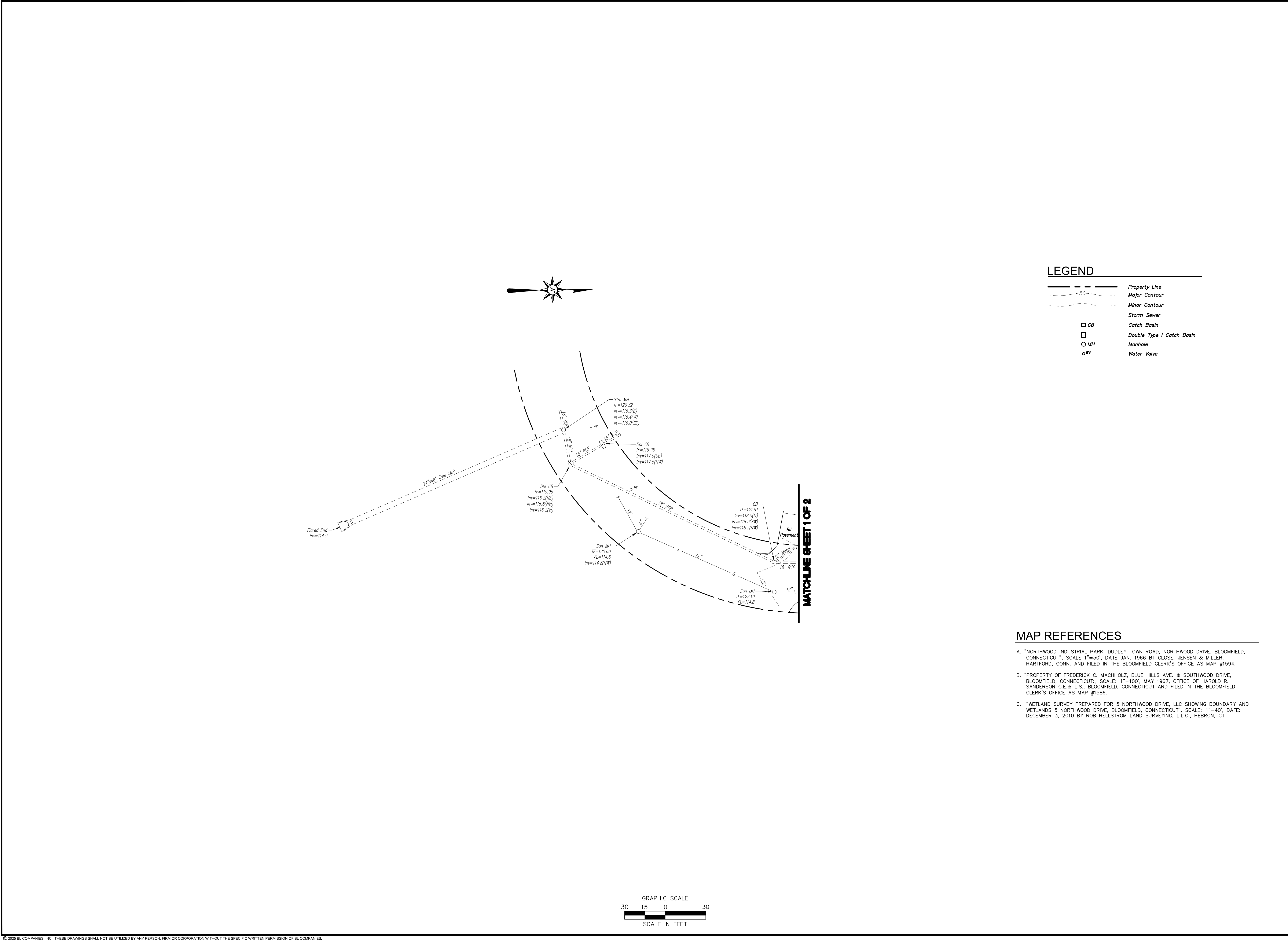
Surveyed NS/DOS  
Drawn JS.  
Reviewed DS  
Scale 1"=30'  
Project No. 2302699  
Date 11/12/2024  
Field Book 597  
CAD File: EX230269901

EXISTING  
CONDITIONS  
MAP

Sheet No. 1 of 2

EX-1

Jun 27, 2025 1:51pm -Schneider G:\0652328\2302699\DWG\EX-230269901.dwg  
Layout: EX-1 Plot Size: 30x42 25%



### LEGEND

---	Property Line
---50---	Major Contour
---	Minor Contour
---	Storm Sewer
□ CB	Catch Basin
▣	Double Type I Catch Basin
○ MH	Manhole
○ WV	Water Valve

### MAP REFERENCES

- A. "NORTHWOOD INDUSTRIAL PARK, DUDLEY TOWN ROAD, NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE 1"=50', DATE JAN. 1966 BT CLOSE, JENSEN & MILLER, HARTFORD, CONN. AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1594.
- B. "PROPERTY OF FREDERICK C. MACHHOLZ, BLUE HILLS AVE. & SOUTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE: 1"=100', MAY 1967, OFFICE OF HAROLD R. SANDERSON C.E.& L.S., BLOOMFIELD, CONNECTICUT AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1586.
- C. "WETLAND SURVEY PREPARED FOR 5 NORTHWOOD DRIVE, LLC SHOWING BOUNDARY AND WETLANDS 5 NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE: 1"=40', DATE: DECEMBER 3, 2010 BY ROB HELLSTROM LAND SURVEYING, L.L.C., HEBRON, CT.

LAND OF  
**5 NORTHWOOD DRIVE, LLC**  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD  
BLOOMFIELD, CONNECTICUT

Disc:  
Added Trees Greater Than 12 Inches.  
Updated Per Town of Bloomfield.  
Revised Drainage in Rear Of Lot.  
Revised Per Town Comments, Drainage To South.

REVISIONS	
No.	Date
1.	1/14/2025
2.	5/13/2025
3.	5/21/2025
4.	6/27/2025

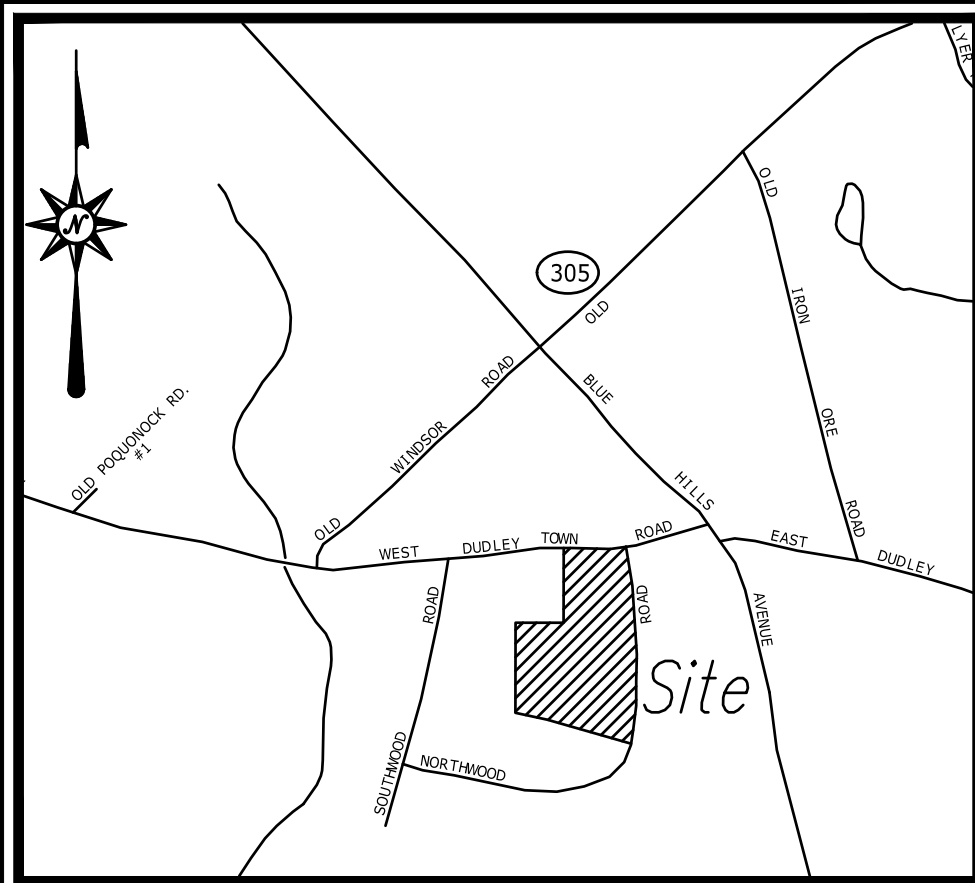
Surveyed	NS/DS
Drawn	JS.
Reviewed	DS
Scale	1"=30'
Project No.	2302699
Date	11/12/2024
Field Book	597
CAD File:	EX230269901

Title  
**EXISTING  
CONDITIONS  
MAP**

Sheet No. 2 Of 2

EX-1

Xref(s) : XY230269901



## LOCATION MAP

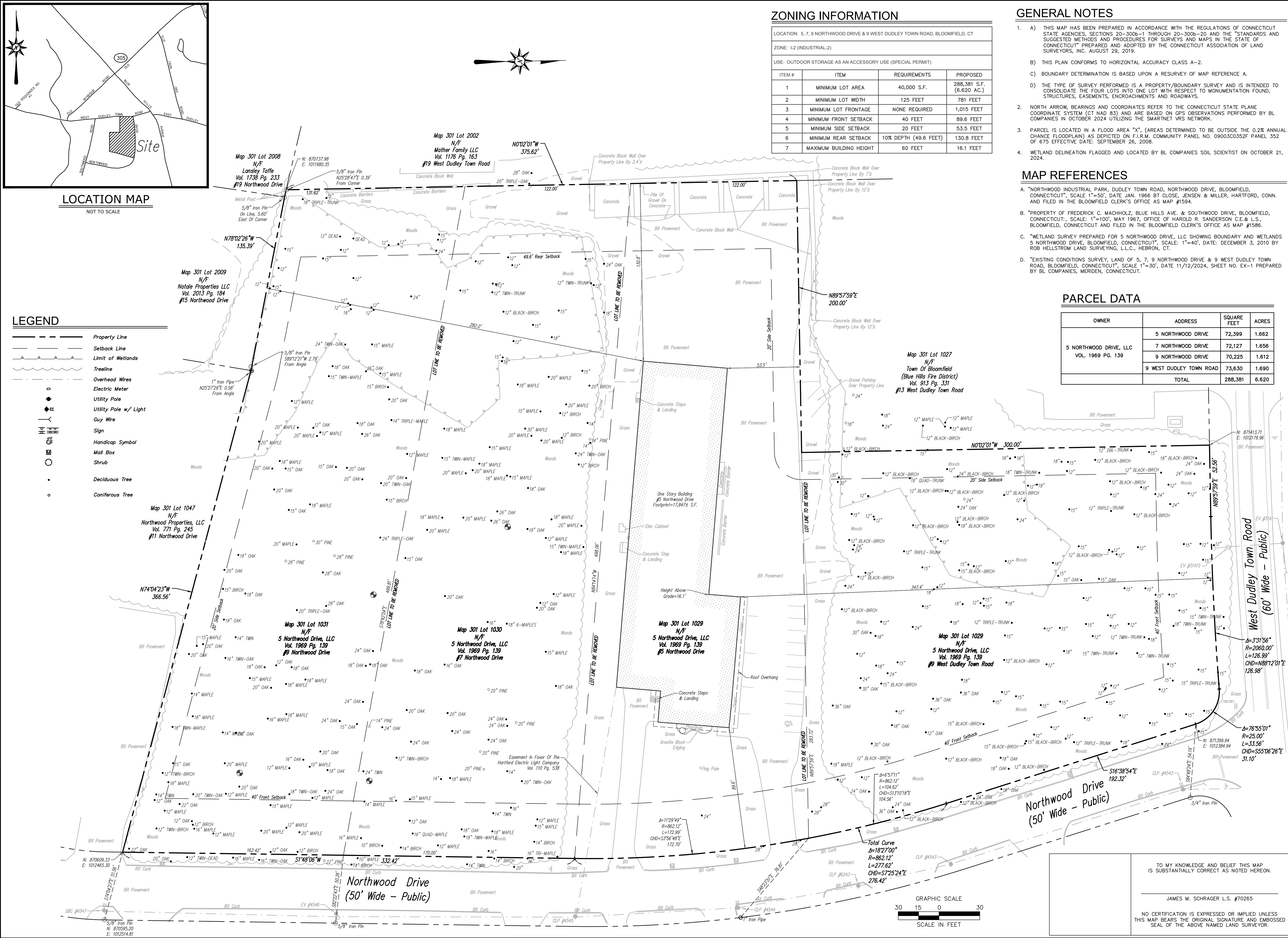
NOT TO SCALE

## LEGEND

- Property Line
- Setback Line
- Limit of Wetlands
- Treeline
- Overhead Wires
- Electric Meter
- Utility Pole
- Utility Pole w/ Light
- Guy Wire
- Sign
- Handicap Symbol
- Mail Box
- Shrub
- Deciduous Tree
- Coniferous Tree

JUL 03, 2025 3:33 pm blschrager.ctb  
C:\Users\blschrager\OneDrive\Documents\Bloomfield\5 Northwood Drive\5 Northwood Drive.dwg  
LAYOUT: BS-1 7/3/25 3:35 PM

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## ZONING INFORMATION

LOCATION: 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD, BLOOMFIELD, CT			
ZONE: I-2 (INDUSTRIAL-2)			
USE: OUTDOOR STORAGE AS AN ACCESSORY USE (SPECIAL PERMIT)			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	MINIMUM LOT AREA	40,000 S.F.	288,381 S.F. (6.620 AC.)
2	MINIMUM LOT WIDTH	125 FEET	781 FEET
3	MINIMUM LOT FRONTAGE	NONE REQUIRED	1,015 FEET
4	MINIMUM FRONT SETBACK	40 FEET	89.6 FEET
5	MINIMUM SIDE SETBACK	20 FEET	53.5 FEET
6	MINIMUM REAR SETBACK	10% DEPTH (49.6 FEET)	130.8 FEET
7	MAXIMUM BUILDING HEIGHT	60 FEET	16.1 FEET

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- "EXISTING CONDITIONS SURVEY, LAND OF 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD, BLOOMFIELD, CONNECTICUT", SCALE 1"=30', DATE 11/12/2024, SHEET NO. EX-1 PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.

## PARCEL DATA

OWNER	ADDRESS	SQUARE FEET	ACRES
5 NORTHWOOD DRIVE, LLC VOL. 1969 PG. 139	5 NORTHWOOD DRIVE	72,399	1.662
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LAND OF  
**5 NORTHWOOD DRIVE, LLC**  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD  
BLOOMFIELD, CONNECTICUT

REVISIONS  
No. 1.  
Date 10/20/25  
Disc. Added Trees Greater Than 12 Inches.

Drawn JS.  
Reviewed DS.  
Scale 1"=30'  
Project No. 2302499  
Date 11/26/2024  
CAD File: BS230269901

Title  
**LOT  
CONSOLIDATION  
PLAN**

Sheet No.

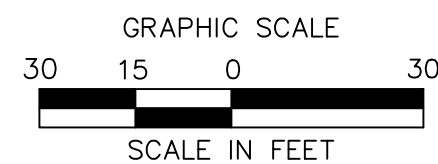
**BS-1**

Xref (e) : XY230269902

TO MY KNOWLEDGE AND BELIEF THIS MAP  
IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

JAMES M. SCHRAGER L.S. #70265

NO CERTIFICATION IS EXPRESSED OR IMPLIED UNLESS  
THIS MAP BEARS THE ORIGINAL SIGNATURE AND EMBOSSED  
SEAL OF THE ABOVE NAMED LAND SURVEYOR.



SITE WORK GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.

2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.

3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS. ANY CONTRACT REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.

4. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.

6. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.

7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.

8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.

9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CT CALL BEFORE YOU DIG (CBYD) 72 HOURS BEFORE COMMENCEMENT OF WORK AT CT (800) 922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.

10. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.

11. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.

12. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.

13. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.

14. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.

15. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.

16. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS AND TOWN RIGHT OF WAY PERMIT IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

17. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK EXCEPT CTDOT ENCROACHMENT PERMIT BOND.

18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.

19. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.

20. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, THE RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.

21. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.

22. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.

23. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.

24. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PULM WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.

25. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.

26. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.

27. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.

28. PAVEMENT MARKING KEY:  
4" SYDL 4" SOLID YELLOW DOUBLE LINE  
4" SYL 4" SOLID YELLOW LINE  
4" SWL 4" SOLID WHITE LINE  
12" SWSB 12" SOLID WHITE STOP BAR  
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE

29. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED BLUE AND WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.

30. ALL PAVEMENT MARKINGS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO THE STRIPING. PAVEMENT MARKINGS SHALL BE REFLECTIVE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.

31. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.

32. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.

33. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "EXISTING CONDITIONS MAP", SCALE 1"=30', DATED 1/24/2024, BY BL COMPANIES INC.

34. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.

35. CTDOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CTDOT ENCROACHMENT PERMIT BOND.

36. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.

37. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.

38. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.

39. THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY BL COMPANIES MAPPING BY SAGAN SINKO, CPSS.

40. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO DOT SPECIFICATIONS.

41. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.

42. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.

43. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.

44. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.

45. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

46. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.

47. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.

48. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR THE DEMOLITION AND DISPOSAL OF THE DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.

49. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.

50. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.

51. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.

52. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

53. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.

54. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.

55. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.

56. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAIN.

57. EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRUNK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.

58. DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.

59. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.

60. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF BLOOMFIELD BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.

61. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND CONTRACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT, COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.

62. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE STATE OF CONNECTICUT AND THE CITY OF BLOOMFIELD AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.

63. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECONFIGURED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.

64. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE CBYD MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.

65. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.

66. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.

67. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.

68. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.

69. ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE TOWN OF BLOOMFIELD AND HEALTH CODE REQUIREMENTS.

70. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.

71. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.

72. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST).

73. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.

74. VERTICAL DATUM IS NAVD 88.

75. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE.

76. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CT DEEP AND THE 2023 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.

77. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.

78. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.

79. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

80. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.

81. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.

82. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.

83. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.

84. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT, AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.

85. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.

86. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.

87. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.

88. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.

89. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.

90. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.

91. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.

92. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.

93. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.

94. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.

95. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.

96. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

97. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.

98. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.

99. ALL WATER LINES TO HAVE A MINIMUM COVER OF 4'-6", ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.

100. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR POTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.

101. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT
- BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.
102. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
103. PIPING SHALL BE LAID FROM DOWNGRADEMENT END OF PIPE RUN IN AN UPGRADEMENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
104. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
105. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252. WATERIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HOPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
106. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER GREATER THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 254. WATERIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HOPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
- DEFINITIONS
- MUNICIPALITY SHALL MEAN BLOOMFIELD
- COUNTY SHALL MEAN HARTFORD COUNTY
- STATE SHALL MEAN STATE OF CONNECTICUT
- WATER UTILITY PROVIDER SHALL MEAN METROPOLITAN DISTRICT COMMISSION
- SANITARY UTILITY PROVIDER SHALL MEAN METROPOLITAN DISTRICT COMMISSION
- GAS UTILITY PROVIDER SHALL MEAN CONNECTICUT NATURAL GAS
- TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN FRONTIER
- ELECTRIC UTILITY PROVIDER SHALL MEAN EVERSOURCE
- DOT SHALL MEAN THE CONNECTICUT DEPARTMENT OF TRANSPORTATION
- REQUIRED PERMITS:
- INLAND WETLANDS AND WATERCOURSES COMMISSION WETLANDS AGENT PERMIT
- TOWN PLAN AND ZONING COMMISSION SPECIAL PERMIT
- TOWN OF BLOOMFIELD BUILDING PERMIT
- TOWN OF BLOOMFIELD RIGHT OF WAY PERMIT
- 
- 100 Constitution Plaza  
10th Floor  
Hartford, CT 06103  
(860) 249-2200
- 
- PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002
- Desc.  
RESPONSE TO TOWN COMMENTS
- REVISIONS  
No. 1
- Date  
7/2/2025
- Designed  
K.R.
- Drawn  
K.R.
- Reviewed  
R.M.R.
- Scale  
N.T.S.
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- Date  
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TOWN OF BLOOMFIELD INLAND WETLANDS STANDARD NOTES

1. ALL SOIL STABILIZATION AND SOIL EROSION AND SEDIMENT CONTROL MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CT 2024 EROSION CONTROL GUIDELINES. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

2. THE PERMITTEE, DEVELOPER AND ALL CONTRACTORS SHALL FOLLOW THE CONSTRUCTION SEQUENCE, PHASING AND SOIL EROSION AND SEDIMENT CONTROL MEASURE SCHEDULES SHOWN ON THESE PLANS. CHANGES TO THE SEQUENCE, PHASING OR EROSION CONTROL MEASURES CANNOT BE MADE WITHOUT THE APPROVAL OF THE WETLANDS COMMISSION OR AGENT.

3. ALL WORK WITHIN WETLANDS, WATERCOURSES OR UPLAND REVIEW AREAS SHALL BE DONE DURING PERIODS OF LOW RAINFALL, AND ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN THIRTY (30) DAYS.

4. ANY ADDITIONAL SOIL EROSION OR SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE WETLANDS COMMISSION OR AGENT. ANY FAILURES OR SHORTCOMINGS OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED BY THE WETLANDS COMMISSION OR AGENT DURING ANY CONSTRUCTION PROCESS, SHALL BE PROMPTLY REPAIRED AND CORRECTIVE MEASURES SHALL BE PROMPTLY IMPLEMENTED BY THE PERMITTEE, DEVELOPER AND/OR CONTRACTOR.

5. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, REPLACED, AND/OR MAINTAINED FOR THE DURATION OF THE PROJECT BY THE DEVELOPER/CONTRACTOR UNTIL ALL DISTURBED AREAS ARE STABILIZED.

6. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.

7. THE PERMITTEE SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE WETLANDS AGENT, DEVELOPER, GENERAL CONTRACTOR AND SITE WORK CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION, TREE CLEARING OR GROUND DISTURBANCE.

8. CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THE PERMITTEE/DEVELOPER SHALL NOTIFY THE WETLANDS AGENT PRIOR TO CLEARING OF ANY EXISTING VEGETATION TO SCHEDULE AN INSPECTION OF THE LIMITS OF CLEARING AND TO IDENTIFY ANY TREES TO BE SAVED AND PROTECTED.

9. A GENERAL CLEARING LIMIT LINE, AND ALL SPECIMEN TREES LOCATED IN OR ADJACENT TO THE PROPOSED DEVELOPMENT, SHALL BE FLAGGED. TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE DUE TO CONSTRUCTION EQUIPMENT. TREE PROTECTION MEASURES ARE REQUIRED TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.

10. ALL TOPSOIL, WETLAND SOILS AND/OR ORGANIC MATERIAL SHALL REMAIN ON THE SITE, IN THE DESIGNATE AREAS AND PROTECTED FROM EROSION WITH TEMPORARY SEEDING AND RINGED WITH SILT FENCE OR HAY BALES, UNLESS SPECIFICALLY APPROVED TO BE REMOVED BY THE INLAND WETLANDS AND WATERCOURSES COMMISSION OR ITS AGENT. THIS MATERIAL MAY BE USED FOR FINAL RESTORATION OF DISTURBED AREAS.

11. THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SURPLUS MATERIAL, WITHIN OR IMMEDIATELY ADJACENT TO THE WETLANDS OR WATERCOURSES OR THE UPLAND REVIEW AREAS, TEMPORARILY OR PERMANENTLY, EXCEPT AS SHOWN ON THE APPROVED PLANS. ANY EXCESS MATERIAL FROM THE DEVELOPMENT SHALL BE DEPOSITED IN A NON-REGULATED AREA. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEPOSITION OF THIS MATERIAL.

12. ALL STORMWATER QUALITY MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CT 2004 STORMWATER QUALITY MANUAL.

13. STORMWATER MANAGEMENT IMPROVEMENTS, CHANNEL WORK, AND ASSOCIATED STABILIZATION SHALL BE COMPLETED AND FULLY STABILIZED PRIOR TO THE START OF ANY BUILDING OR ROAD CONSTRUCTION SERVED BY THEM.

14. THE PERMITTEE SHALL NOTIFY THE WETLANDS AGENT AT LEAST 48 HOURS IN ADVANCE OF THE START AND COMPLETION OF ALL MAJOR PHASES OF THE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, TREE CUTTING, EROSION CONTROLS, ROUGH GRADING, FINAL GRADING, STABILIZATION, REMOVAL OF EROSION CONTROLS, ETC.

15. THE PERMITTEE SHALL SUBMIT A COPY OF ANY DEEP, ARMY CORPS OF ENGINEERS, OR OTHER LOCAL, STATE OR FEDERAL AGENCY PERMITS, REGISTRATIONS, REPORTS OR CORRESPONDENCE REQUIRED FOR THE PROJECT. WORK CANNOT COMMENCE ON THE PROJECT UNTIL SUCH PERMITS OR REGISTRATIONS ARE OBTAINED AND SUBMITTED FOR THE RECORD.

16. THE PERMITTEE SHALL SUBMIT REPORTS TO THE WETLANDS AGENT ON THE CONSTRUCTION PROGRESS AND STATUS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT OF 0.5" OR MORE WITHIN A 24-HOUR PERIOD. THESE INSPECTIONS AND REPORTS SHALL BE DONE BY A THIRD PARTY PROFESSIONAL PERSON OR COMPANY APPROVED BY THE WETLANDS AGENT.

17. WETLAND MITIGATION AREAS SHALL BE CONSTRUCTED WITHIN THE FIRST CONSTRUCTION SEASON UNDER THE SUPERVISION OF A WETLAND SCIENTIST AND MONITORED FOR A MINIMUM OF THREE (3) YEARS AFTER INITIAL STABILIZATION. ANNUAL REPORTS ON THE STATUS OF THE MITIGATION AREAS SHALL BE PREPARED AND SUBMITTED TO THE WETLANDS AGENT UNTIL SUCH TIME AS ALL MITIGATION AREAS ARE FUNCTIONING AS DESIGNED.

18. THE PERMITTEE SHALL SUBMIT A COPY OF ANY CONSTRUCTION DOCUMENTS, BID PLANS OR SPECIFICATIONS, OR OTHER INFORMATION PROVIDED TO THE CONTRACTOR FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT. ALL SUCH INFORMATION SHALL NOT CONFLICT WITH THE REQUIREMENTS OF THE APPROVED PERMIT PLANS.

19. ANY MODIFICATIONS TO THE REGULATED ACTIVITIES DUE TO THE APPROVAL OR REVIEW OF THE PROJECT BY THE TOWN PLAN AND ZONING COMMISSION, THE HEALTH DISTRICT, THE DEEP OR OTHER STATE AGENCY, THE AGCE OR OTHER FEDERAL AGENCY SHALL, SUBMITTED TO THE WETLANDS COMMISSION FOR REVIEW. CHANGES TO THE PLANS APPROVED BY THE WETLANDS COMMISSION CANNOT BE MADE WITHOUT PRIOR APPROVAL OF THE COMMISSION.

20. IN ACCORDANCE WITH REGULATIONS SECTIONS 11.6 AND 11.8 E. NO PERMITS SHALL BE ASSIGNED OR TRANSFERRED WITHOUT THE WRITTEN PERMISSION OF THE COMMISSION OR ITS AGENT. THE ASSIGNEE, TRANSFEREE OR OTHER RECIPIENT OF A TRANSFERRED PERMIT SHALL BE BOUND BY ALL REPRESENTATIONS MADE BY THE APPLICANT IN OBTAINING THE PERMIT AND BY ALL THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED IN THE PERMIT AND SUCH PERSON SHALL HAVE ALL THE RIGHTS, DUTIES AND OBLIGATIONS OF THE ORIGINAL PERMITTEE WHO WAS GRANTED THE PERMIT. REQUESTS FOR PERMIT TRANSFERS SHALL BE MADE IN WRITING TO THE COMMISSION.

21. ALL PLANS SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF BLOOMFIELD'S 2017 STORMWATER MANAGEMENT PLAN WITH REGARDS TO PRE- AND POST-CONSTRUCTION EROSION AND SEDIMENTATION CONTROL MEASURES.

22. AT LEAST TWO WEEKS BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY OR COMPLETION THE PERMITTEE SHALL SCHEDULE AN INSPECTION WITH THE WETLANDS AGENT TO ENSURE THAT ALL SITE WORK COVERED BY THE WETLANDS PERMIT IS SUBSTANTIALLY COMPLETE.

23. ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT STABILIZATION OF ALL DISTURBED AREAS HAS BEEN ACHIEVED.

24. THE AMOUNT OF OPEN GROUND IS TO BE KEPT TO A MINIMUM TO REDUCE THE POTENTIAL FOR SOIL EROSION AND SEDIMENTATION PROBLEMS. OPEN GROUND IS TO BE PROTECTED FROM EROSION WITH TEMPORARY SEEDING AND/OR MULCH EVERY THIRTY (30) DAYS.

25. THE PERMITTEE SHALL PROVIDE AN EMERGENCY STOCKPILE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING HAY BALES, STAKES, CRUSHED STONE AND EQUIPMENT TO PLACE OR INSTALL THESE MEASURES, FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.

26. NO DISTURBED SOILS SHALL REMAIN UN-STABILIZED FOR MORE THAN 30 DAYS. STABILIZATION IS THE ESTABLISHMENT OF GROUND COVER WITH TEMPORARY OR PERMANENT SEEDING, WITHIN NORMAL SEEDING DATES, OR MULCH OUTSIDE OF THE NORMAL SEEDING DATES. ALL DISTURBED AREAS SHALL BE STABILIZED IN THE SPRING NO LATER THAN JUNE 1 AND IN THE FALL NO LATER THAN OCTOBER 1.

27. CONSERVATION EASEMENT CORNERS SHALL BE PINNED BY A LAND SURVEYOR AND NOTICE SIGNS ERECTED EVERY 150-200 FEET ALONG THE LINE, FACING AWAY FROM THE CONSERVATION AREA.

28. ALL TRASH AND DEBRIS IS TO BE REMOVED FROM THE WETLANDS OR WATERCOURSES BEFORE ANY CONSTRUCTION ACTIVITIES ARE COMMENCED. THE EXTENT OF THE REMOVAL SHALL BE DETERMINED IN THE FIELD BY THE WETLANDS AGENT.

29. ONLY NATIVE PLANTS, SUITED TO THE SPECIFIC HABITAT, SHALL TO BE PLANTED IN DISTURBED AREAS. THE PLANT SPECIES, NUMBER AND SPACING SHALL BE SUBJECT TO THE APPROVAL OF THE WETLANDS AGENT AND/OR TOWN PLANNER.

30. NO EQUIPMENT, MATERIALS OR MACHINERY TO BE STORED, CLEANED, REPAIRED OR REFUELED WITHIN 75 FEET OF THE WETLANDS OR WATERCOURSE.

31. ANY FUELS STORED ON THE SITE DURING CONSTRUCTION SHALL BE IN DOUBLE-WALLED TANKS WITH CONTAINMENT FOR ACCIDENTAL SPILLS AND SHALL NOT BE LESS THAN 75 FEET FROM THE WETLAND OR WATERCOURSE.

32. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN DUMPSTERS AND REMOVED FROM THE SITE. ANY CONSTRUCTION MATERIALS OR DEBRIS DUMPED OR BLOWN INTO THE WETLANDS OR WATERCOURSE IS TO BE REMOVED AT ONCE.

33. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND DOCUMENTED IN A LOG MAINTAINED ON THE SITE AND AVAILABLE FOR INSPECTION BY THE WETLANDS AGENT.

34. SUBDIVISION PLANS SHALL INCLUDE A NOTE ON EACH LOT THAT CONTAINS WETLANDS OR WATERCOURSES, OR LIES WITHIN THE UPLAND REVIEW AREAS 100 FEET FROM A WETLAND AND 200 FEET FROM A WATERCOURSE, STATING THAT "A PERMIT IS REQUIRED FROM THE WETLANDS COMMISSION PRIOR TO ANY EXCAVATION, FILLING, GRADING, CONSTRUCTION OR TREE CLEARING WITHIN THE WETLANDS, WATERCOURSES, OR UPLAND REVIEW AREAS ON THIS LOT."

35. PLOT PLANS FOR THE DEVELOPMENT OF THE INDIVIDUAL HOUSE LOTS SHALL COMPLY WITH THE INTENT OF THE PLANS APPROVED BY THE WETLANDS COMMISSION. PLOT PLANS THAT DO NOT COMPLY SHALL BE SUBMITTED WITH AN APPLICATION FOR A REVISED WETLANDS PERMIT.

36. ALL PROJECTS INVOLVING A TOTAL, CUMULATIVE DISTURBANCE OF LAND AREA ASSOCIATED WITH CONSTRUCTION ACTIVITIES, THAT IS GREATER THAN OR EQUAL TO FIVE ACRES SHALL BE REGISTERED WITH THE CT DEEP IN ACCORDANCE WITH THE GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DE-WATERING WASTEWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PHASE 1). MUNICIPAL BUILDING, ZONING OR WETLANDS COMPLIANCE PERMITS WILL NOT BE ISSUED FOR THE INITIATION OF WORK IN THE TOWN OF BLOOMFIELD WITHOUT VERIFICATION OF THIS REGISTRATION PRESENTED TO THE PERMITTING AGENCY.

37. AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED, CATCH BASIN SLOPS AND ALL OTHER STORM DRAINAGE SYSTEMS INCLUDING WATER QUALITY MEASURES, SHALL HAVE ACCUMULATED SEDIMENTS REMOVED, AND ANY RESTORATION DONE BEFORE A CERTIFICATE OF OCCUPANCY IS REQUESTED.

38. PROVISIONS FOR DUST CONTROL SHALL BE IMPLEMENTED ON ALL CONSTRUCTION PROJECTS, INCLUDING BUT NOT LIMITED TO WATERING OF EXPOSED GROUND AND STABILIZATION OF SOIL STOCKPILES TO PREVENT WIND EROSION.

39. ANY INTEGRATED TURF/LANDSCAPING/PEST MANAGEMENT PROGRAM APPROVED FOR THE SITE SHALL BE IMPLEMENTED BY THE PERMITTEE, DEVELOPER AND CONTRACTORS DURING CONSTRUCTION AND BY THE PROPERTY OWNER(S), NEIGHBORHOOD ASSOCIATION OR CONDOMINIUM ASSOCIATION AFTER THE CONSTRUCTION PHASE HAS BEEN COMPLETED OR WHEN THE MANAGEMENT OF THE SITE IS TRANSFERRED.

40. IN ACCORDANCE WITH THE REGULATIONS SECTION 6.3, WETLAND AND WATERCOURSE VEGETATED BUFFERS SHALL BE RETAINED WHERE EVER POSSIBLE AND WHERE NO WOODED VEGETATION EXISTS THE BUFFERS SHALL BE PLANTED TO THEIR RECOMMENDED WIDTHS. THE LIMIT OF CLEARING IS ALSO TO BE PLANTED IN A TEN-FOOT STRIP AS A TRANSITION TO UNDISTURBED WOODS. PLANTED BUFFERS SHALL INCLUDE NATIVE CANOPY OR SHADE TREES, SHRUBS AND HERBACEOUS SPECIES SUITED TO THE LOCAL HABITAT AND HAVING VALUES FOR FOOD, SHELTER, NESTING, ETC. EXISTING VEGETATED BUFFERS SHALL BE RETAINED WHERE EVER POSSIBLE.

41. ANY STORMWATER POLLUTION PREVENTION PLAN (SPPP) APPROVED FOR THE SITE SHALL BE IMPLEMENTED BY THE DEVELOPER AND SITE CONTRACTOR. NO DEVIATIONS FROM THE SPPP ARE PERMITTED WITHOUT THE APPROVAL OF THE INLAND WETLANDS & WATERCOURSES COMMISSION AND MAY REQUIRE A REVISED PERMIT.

42. COMPOSITE DECKING MATERIALS SHALL BE USED AS MUCH AS POSSIBLE IN PLACE OF PRESSURE TREATED LUMBER TO REDUCE THE LEACHING OF COPPER AND CHROMIUM.

43. NO CONSTRUCTION EQUIPMENT OR ACTIVITIES SHALL OCCUR WITHIN A WETLANDS OR WATERCOURSE MORE THAN FIVE DAYS CONSECUTIVELY AND NOT WITHIN THREE DAYS OF A RAIN OR SNOW EVENT OF 1"OR GREATER.

44. IN ACCORDANCE WITH THE BLOOMFIELD TOWN PLAN AND ZONING REGULATIONS A FLOODPLAIN PERMIT IS REQUIRED FOR ANY GRADING, BUILDING OR OTHER DISTURBANCES WITHIN THE FLOODPLAIN OR FLOOD HAZARD ZONES. FOUNDATIONS, STRUCTURES, SWALES OR DRAINAGE CHANNELS SHALL NOT BE CONSTRUCTED WITHIN 50 FEET OF A WATERCOURSE UNLESS SPECIFICALLY APPROVED BY THE WETLANDS AND PLAN AND ZONING COMMISSIONS.

45. EVERY TWELVE MONTHS AFTER THE END OF CONSTRUCTION CLEANING OF STORM DRAINAGE SYSTEMS, AN INSPECTION SHALL BE MADE TO DETERMINE THE NECESSITY OF MAINTENANCE. AT A MINIMUM ALL CATCH BASINS AND OTHER STORM DRAINAGE FACILITIES SHALL BE INSPECTED ANNUALLY AND CLEANED IF NECESSARY. ALL PAVED AREAS SHALL BE SWEEP TWICE PER YEAR, ONCE IN THE EARLY SPRING TO REMOVE WINTER SAND, AND AGAIN IN THE FALL TO REMOVE ANY LEAVES OR OTHER DEBRIS. STORM DRAINAGE SYSTEM INSPECTION AND CLEANING REPORTS SHALL BE SUBMITTED TO THE WETLANDS AGENT ON AN ANNUAL BASIS.

46. ALL CONSTRUCTION ACCESS POINTS INTO THE SITE FROM PAVED ROADS OR PARKING AREAS SHALL HAVE A CONSTRUCTION ENTRANCE/ ANTI-TRACKING PAD INSTALLED, AT LEAST 50 FEET IN LENGTH AND WIDE ENOUGH FOR TWO-WAY EQUIPMENT TRAFFIC. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE PROJECT. THE ENTRANCE MAY NEED TO BE EXTENDED OR A WASH-OFF AREA PROVIDE TO ENSURE THAT SOILS FROM THE SITE ARE NOT TRACKED OUT ONTO THE PAVEMENT.

47. A TOWN OF BLOOMFIELD R.O.W. PERMIT IS REQUIRED FOR ANY WORK WITHIN THE TOWN RIGHTS-OF-WAYS, EASEMENTS OR PROPERTY. A STATE OF CONNECTICUT D.O.T. PERMIT IS REQUIRED FOR DRIVEWAY CURB CUTS AND OTHER WORK IN THE STATE HIGHWAY RIGHTS-OF-WAYS.

48. ALL CONSTRUCTION PHASE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EARTHWORK INCLUDING TREE STUMP REMOVAL OR TOPSOIL STRIPPING, AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION ACTIVITIES ON THE PROJECT.

49. POST CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL AND STORMWATER QUALITY MEASURES SHALL BE INSTALLED AND MAINTAINED IN WORKING CONDITION FOLLOWING THE CONSTRUCTION PHASE AND STABILIZATION OF ALL DISTURBED AREAS.

50. REMOVAL OF THE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES IS NOT PERMITTED UNTIL ALL SITE WORK IS COMPLETE AND EXPOSED SOILS PERMANENTLY STABILIZED TO THE SATISFACTION OF THE WETLANDS AGENT. THE PERMITTEE SHALL REQUEST AN INSPECTION BY THE WETLANDS AGENT OF THE COMPLETED PROJECT AT LEAST TWO WEEKS BEFORE REQUESTING THE CERTIFICATE OF OCCUPANCY INSPECTION BY THE BUILDING DEPARTMENT.

51. VEGETATED CUT OR FILL SLOPES, 3:1 AND STEEPER, AND GRASS LINED SWALES ARE LIKELY TO BE SUBJECT TO SOIL EROSION AND SEDIMENTATION. UPON COMPLETION OF THE GRADING THESE AREAS SHALL BE PROTECTED FROM CONCENTRATED RUNOFF AND IMMEDIATELY STABILIZED WITH PERMANENT SEEDING AND EROSION CONTROL BLANKET OR TURF REINFORCING MAT.

52. ALL CONSTRUCTION STAGING AREAS SHALL INCLUDE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES APPROPRIATE FOR THE PROJECT.

53. A STOCKPILE OF TOPSOIL EQUAL TO 800 CUBIC YARDS PER ACRE OF DISTURBED UNPAVED AREA, SUFFICIENT FOR A 6"DEEP LAYER, IS TO REMAIN ON THE SITE AT ALL TIMES DURING CONSTRUCTION. THIS TOPSOIL IS TO BE USED FOR FINAL STABILIZATION OF DISTURBED AREAS.

54. NO TOPSOIL IS TO BE REMOVED FROM THE PROPERTY UNTIL ALL DISTURBED AREAS HAVE BEEN FULLY STABILIZED TO THE SATISFACTION OF THE WETLANDS AGENT. EXCESS TOPSOIL MAY BE REMOVED FROM THE PROJECT ONLY AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED AND A WRITTEN REQUEST TO REMOVE THE TOPSOIL IS APPROVED BY THE TOWN PLANNER OR WETLANDS AGENT.

55. LOW IMPACT DEVELOPMENT (LID) METHODS ARE ENCOURAGED AND SHALL BE IMPLEMENTED WHERE EVER POSSIBLE.

56. REGULATED ACTIVITIES SHALL BE COMPLETED IN ONE PHASE BEFORE STARTING IN THE NEXT PHASE.

57. ALL CONSTRUCTION ACTIVITIES SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) TO LIMIT DISTURBED AREAS, TO RESTRICT CONSTRUCTION DURING RAIN OR SNOW EVENTS, TO PREVENT SOIL EROSION AND SEDIMENTATION, AND TO ENSURE PROMPT STABILIZATION OF DISTURBED AREAS AND PROTECTION OF VEGETATION AND TREES.


58. ALL ASPECTS OF THE APPROVED PLANS SHALL BE BINDING UPON THE PERMITTEE, AND ON THE DEVELOPER AND CONTRACTORS EMPLOYED TO IMPLEMENT THE PROJECT. MODIFICATIONS TO ANY ASPECT OF THE PROJECT OR THE PLANS MAY REQUIRE A REVISED WETLANDS PERMIT.

59. ALL LOT CORNERS SHALL BE PINNED OR STAKED AT TIME OF SUBMITTAL OF A REQUEST FOR A BUILDING PERMIT. PROPERTY LINES SHALL BE FLAGGED AT THE REQUEST OF TOWN STAFF. WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED ALL LOT, AND EASEMENT, CORNERS MUST BE PINNED AND FLAGGED FOR IDENTIFICATION. R.O.W MONUMENTS MISSING OR DAMAGED SHALL BE REPLACED.


60. ANY TREES WITHIN THE TOWN RIGHTS-OF-WAY, OR ON TOWN PROPERTY, PROPOSED TO BE REMOVED MUST BE APPROVED AND POSTED BY THE TREE WARDEN FOR THE PROSCRIBED PERIOD OF TIME BEFORE THEY ARE CUT DOWN. THE PERMITTEE TO COORDINATE THE POSTING OF THE TREES WITH THE TREE WARDEN.

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Architecture  
Engineering  
Environmental  
Land Surveying



100 Constitution Plaza  
10th Floor  
Hartford, CT 06103  
(860) 249-2200



*Timothy A. Hale*

PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002

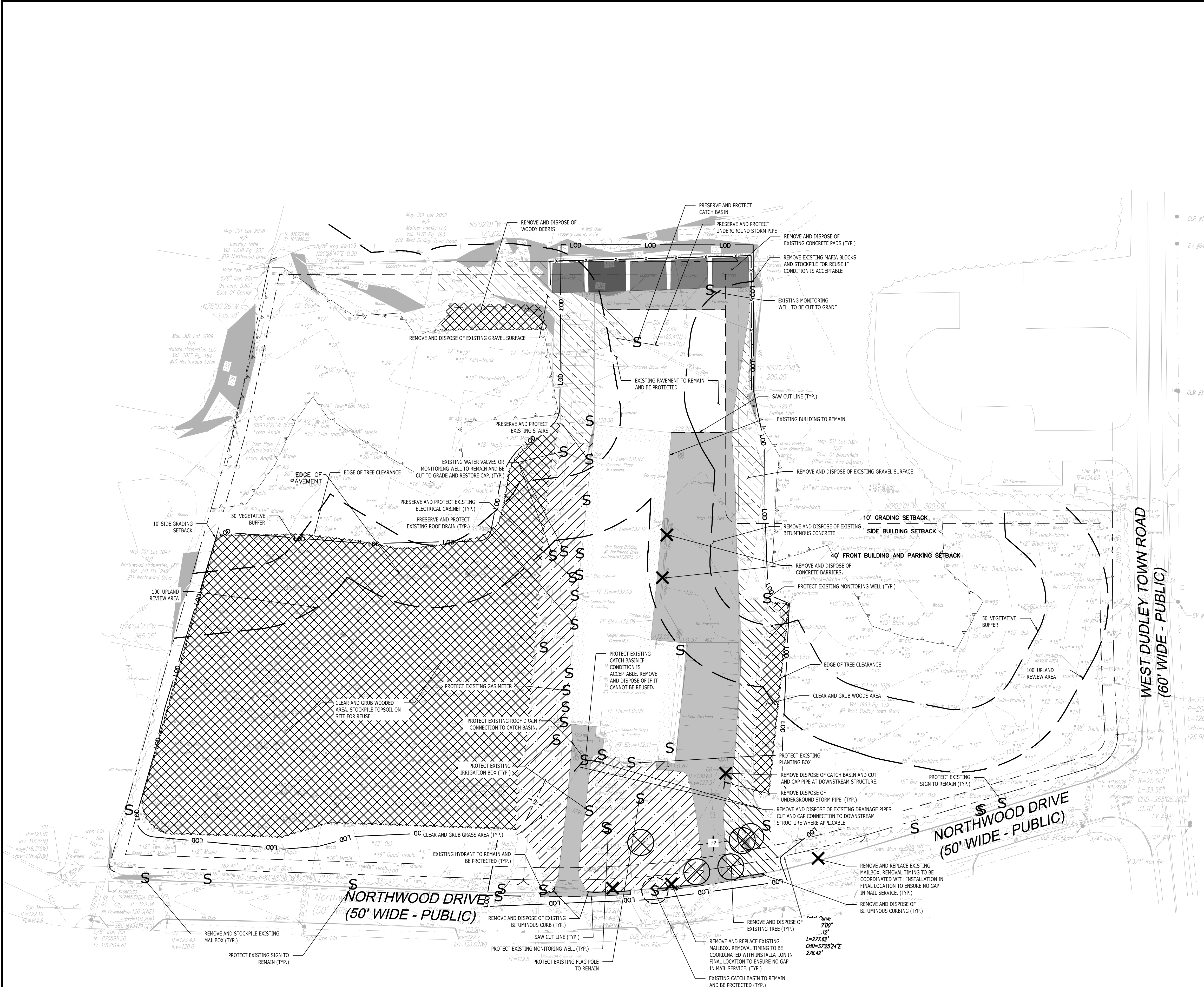
REVISIONS		Desc.	RESPONSE TO TOWN COMMENTS	
No.	Date			
1	7/2/2025			
Designed	J.N.B.			
Drawn	J.N.B.			
Reviewed	R.M.R.			
Scale	1"=40'			
Project No.	2302699			
Date	2/10/2025			
CAD File:	G2302699-01			
Title				
INLAND WETLANDS STANDARD NOTES				
Sheet No.				

Ref: 01 - 2302699-00

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DEMOLITION LEGEND

- PROPERTY LINE
- L.O.D. LIMIT OF DISTURBANCE AND WORK CONTRACT LIMIT LINE
- WETLAND BOUNDARY
- SAWCUT LINE
- REMOVE AND DISPOSE OF CURB, WALL, UTILITY, FENCE, GUIDERAIL OR OTHER ENTITY
- PROTECT EXISTING UTILITY LINE
- LIMIT OF TREE AND VEGETATION CLEARING
- CLEARING AND GRUBBING, REMOVE AND DISPOSE OF EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS
- CLEAR WOODED AREA, REMOVE AND DISPOSE OF EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS
- REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT STRUCTURE
- REMOVE AND DISPOSE OF EXISTING GRAVEL
- EXISTING TREE/SHRUB TO REMAIN AND BE PROTECTED
- EXISTING STRUCTURE TO REMAIN AND BE PROTECTED
- REMOVE AND DISPOSE OF EXISTING TREE AND/OR TREE STUMP
- REMOVE AND DISPOSE OF LIGHT POLE, SIGN, PIPING, UTILITY STRUCTURE, APPURTENANCE, FIXTURE, ETC.

NOTES

SEE C5.00 LANDSCAPING PLAN FOR MORE DETAILED TREE REMOVAL PLANS

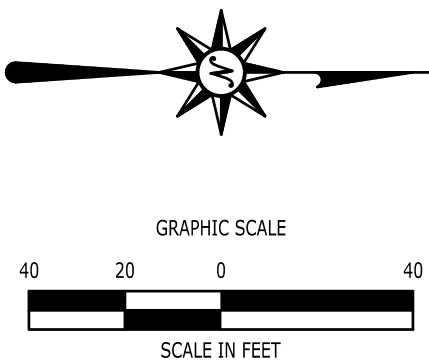
MONITORING WELL PROCEDURE

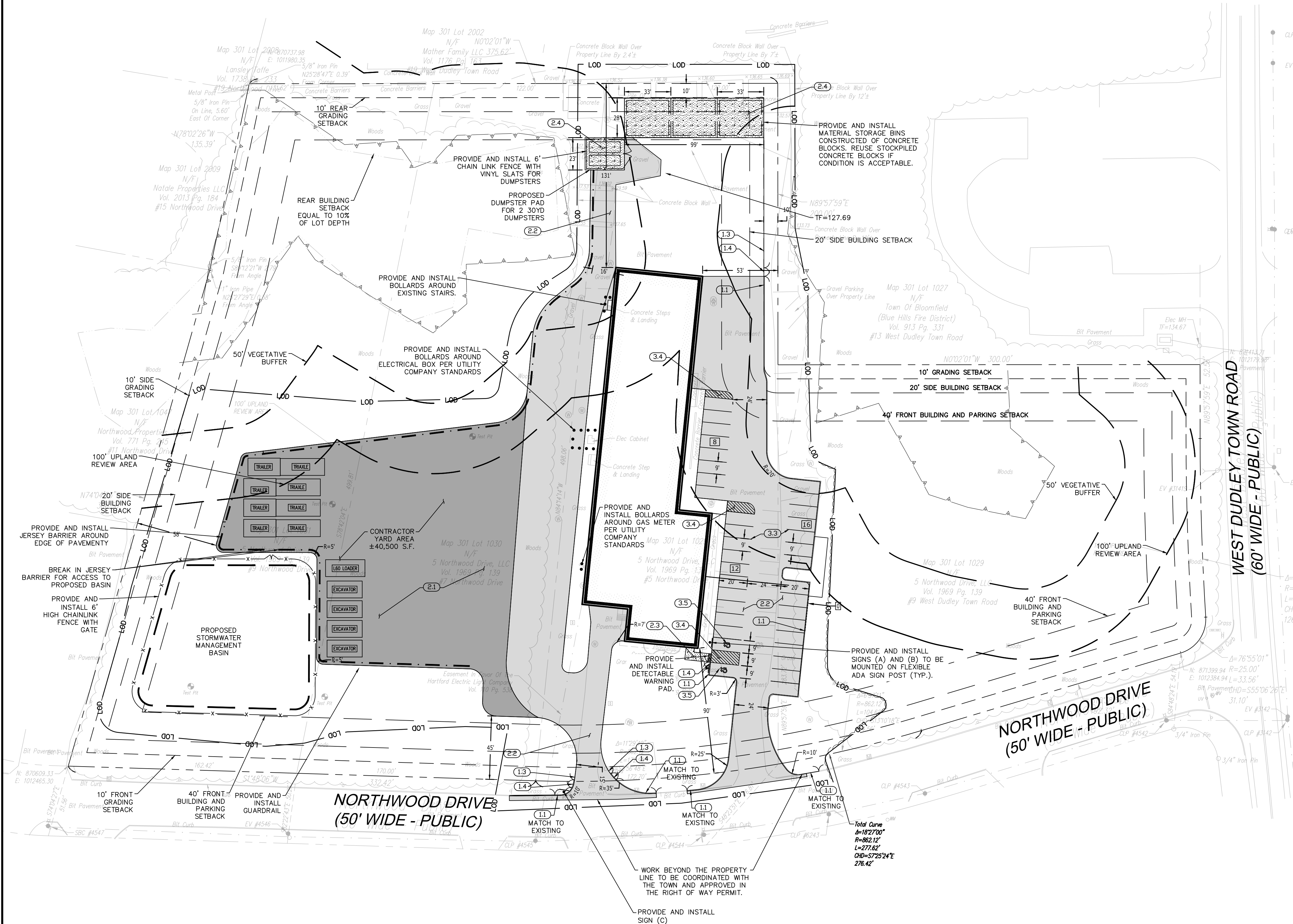
MONITORING WELL CUTTING OR REPLACEMENT SHOULD BE COORDINATED WITH THE SITE LEP.

IF THE LEP DETERMINES THAT THE WELL MUST REMAIN ACTIVE, THE WELL SHALL BE MADE FLUSH WITH THE PROPOSED GRADING. THE PVC WELL SHALL BE CUT A FEW INCHES BELOW GRADE. A STAINLESS STEEL COLLAR SHALL BE PLACED AROUND THE PVC AND A CONCRETE PAD SHALL BE PLACED AROUND THE COLLAR. SPECIFIC DETAILS OF THIS CUTTING SHALL BE COORDINATED AND APPROVED BY THE SITE LEP.

IF THE LEP DETERMINES THAT THE WELL MAY BE ABANDONED, ABANDONMENT SHOULD FOLLOW CT DPH ABANDONMENT PROCEDURE, LATEST EDITION.

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VEHICLE INFORMATION

ITEM	DIMENSIONS	PARKING SPACE DIMENSIONS	HEIGHT
TRIAKLE DUMP TRUCK	27.5' X 8'	31.5' X 12'	10'
20 TON EAGER BEAVER TRAILER	19' X 8.5'	23' X 12.5'	2.83'
VOLVO 88 SIZED EXCAVATOR	21' X 8'	25' X 12'	9'
VOLVO L60 LOADER	24' X 8'	28' X 12'	10'

SITE PLAN LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
	SAWCUT LINE
	EASEMENT LINE
	BUILDING SETBACK
	PARKING SETBACK
	WETLAND BOUNDARY
	PROVIDE AND INSTALL CURB
	PROVIDE AND INSTALL 6' HIGH CHAIN LINK FENCE
	VEGETATIVE BUFFER
	100' UPLAND REVIEW AREA
	GRADING SETBACK
	CLEARING LIMIT
	PROVIDE AND INSTALL CONCRETE PAVEMENT STRUCTURE OR REINFORCED CONCRETE SIDEWALK
	PROVIDE AND INSTALL BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	PROVIDE AND INSTALL ASPHALT MILLINGS PAVEMENT STRUCTURE
	PROVIDE AND INSTALL TRAFFIC SIGN

ZONING INFORMATION

LOCATION: BLOOMFIELD, CT			
ZONE: I-2 (INDUSTRIAL-2)			
USE: OUTDOOR STORAGE AS AN ACCESSORY USE (SPECIAL PERMIT)			
ITEM	REQUIREMENTS	PROPOSED	VARIANCE
MINIMUM LOT AREA	40,000 S.F.	288,365 S.F. (6.62 AC.)	NO
MINIMUM LOT WIDTH	125 FEET	375 FEET	NO
MINIMUM LOT FRONTAGE	NONE REQUIRED	835 FEET	NO
MINIMUM FRONT SETBACK	40 FEET	90 FEET	NO
MINIMUM SIDE SETBACK	20 FEET	53 FEET	NO
MINIMUM REAR SETBACK	10% DEPTH (49.6 FEET)	131 FEET	NO
MAXIMUM BUILDING HEIGHT	60 FEET	<60 FEET	NO
MAXIMUM BUILDING COVERAGE	50 PERCENT	34 PERCENT	NO

PARKING INFORMATION

ITEM	REQUIREMENTS	PROPOSED	VARIANCE
BUILDING SIZE	NONE REQUIRED	EXISTING BUILDING TO REMAIN 17,845 S.F.	NO
PARKING REQUIRED	INDUSTRIAL AND ALL OTHER COMMERCIAL USES 1 SPACE FOR EVERY 2 EMPLOYEES ON ANY 1 SHIFT AND IN NO CASE LESS THAN 1 SPACES PER EVERY 500 S.F. OF BUILDING AREA REQUIRED - 36 REQUIRED (BY AREA)	36 SPACES	NO
MINIMUM ADA PARKING SPACES REQUIRED	2 SPACES	2 SPACES	NO
MINIMUM PARKING DIMENSIONS	9 FEET X 20 FEET	9 FEET X 20 FEET	NO
MINIMUM AISLE WIDTH	24 FEET - 2-WAY	24 FEET - 2-WAY	NO
MINIMUM FRONT SETBACK	40 FEET	45 FEET	NO
MINIMUM SIDE SETBACK	10 OR 20 FEET*	48 FEET	NO
MINIMUM REAR SETBACK	10 OR 49.6 FEET*	10 FEET	NO
MINIMUM INTERIOR LANDSCAPING	ONE ISLAND PER 15 SPACES	ONE ISLAND PER 15 SPACES	NO

\*COMMISSION MAY REQUIRE NO PARKING IN SIDE OR REAR YARDS. IN LIEU OF COMMISSION REQUIREMENT, GRADING SETBACK SHALL SERVE AS PARKING SETBACK.

CURB TYPE LEGEND

KEY	NAME
1.1	6" BITUMINOUS CURB
1.2	MONOLITHIC CONCRETE CURB (NOT USED)
1.3	FLUSH CURB
1.4	TRANSITION CURB
1.5	GAPE C&D BERM (NOT USED)
	CHANGE IN CURB TYPE

PAVEMENT TYPE LEGEND

KEY	NAME
2.1	ASPHALT MILLINGS PAVEMENT
2.2	BITUMINOUS CONCRETE PAVEMENT STRUCTURE
2.3	CONCRETE SIDEWALK OR APRON
2.4	CONCRETE DUMPSTER PAD

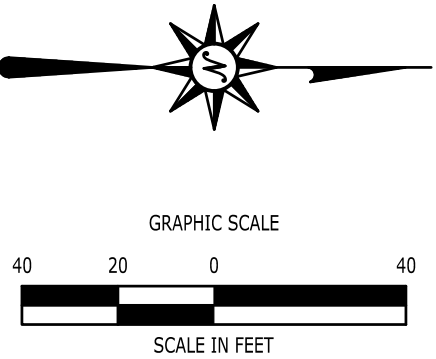
PAVEMENT MARKING LEGEND

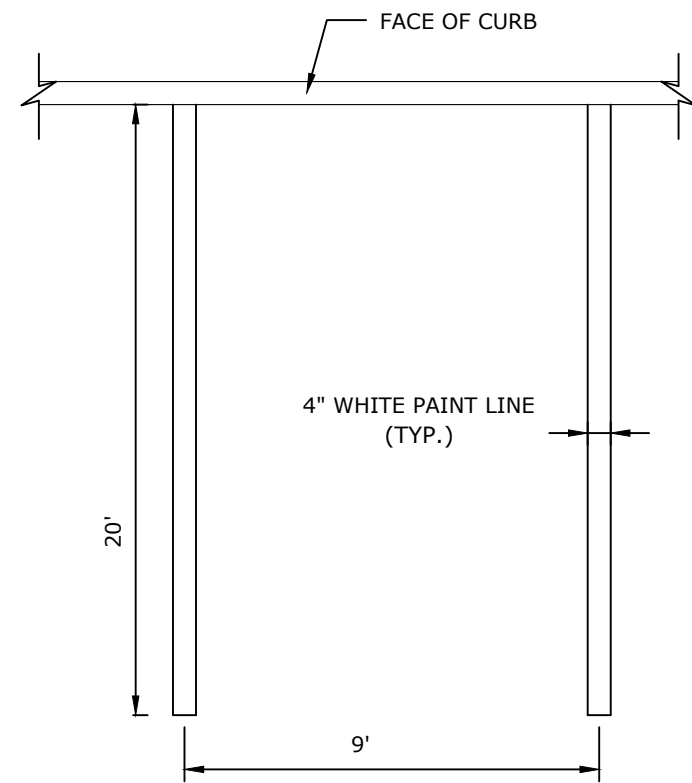
KEY	NAME
3.1	4" SOLID DOUBLE YELLOW CENTER LINE (NOT USED)
3.2	12" SOLID WHITE STOP BAR (NOT USED)
3.3	4" SOLID WHITE LINE STALL STRIPING
3.4	4" SOLID WHITE LINE @ 45° AND SPACED 2' O.C.
3.5	INTERNATIONAL SYMBOL FOR ACCESSIBILITY

SIGN LEGEND

SIGN NO.	MUTCD NO.	LEGEND
A	R7-8	
B	R7-8A	
C	R3-1B	

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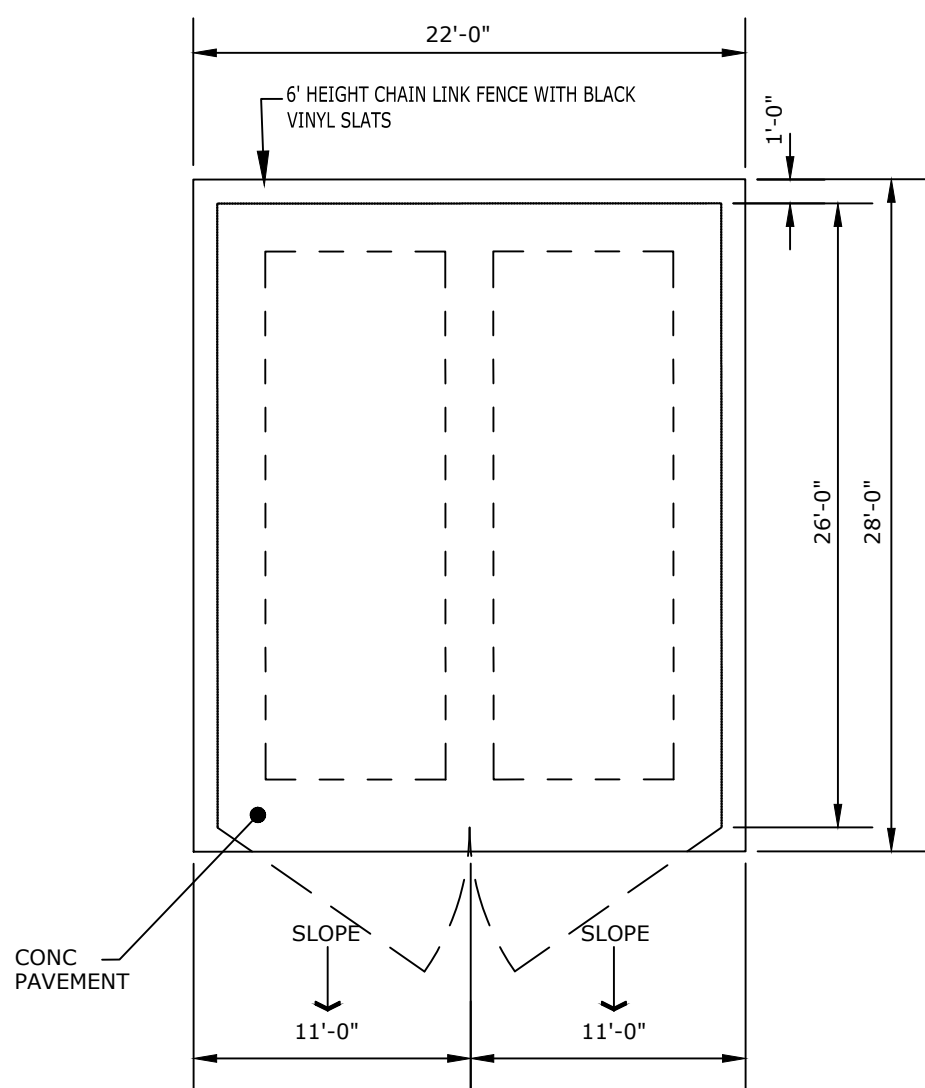




NOTE:  
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.  
2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

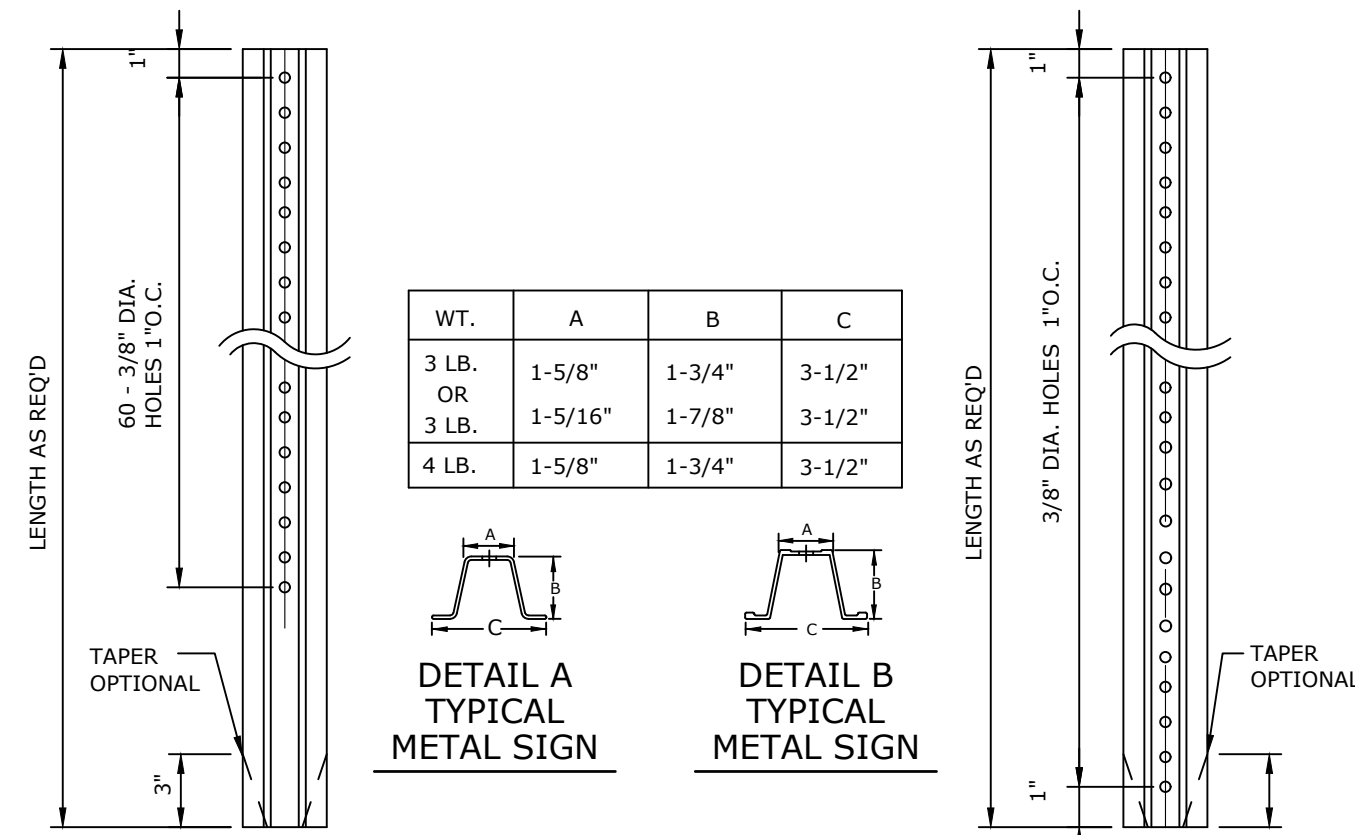
TYPICAL  
PARKING SPACE DETAIL

N.T.S. BLPC-003



TRASH ENCLOSURE PLAN

N.T.S. BLSE-004

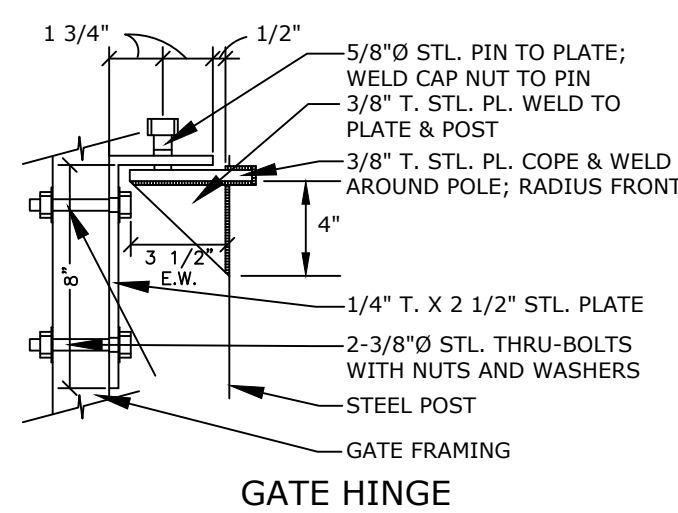


DETAIL A  
HOLE LOCATION

NOTES:  
STEEL POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 490-01 GRADE 40 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A 570 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 70 LBS OR GREATER PER LINEAR YARD.  
AFTER FABRICATION ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A-123.  
SIGN MOUNTING HEIGHT TO BE APPROVED BY THE ENGINEER.  
ALL SIGNS IN STATE ROW TO MEET CTOOT SPECIFICATIONS FOR BREAKAWAY SIGNS. SEE CTOOT STANDARD DETAIL SHEET TYPICAL METAL SIGN POSTS AND SIGN MOUNTING DETAILS AND CTOOT FORM 617

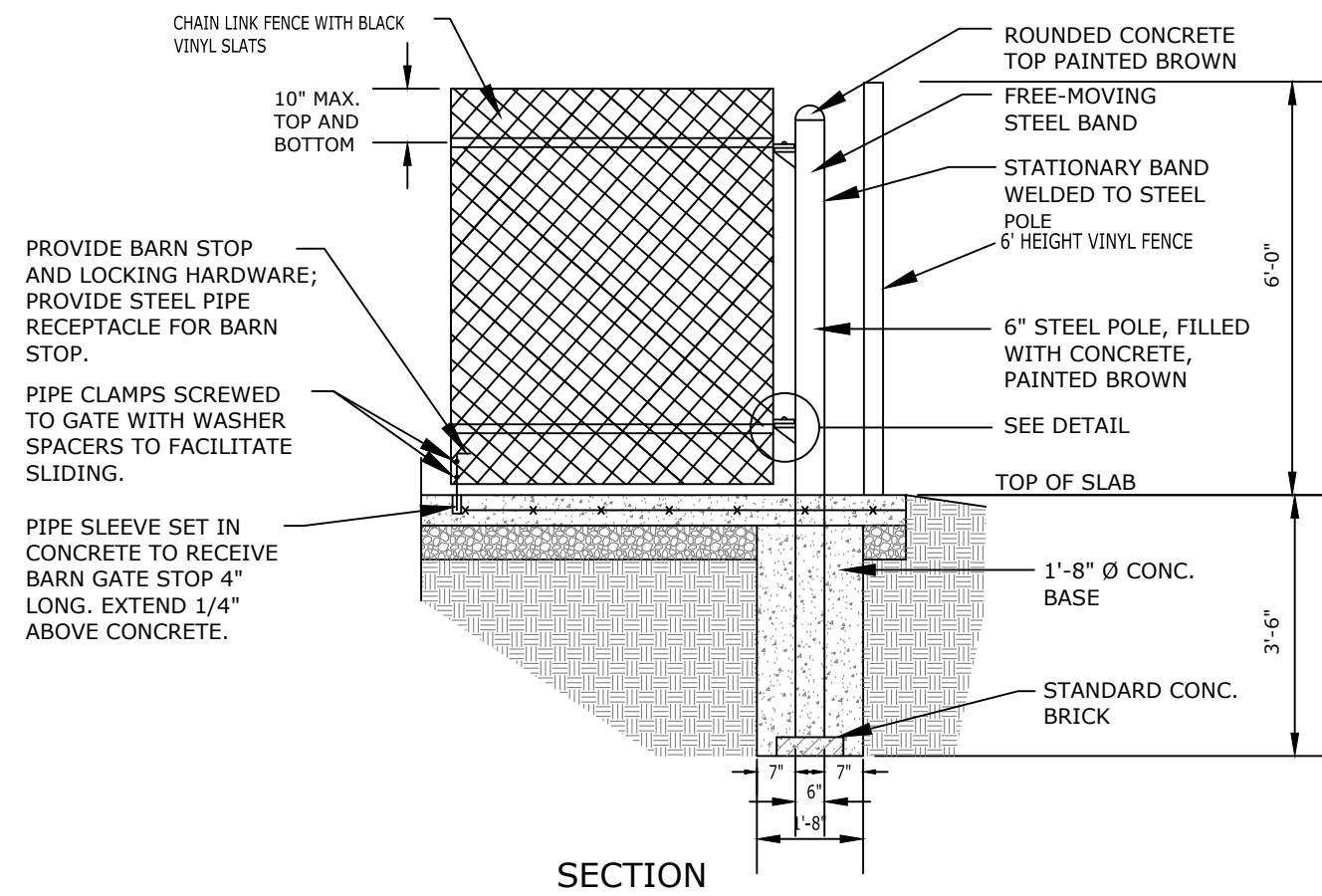
TYPICAL METAL SIGN POSTS

N.T.S. BLSO-001



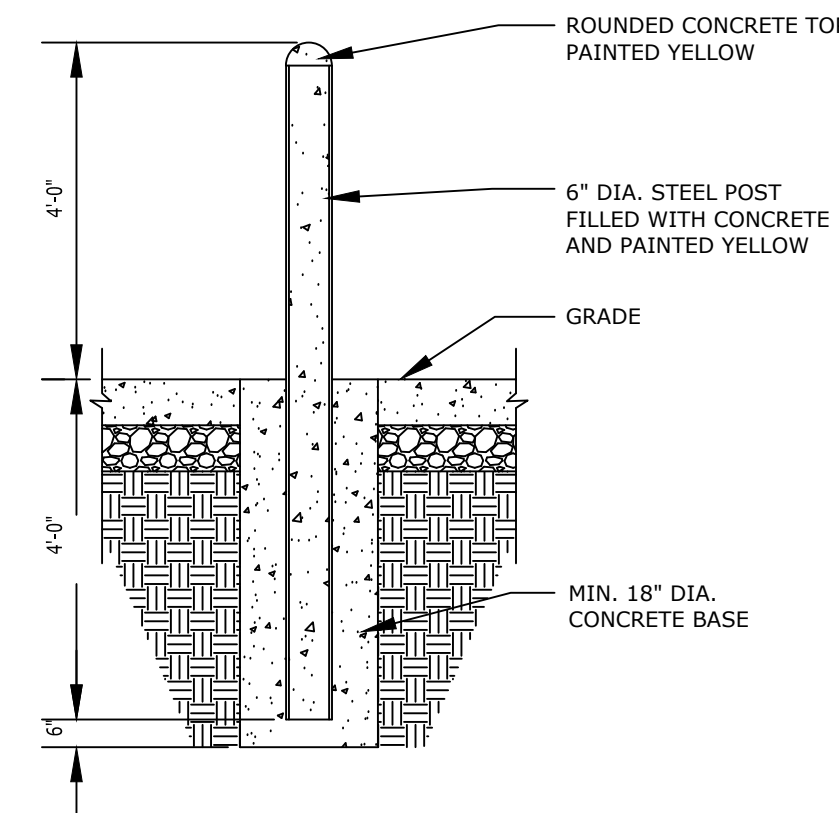
TRASH ENCLOSURE GATE  
(HALF SECTION)

N.T.S. BLSE-001



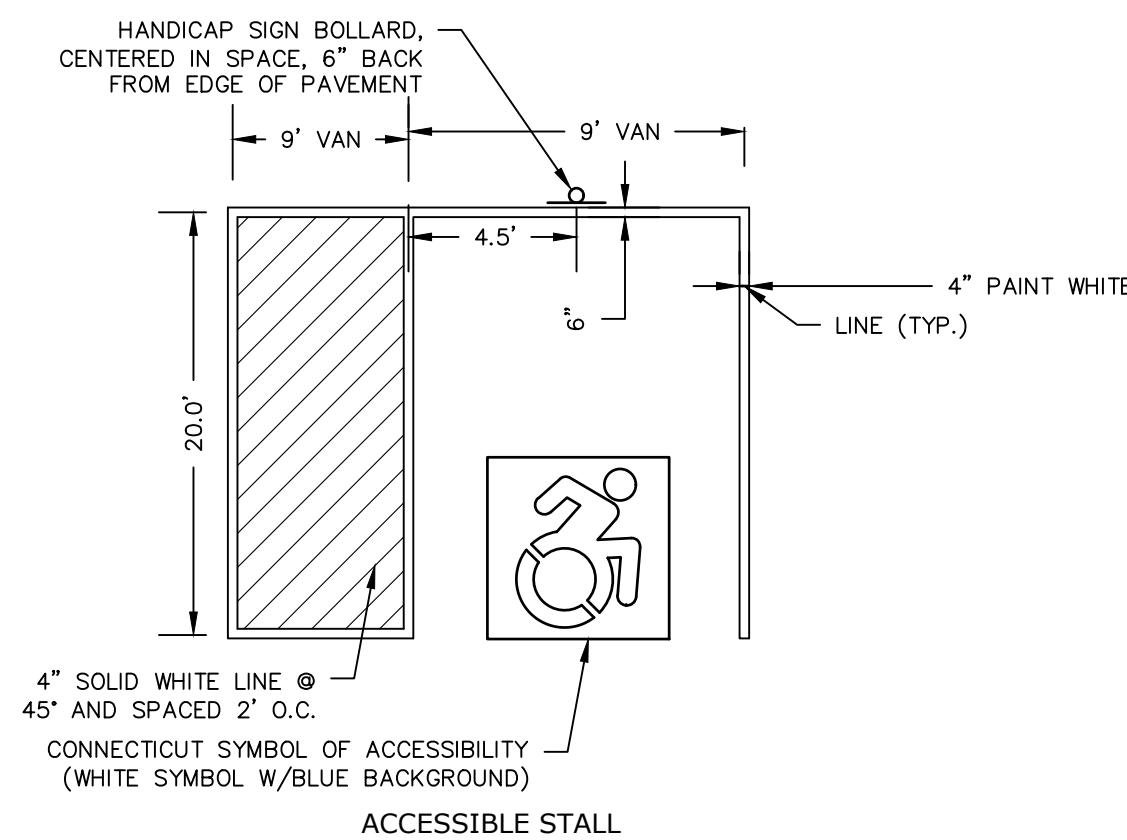
TRASH ENCLOSURE CHAIN LINK FENCE GATE

N.T.S. BLFD-001



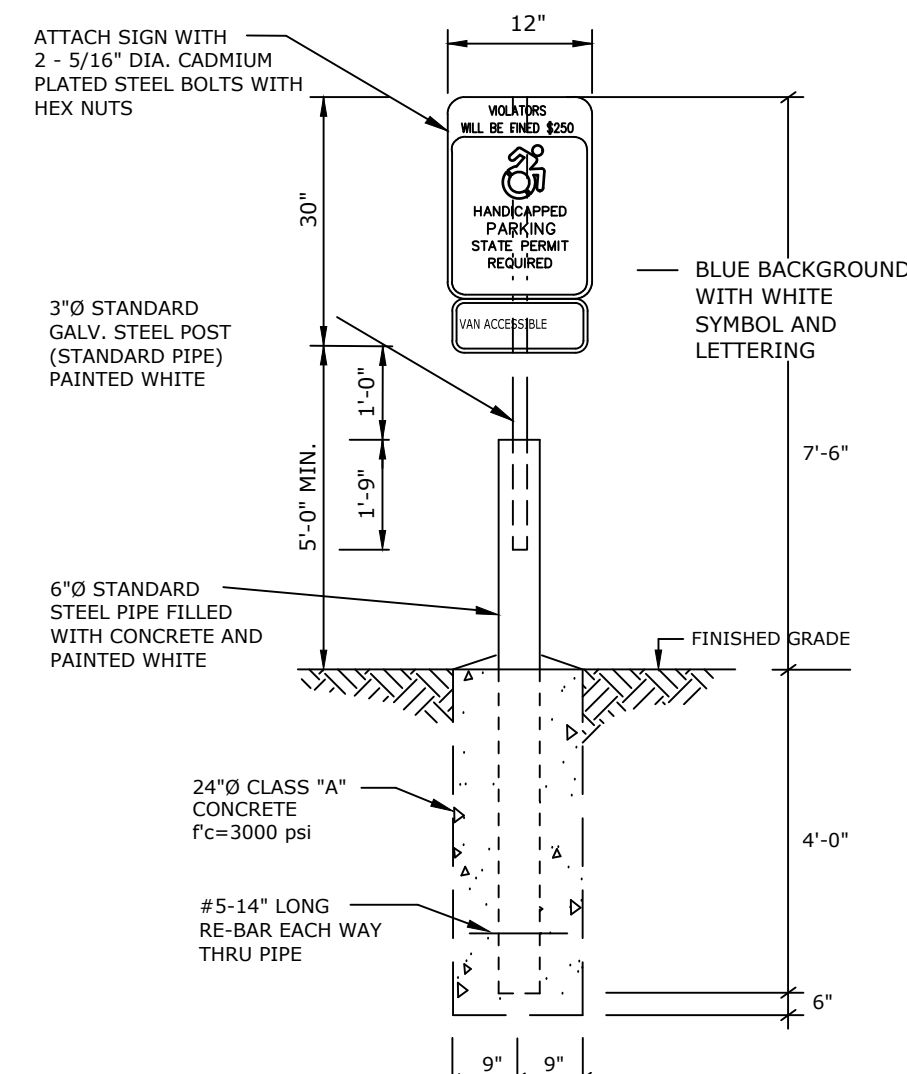
6" CONCRETE FILLED STEEL BOLLARD

N.T.S. BLSE-005



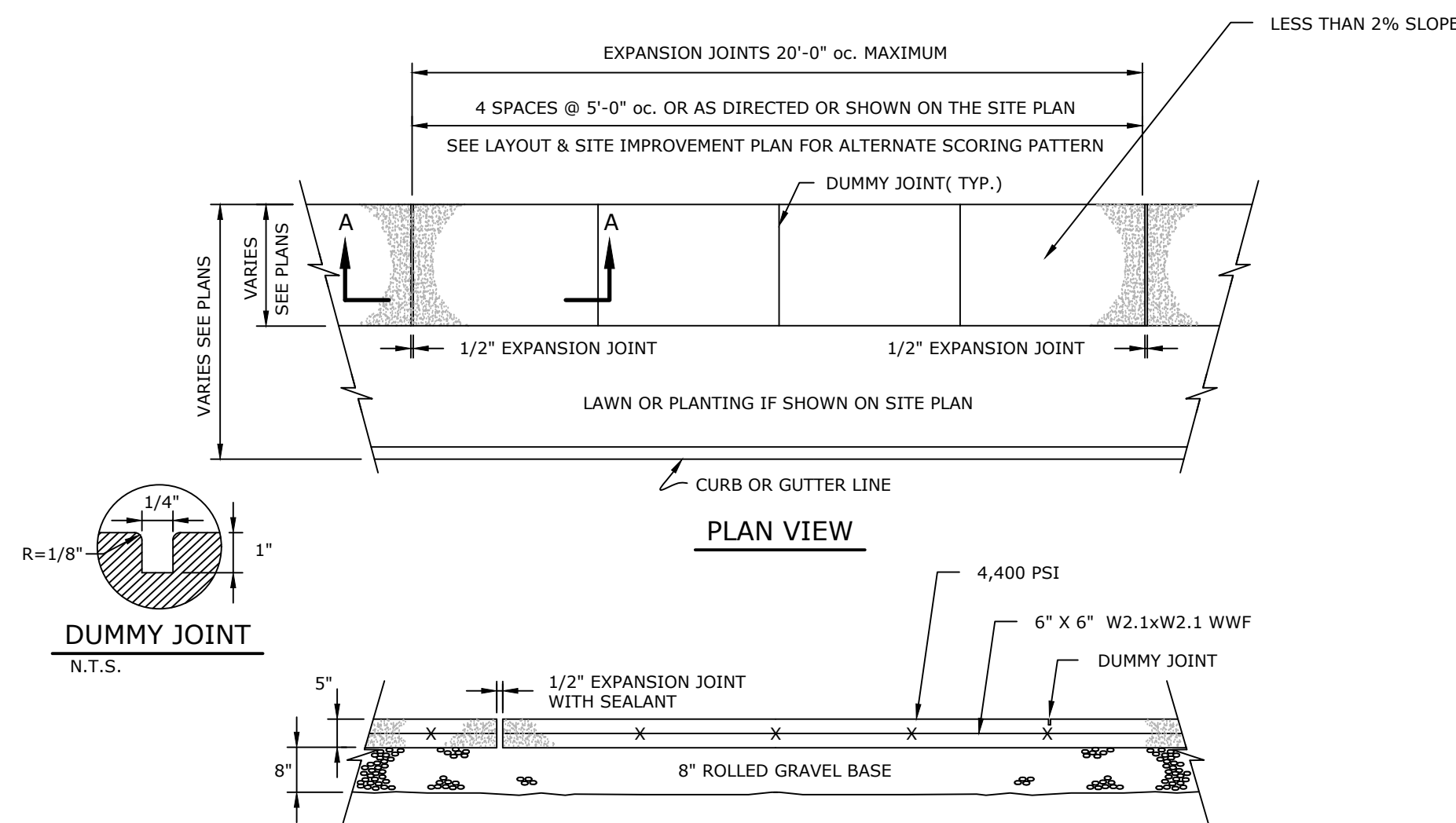
TYPICAL ADA ACCESSIBLE  
PARKING STALL LAYOUT

N.T.S.



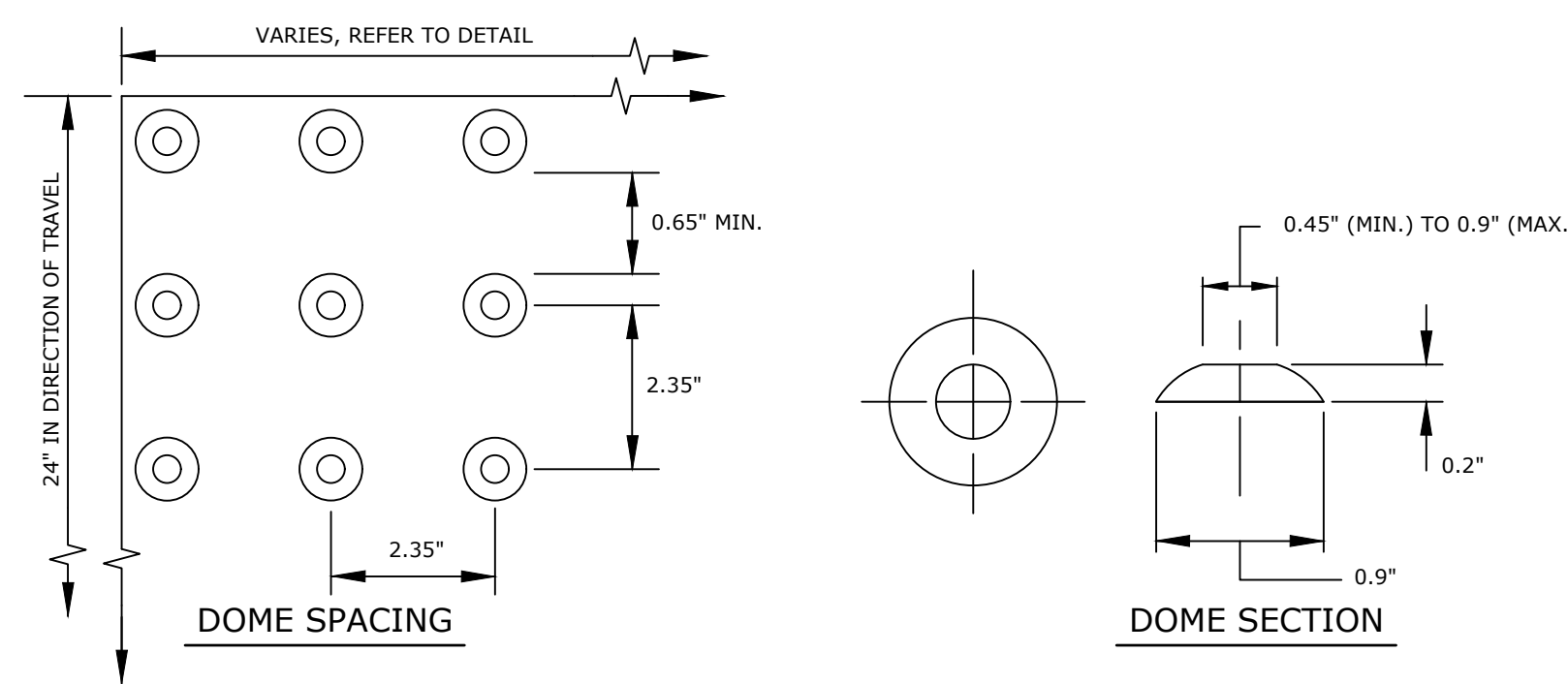
HANDICAP SIGN BOLLARD  
DETAIL

N.T.S.



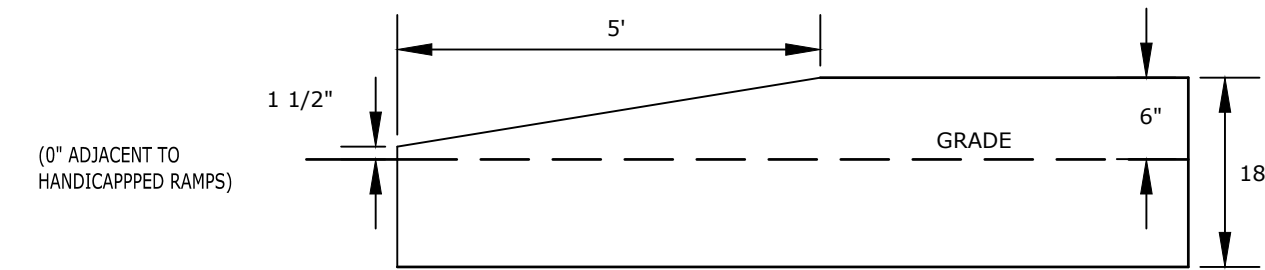
CONCRETE SIDEWALK DETAIL

N.T.S. BLSR-001



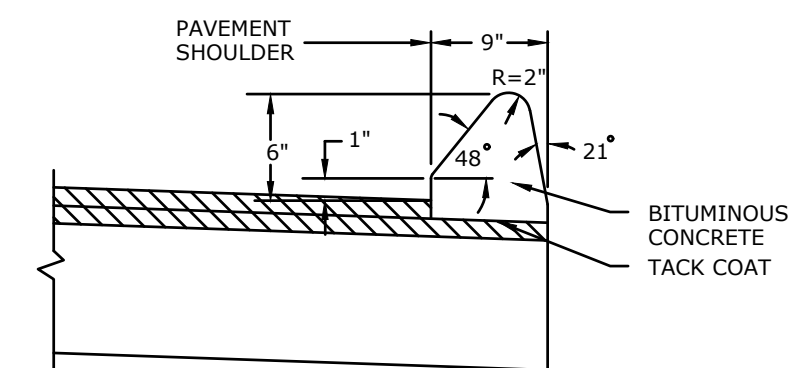
DETECTABLE WARNING

N.T.S.



TRANSITION CURB

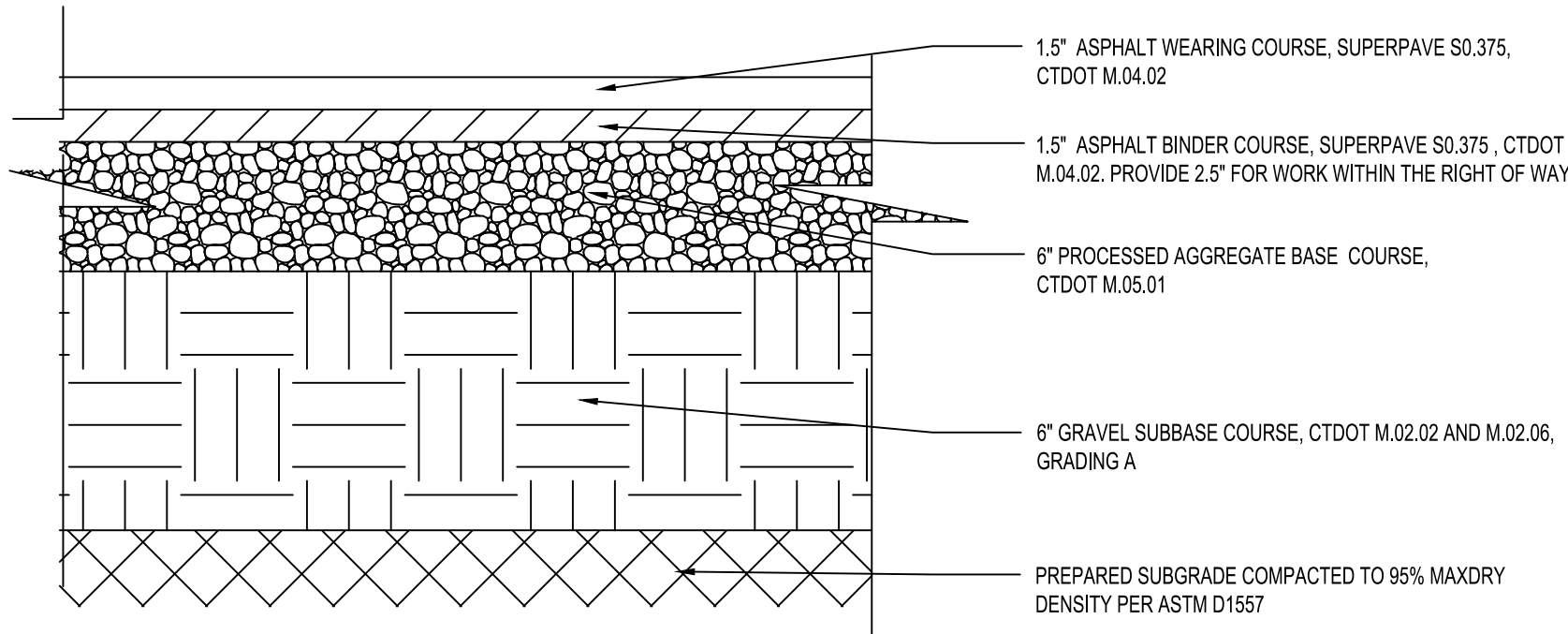
N.T.S.



BITUMINOUS CONCRETE LIP CURBING

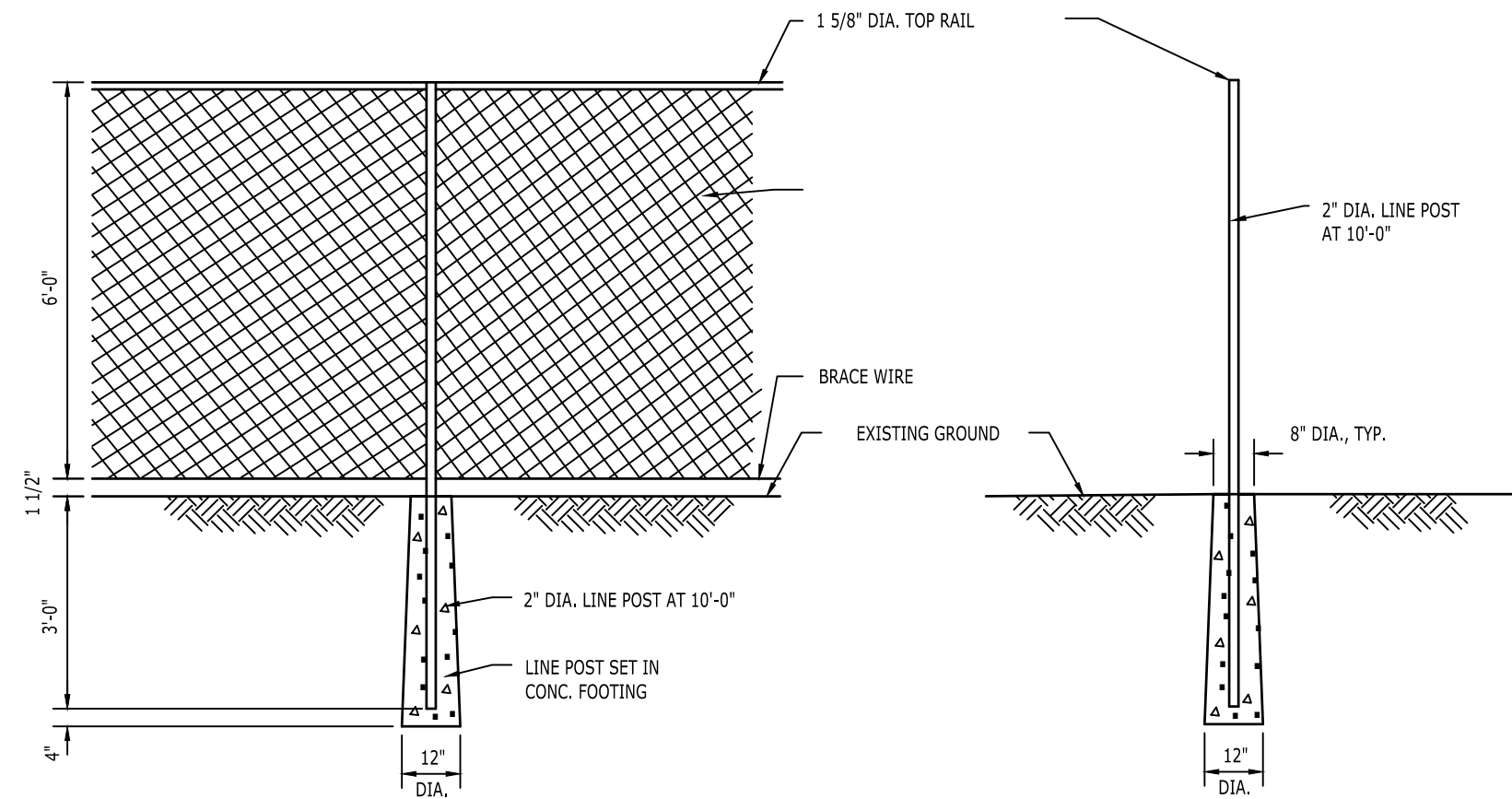
N.T.S.

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BITUMINOUS CONCRETE PAVEMENT STRUCTURE

N.T.S.

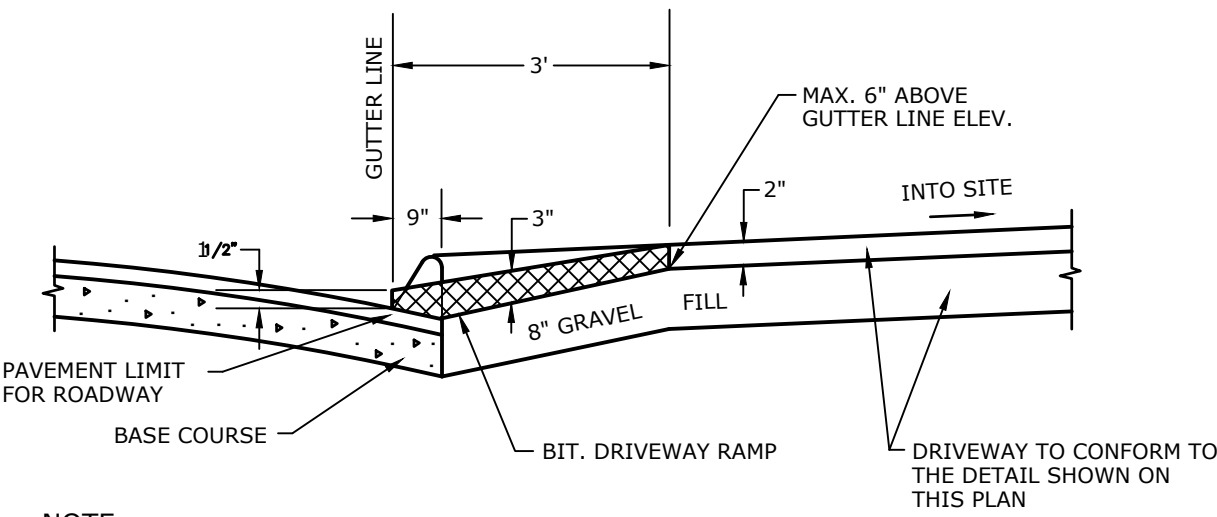


FRONT VIEW

SIDE VIEW

CHAIN LINK FENCE

N.T.S.



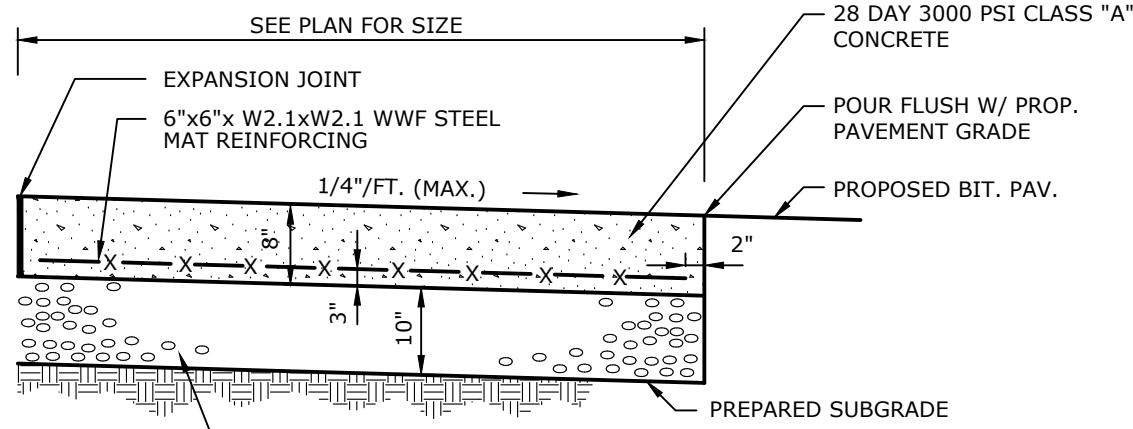
NOTE:

COMPACTION TO BE COMPLETED  
IN 4" LIFTS  
DEPTHS SHOWN ARE AFTER  
COMPACTION

BITUMINOUS CONCRETE DRIVEWAY APRON DETAIL

N.T.S.

ZPC-011

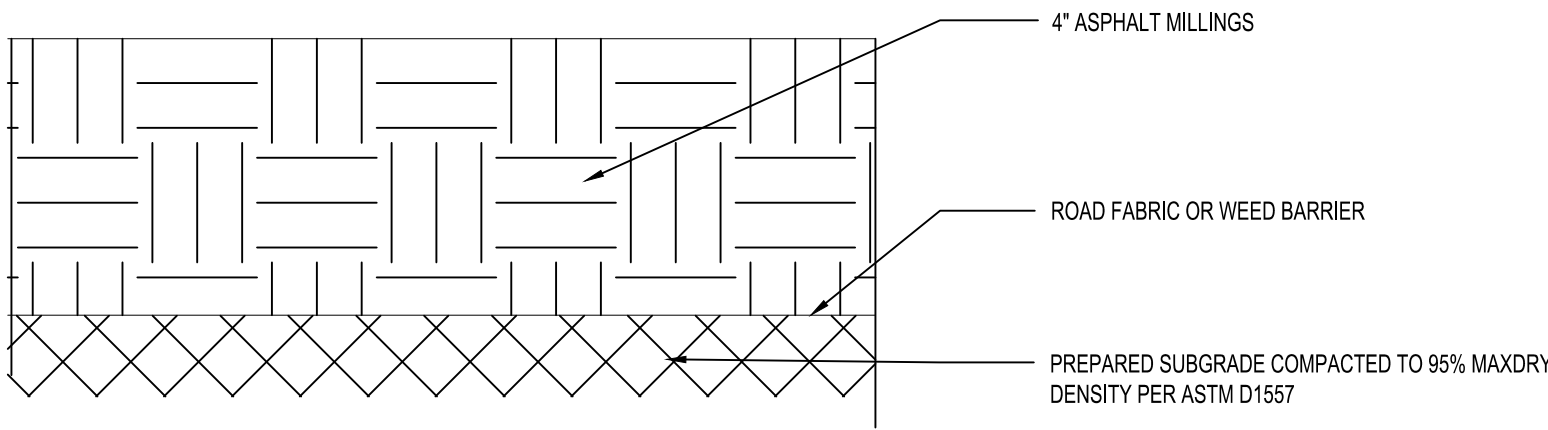


SECTION VIEW

CONCRETE DUMPSTER PAD  
AND CONCRETE PAVEMENT

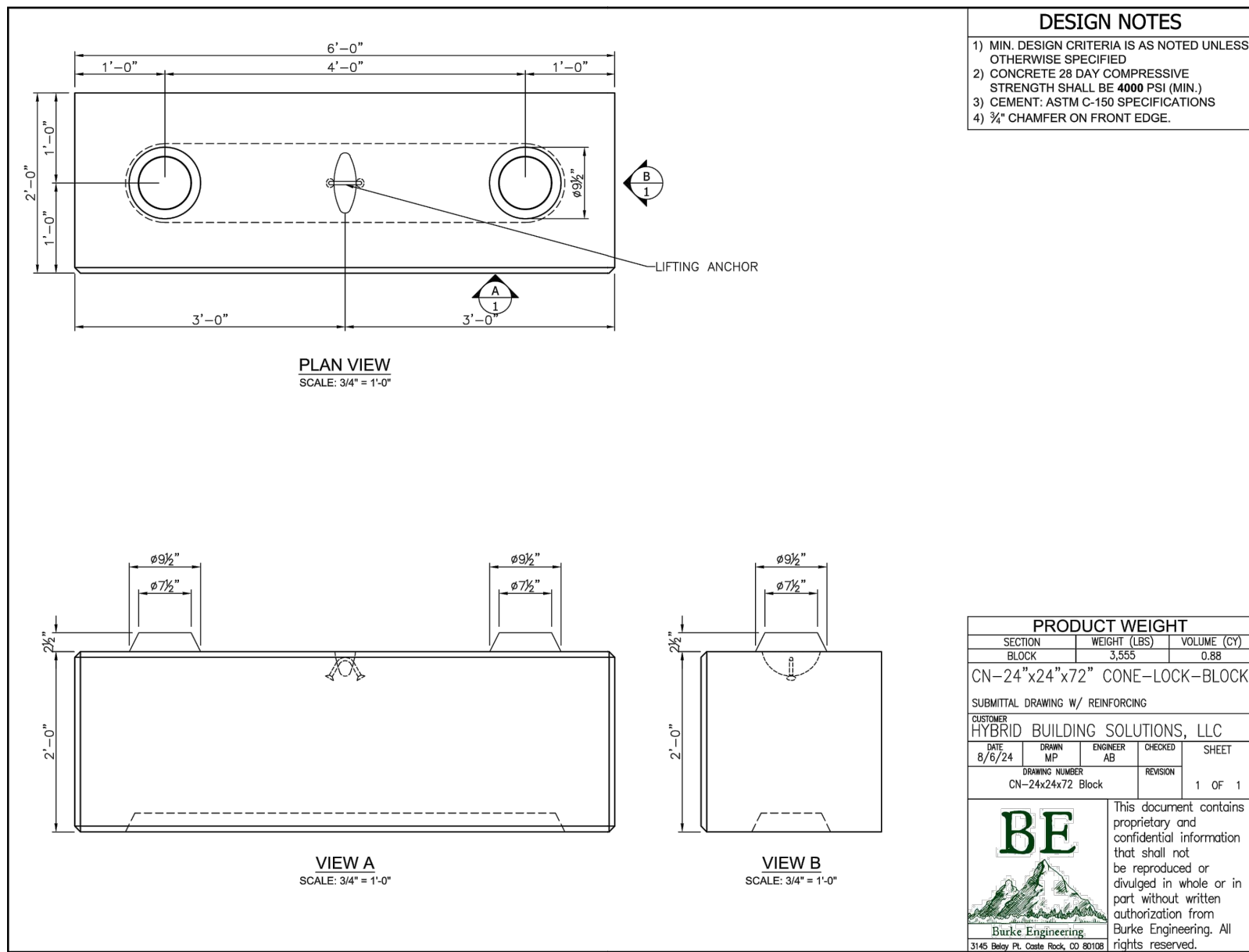
N.T.S.

BLPC-002



ASPHALT MILLING PAVEMENT STRUCTURE

N.T.S.



CONCRETE BLOCKS (OR APPROVED EQUAL)

N.T.S.



ADS 0801T NONWOVEN GEOTEXTILE SPECIFICATION

Scope

This specification describes ADS 0801T (8.0 oz) nonwoven geotextile.

Filter Fabric Requirements

ADS 0801T (8.0 oz) is a needle-punched nonwoven geotextile made of 100% polypropylene staple fibers, which are formed into a random network for dimensional stability. ADS 0801T (8.0 oz) resists ultraviolet deterioration, rotting, biological degradation, naturally encountered alkalis and acids. Polypropylene is stable within a pH range of 2 to 13. ADS 0801T (8.0 oz) conforms to the physical property values listed below:

Filter Fabric Properties

Property	Test Method	Unit	M.A.R.V. (Minimum Average Roll Value)
Grab Tensile	ASTM D4632	lbs (kN)	205 (0.911)
Grab Elongation	ASTM D4632	%	50
Trapezoid Tear Strength	ASTM D4533	lbs (kN)	80 (0.356)
CBR Puncture Resistance	ASTM D6241	lbs (kN)	500 (2.224)
Permittivity*	ASTM D4491	sec <sup>-1</sup>	1.4
Water Flow*	ASTM D4491	gpm/ft <sup>2</sup> (l/min/m <sup>2</sup> )	90 (3657)
AOS*	ASTM D4751	US Sieve (mm)	80 (0.180)
UV Resistance	ASTM D4355	%/hrs	70/500

Packaging

Roll Dimensions (W x L) - ft. (m)	12.5 x 360 / 15 x 300 (3.81 x 109.8 / 4.6 x 91.4)
Roll Square Yards (Square Meters)	500 (418)
Estimated Roll Weight - lbs (kg)	250 (113)

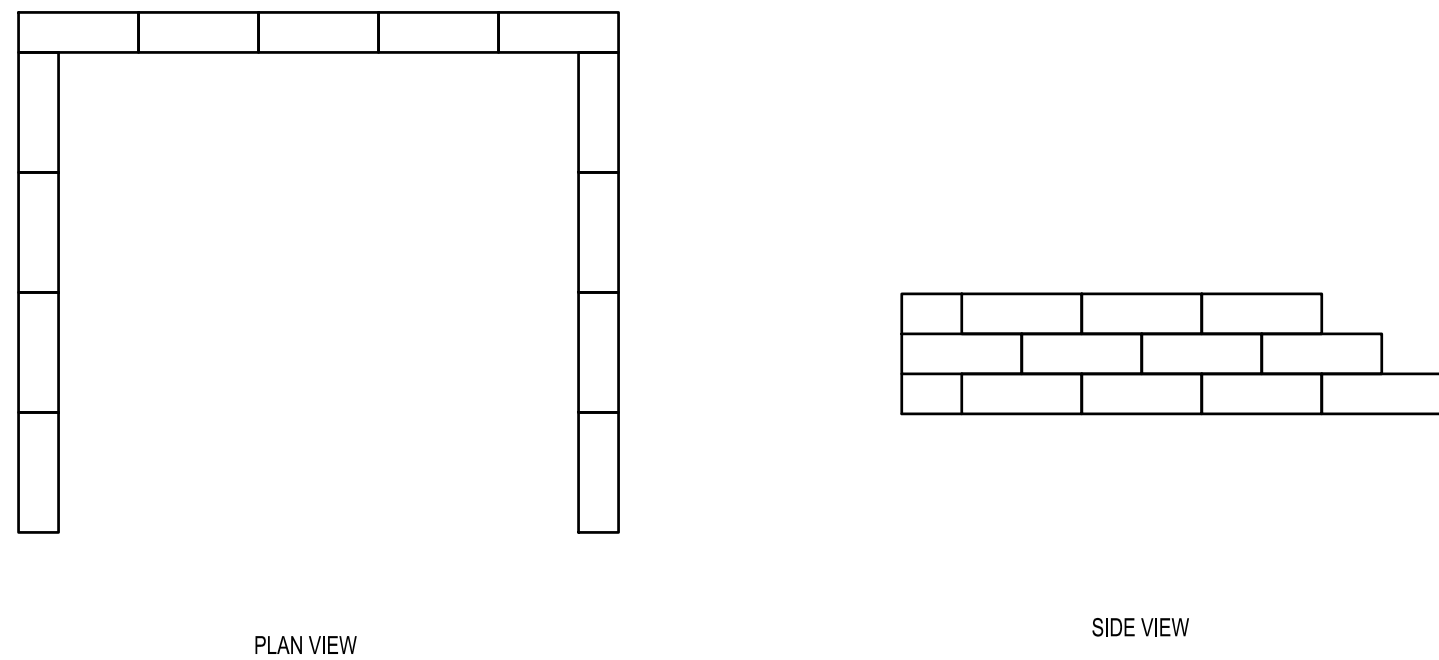
\* At the time of manufacturing. Handling may change these properties.

ADS "Terms and Conditions of Sale" can be found on the ADS website, [adslpge.com](http://adslpge.com).  
The ADS logo is a registered trademark of Advanced Drainage Systems, Inc. #8701T 10/22 MH



SEPARATION FABRIC FOR MILLINGS (OR APPROVED EQUAL)

N.T.S.



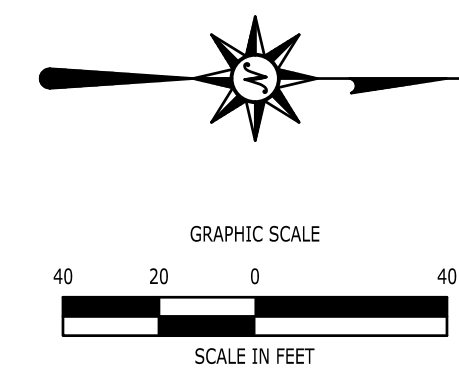
PLAN VIEW

SIDE VIEW

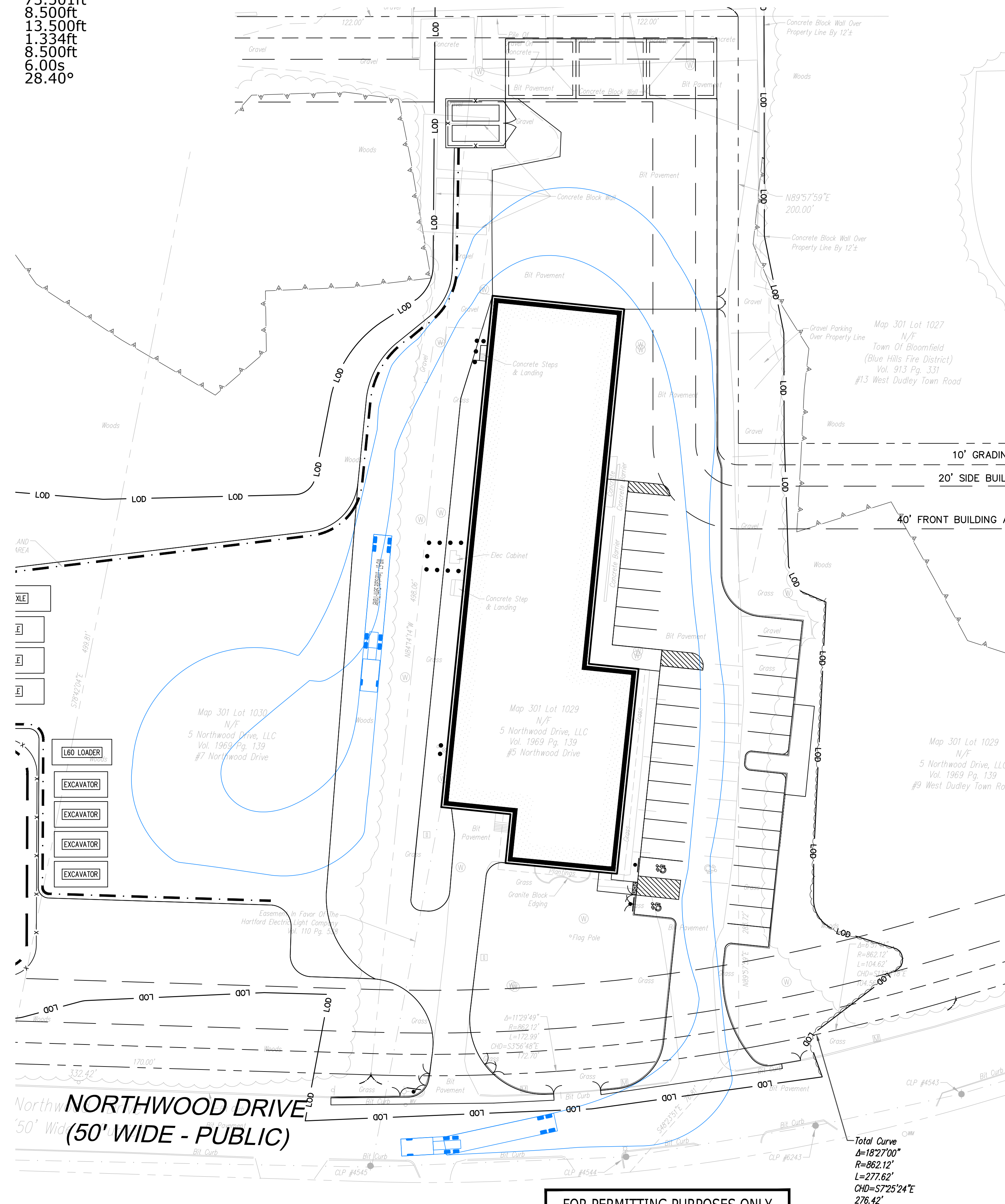
CONCRETE BLOCK STORAGE BIN (OR APPROVED EQUAL)

N.T.S.

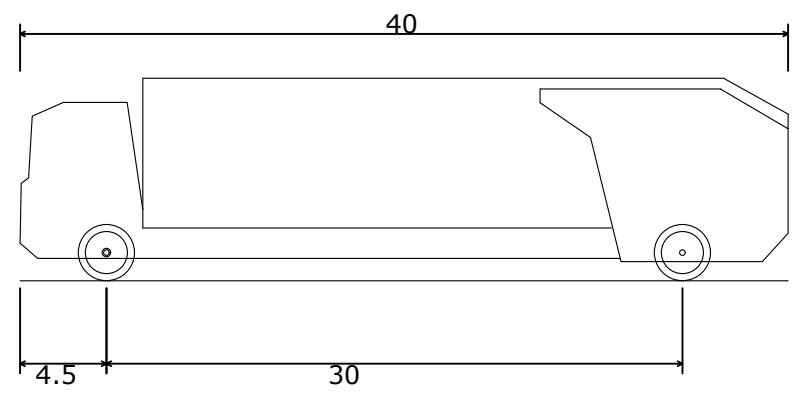
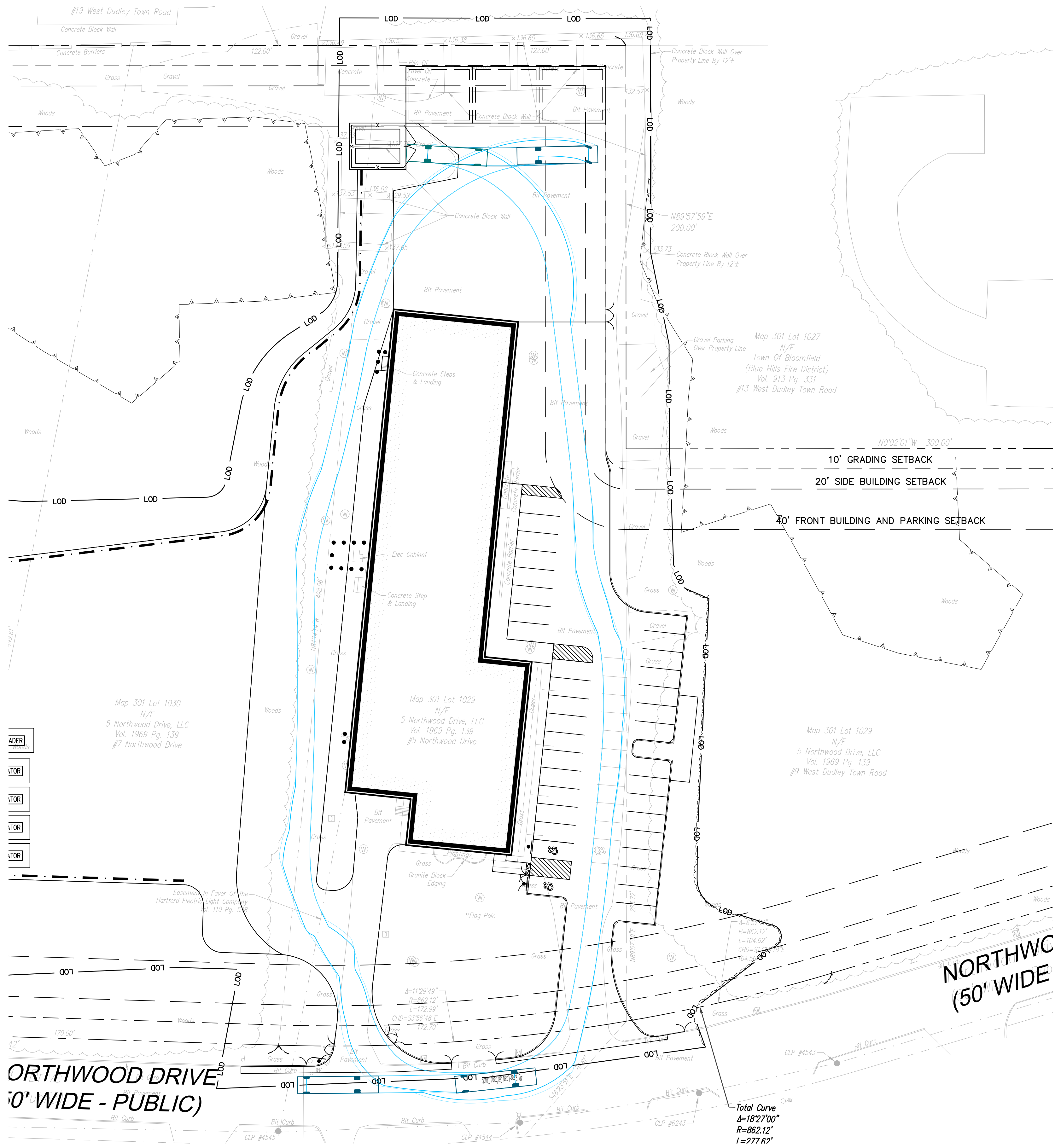
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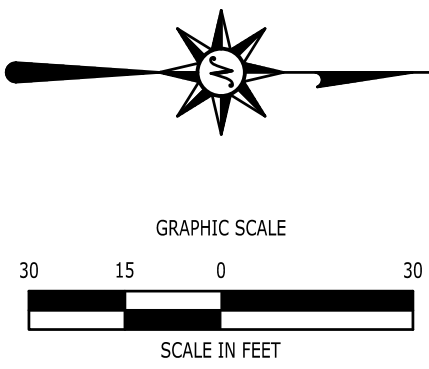
73.501ft  
8.500ft  
13.500ft  
1.334ft  
8.500ft  
6.00s  
28.40°



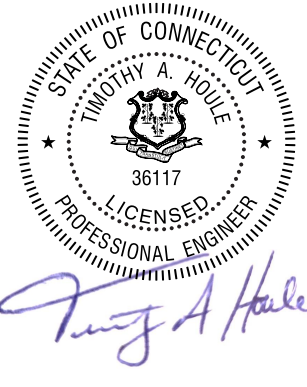
FOR PERMITTING PURPOSES ONLY  
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40' Rear-Load Garbage Truck  
Overall Length 40.000ft  
Overall Width 8.375ft  
Overall Body Height 10.546ft  
Min Body Ground Clearance 1.000ft  
Track Width 8.375ft  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 34.300ft



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PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002

REVISIONS		DESIGNED	
No.	Date	By	Check
1	7/2/2025		

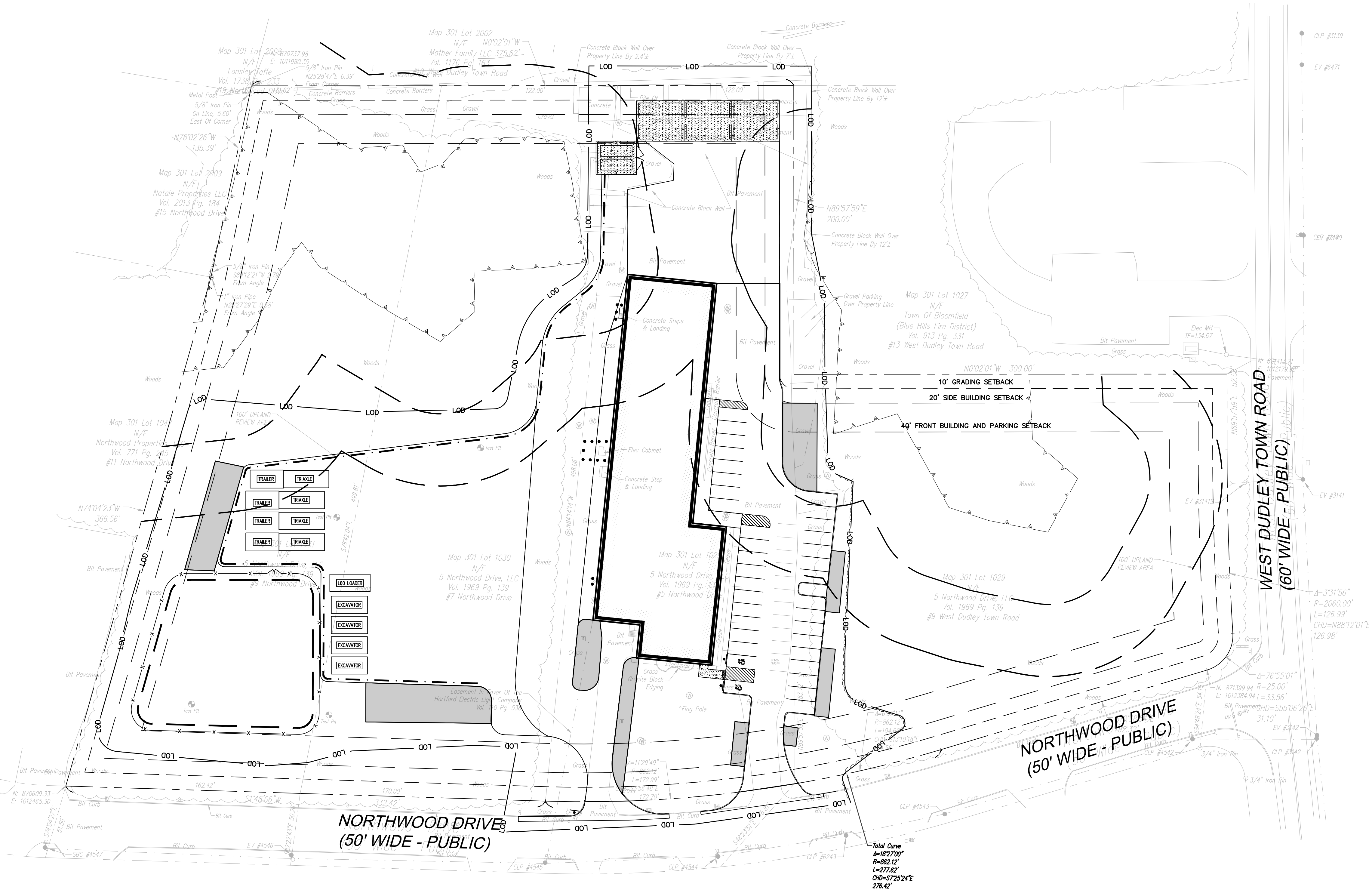
Designed	K.R.
Drawn	K.R.
Reviewed	R.M.R.
Scale	1"=30'
Project No.	2302699
Date	2/10/2025
CAD File:	C2302699-10

Title  
TRUCK TURNING  
PLAN - GARBAGE  
TRUCK

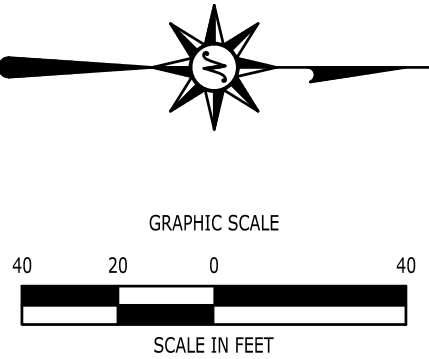
Sheet No.  
**C1.21**

SNOW STORAGE

ITEM	AREA (S.F.)
PROPOSED PAVED AREA	80,300
PROPOSED SNOW STORAGE AREA	8,350

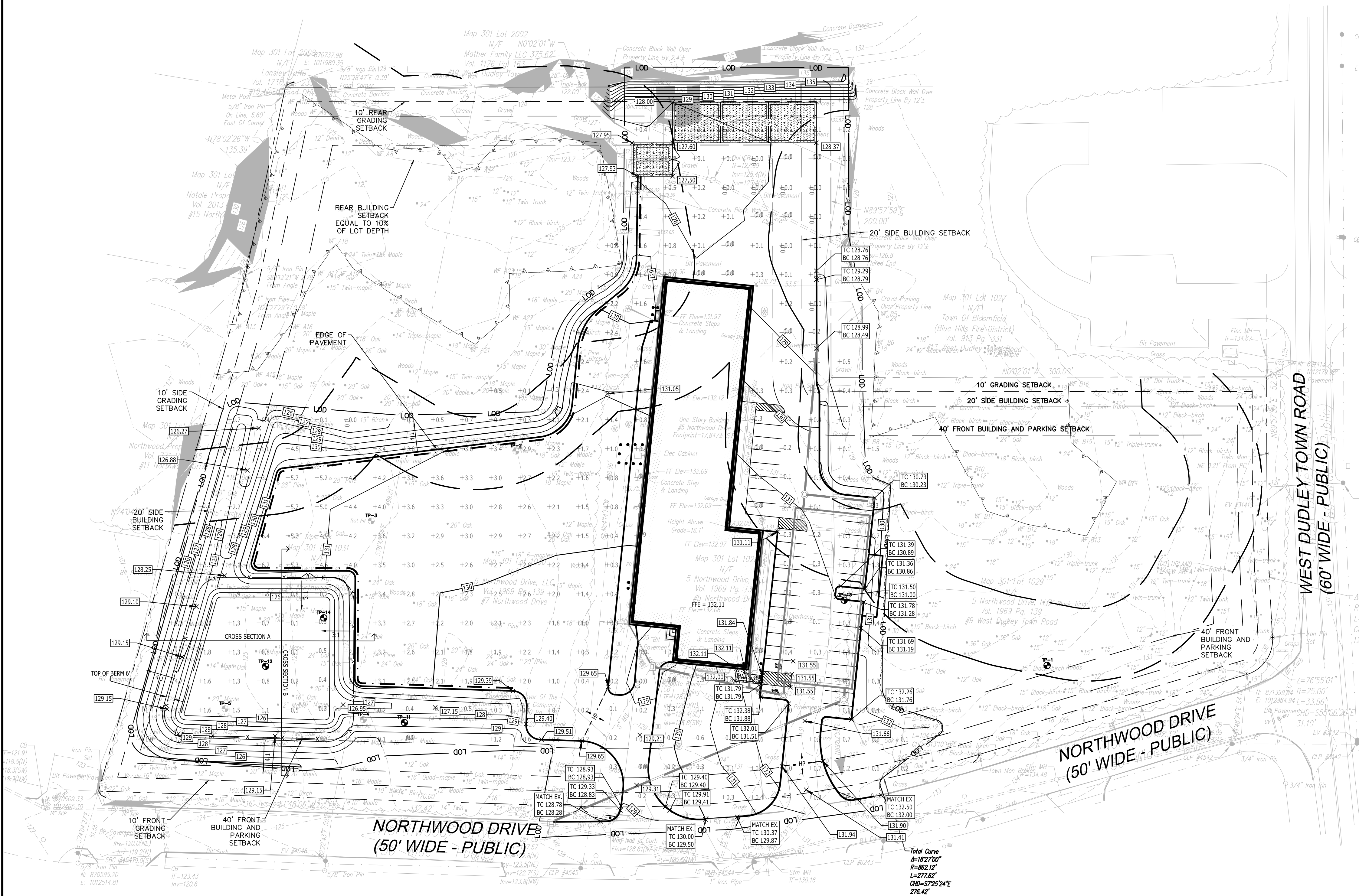


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GRADING AND DRAINAGE LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITEMARK CONTRACT LIMIT LINE
- LIMITS OF CLEARING
- SAWCUT LINE
- PROVIDE AND INSTALL STORM LINE
- PROVIDE AND INSTALL TYPE C CATCH BASIN
- PROVIDE AND INSTALL TYPE C-L CATCH BASIN
- PROVIDE AND INSTALL DRAINAGE MANHOLE OR OUTLET CONTROL STRUCTURE
- PROVIDE AND INSTALL FLARED END SECTION
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED SPOT GRADE

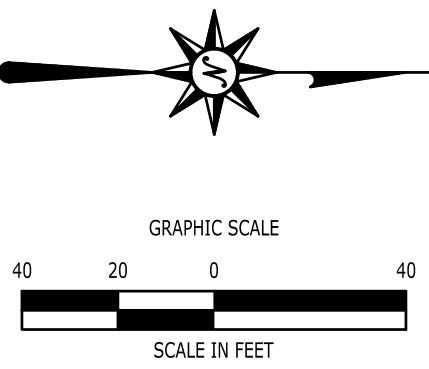
SPOT GRADE ABBREVIATIONS  
BC BOTTOM OF CURB  
TC TOP OF CURB  
BW BOTTOM OF WALL  
TW TOP OF WALL  
MEX MEET EXISTING CONDITION

NOTE: ALL NEW CATCH BASINS SHALL BE PROVIDED WITH HOODED OUTLETS

EARTHWORK TABLE

CUT VOLUME (CY)	CHAMBER VOLUME (CY)	FILL VOLUME (CY)	NET VOLUME (CY)	OVERALL SITE TYPE
328	1,555	6,627	4,744	FILL

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Architecture  
Engineering  
Environmental  
Land Surveying

BL Companies

100 Constitution Plaza  
10th Floor  
Hartford, CT 06103  
(860) 249-2200

STATE OF CONNECTICUT  
REGISTERED PROFESSIONAL ENGINEER  
36117  
Troy A. Hale

PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002













REVISIONS  
No. 1  
Date 7/3/2025  
Disc. RESPONSE TO TOWN COMMENTS

Designed J.N.B.  
Drawn J.N.B.  
Reviewed R.M.R.  
Scale 1"=40'  
Project No. 2302699  
Date 2/10/2025  
CAD File: C2302699-20

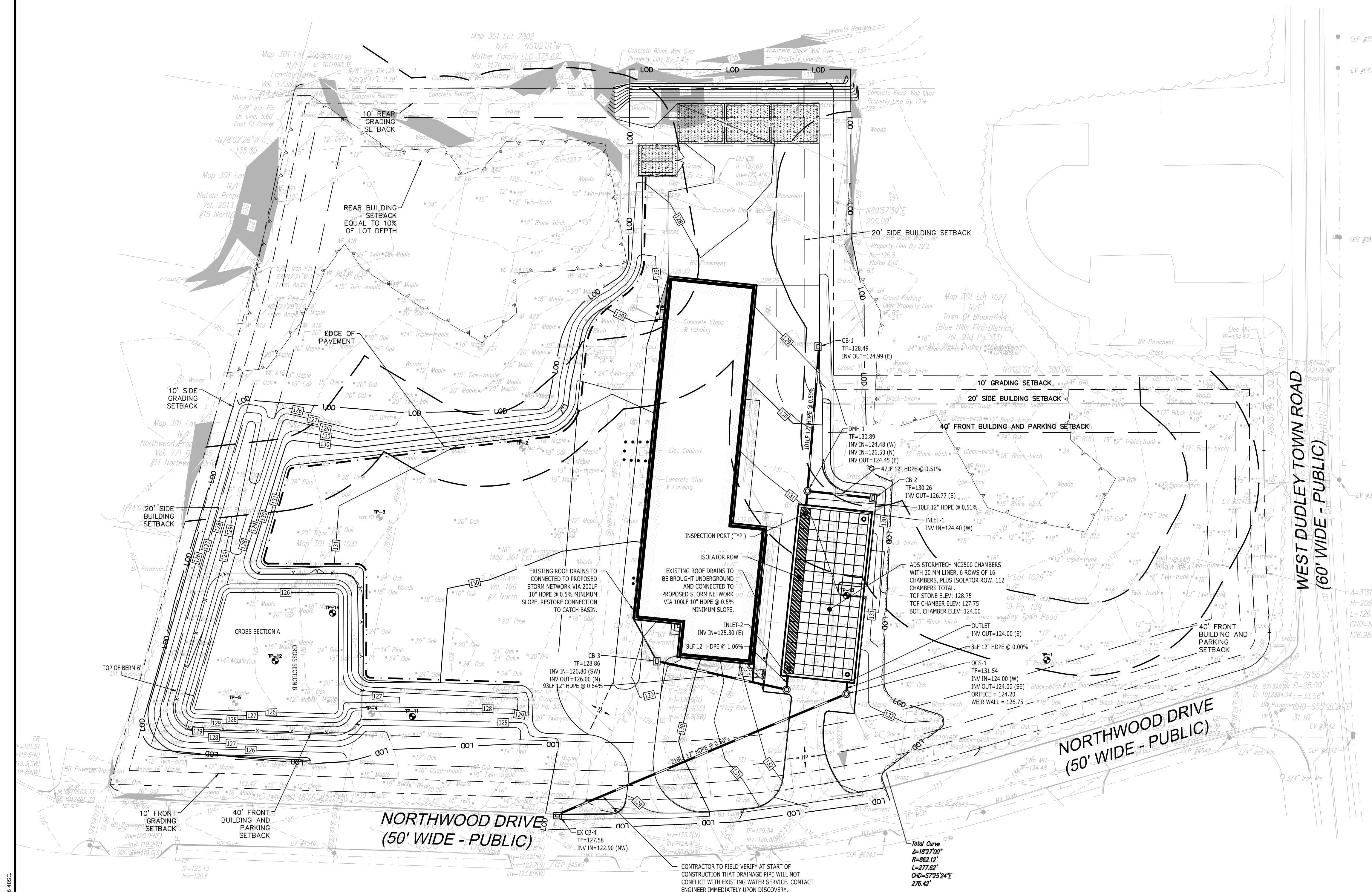
Title GRADING PLAN

Sheet No. C2.00

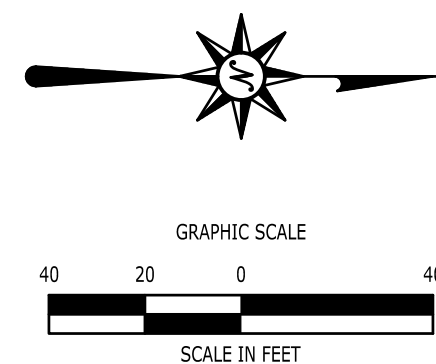
## GRADING AND DRAINAGE LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITEWORK CONTRACT LIMIT LINE
	LIMITS OF CLEARING
	SAWCUT LINE
	PROVIDE AND INSTALL STORM LINE
	PROVIDE AND INSTALL TYPE C CATCH BASIN
	PROVIDE AND INSTALL TYPE C-L CATCH BASIN
	PROVIDE AND INSTALL DRAINAGE MANHOLE OR OUTLET CONTROL STRUCTURE
	PROVIDE AND INSTALL FLARED END SECTION
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED SPOT GRADE
<b>SPOOT GRADE ABBREVIATIONS</b>	
EC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
MEX	MEET EXISTING CONDIION

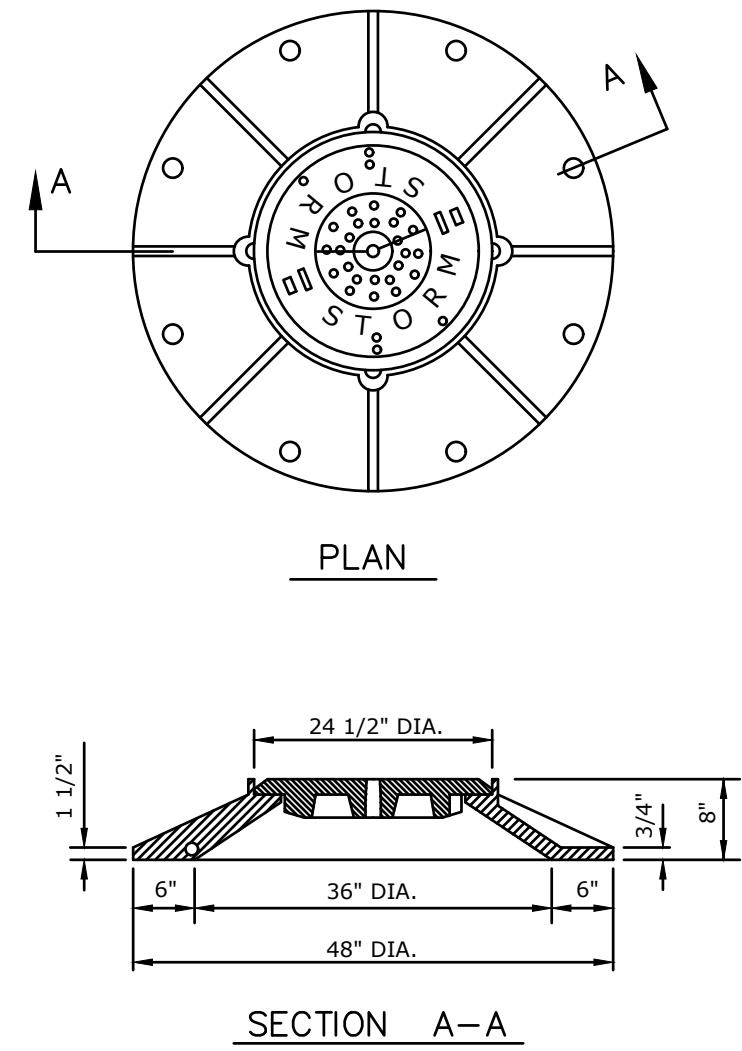
NOTE: ALL NEW CATCH BASINS SHALL BE PROVIDED WITH HOODED OUTLETS



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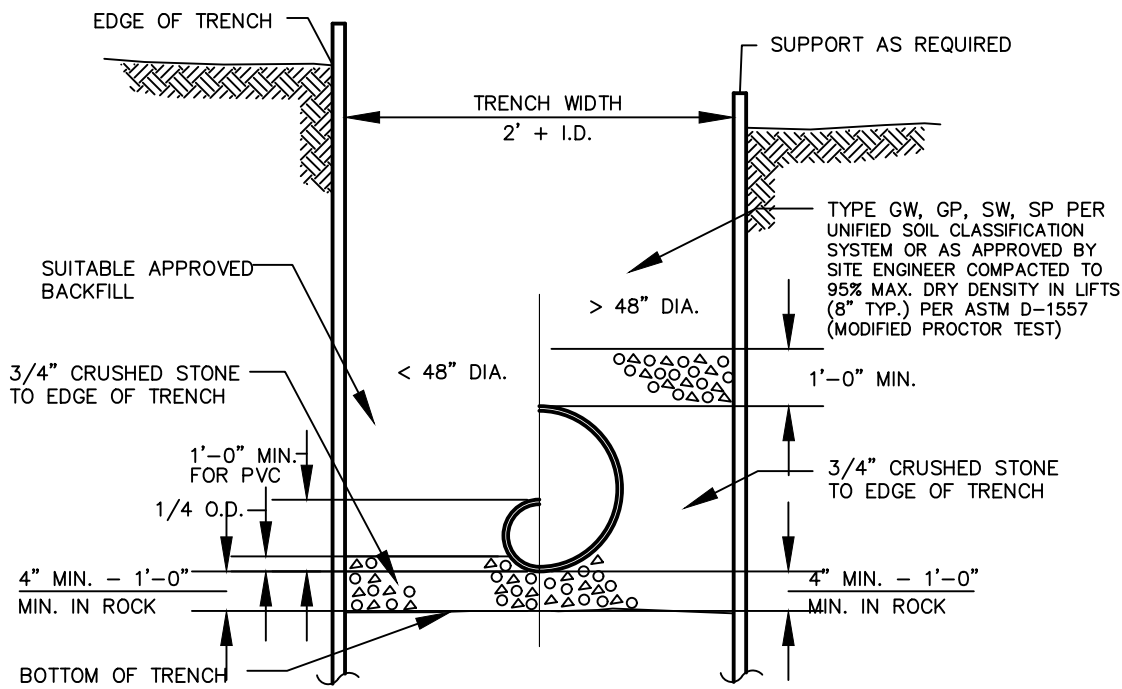




NOTE:  
FRAME & GRATE TO BE CAMPBELL FOUNDRY  
COMPANY-PATTERN NUMBER 1221

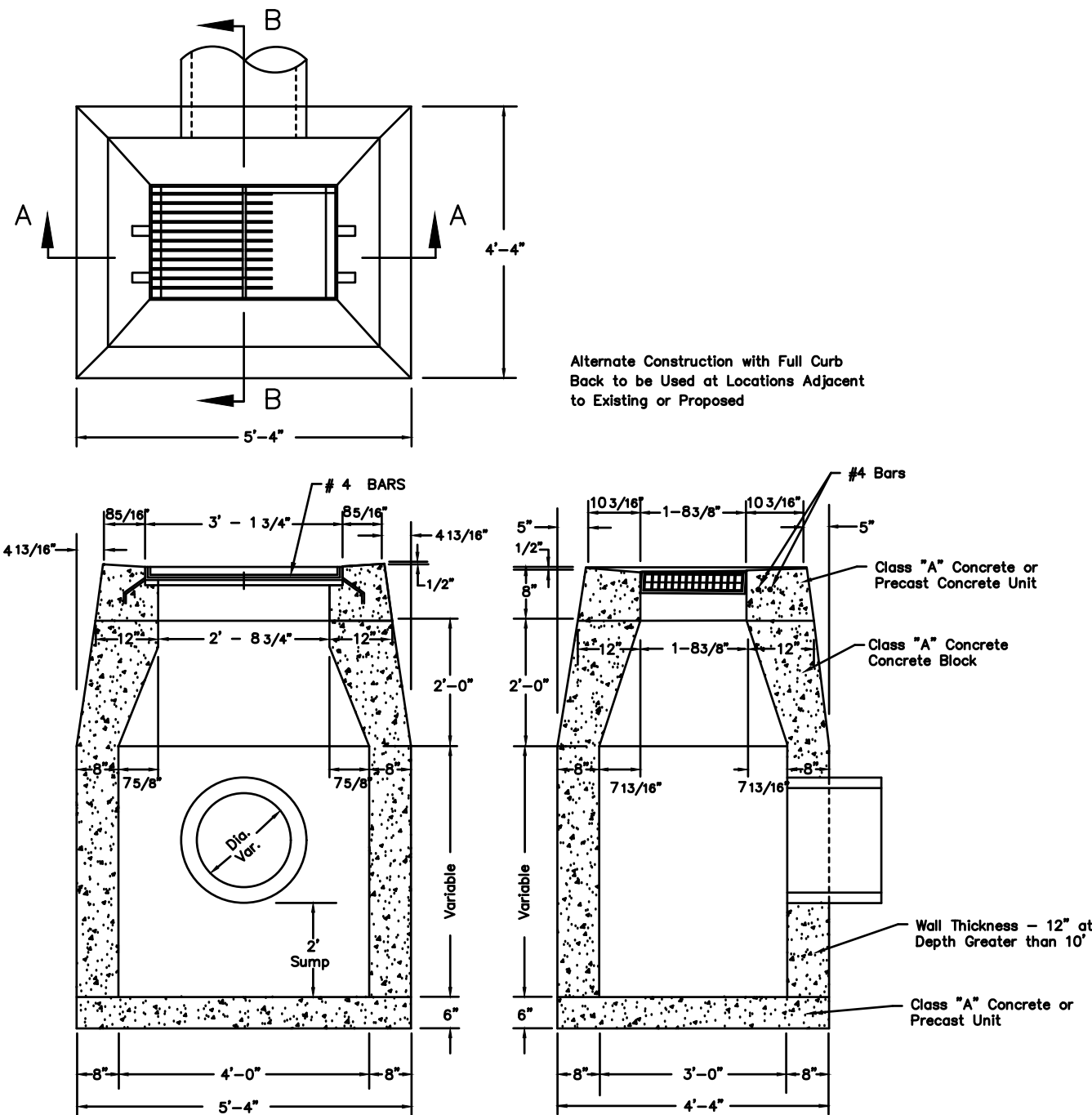
### STANDARD MANHOLE FRAME AND COVER

N.T.S. ZDD-079



### TYPICAL STORM SEWER TRENCH SECTION

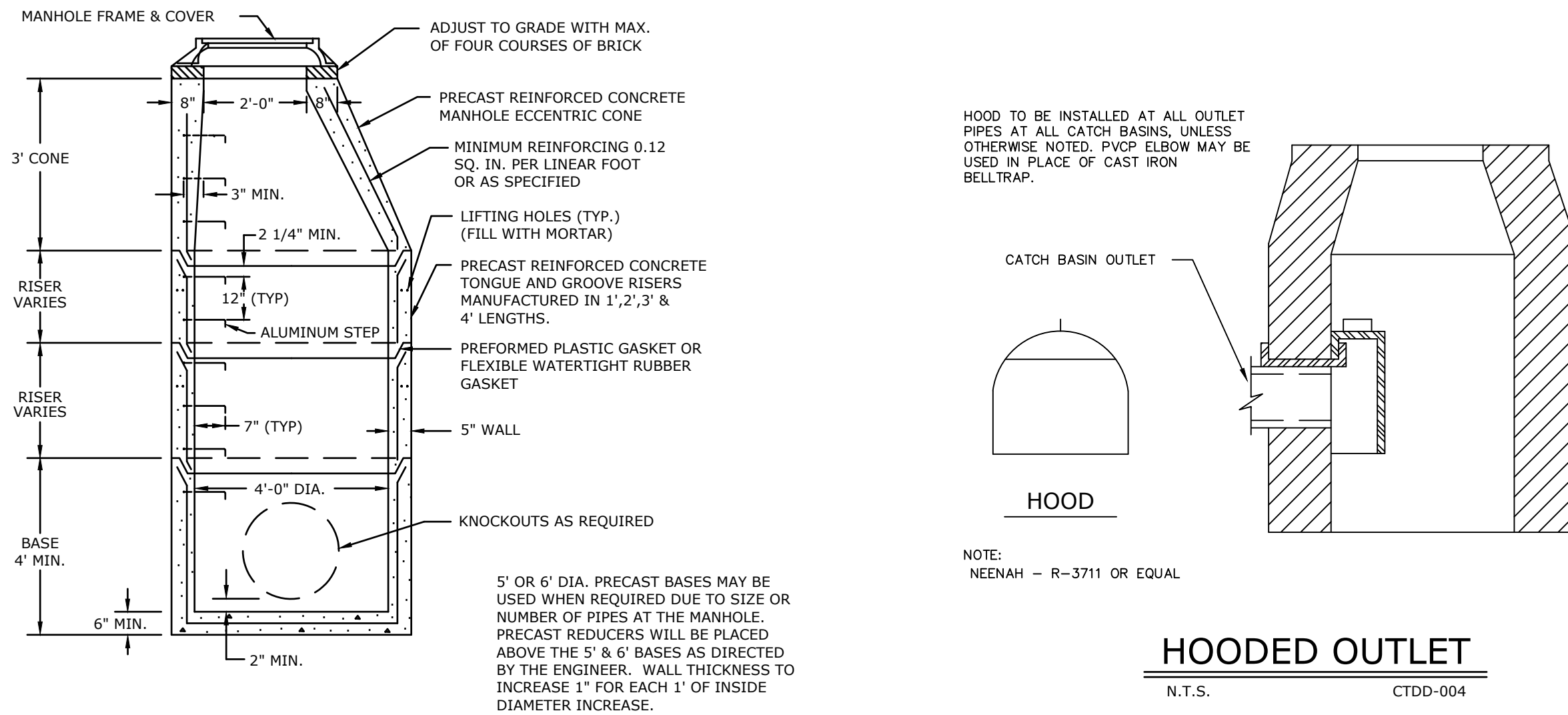
N.T.S. BLDD-004



Connecticut Department of Transportation

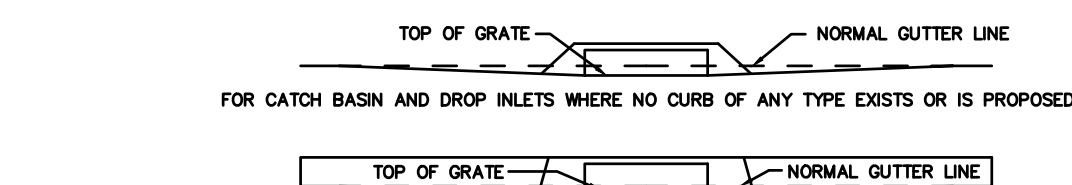
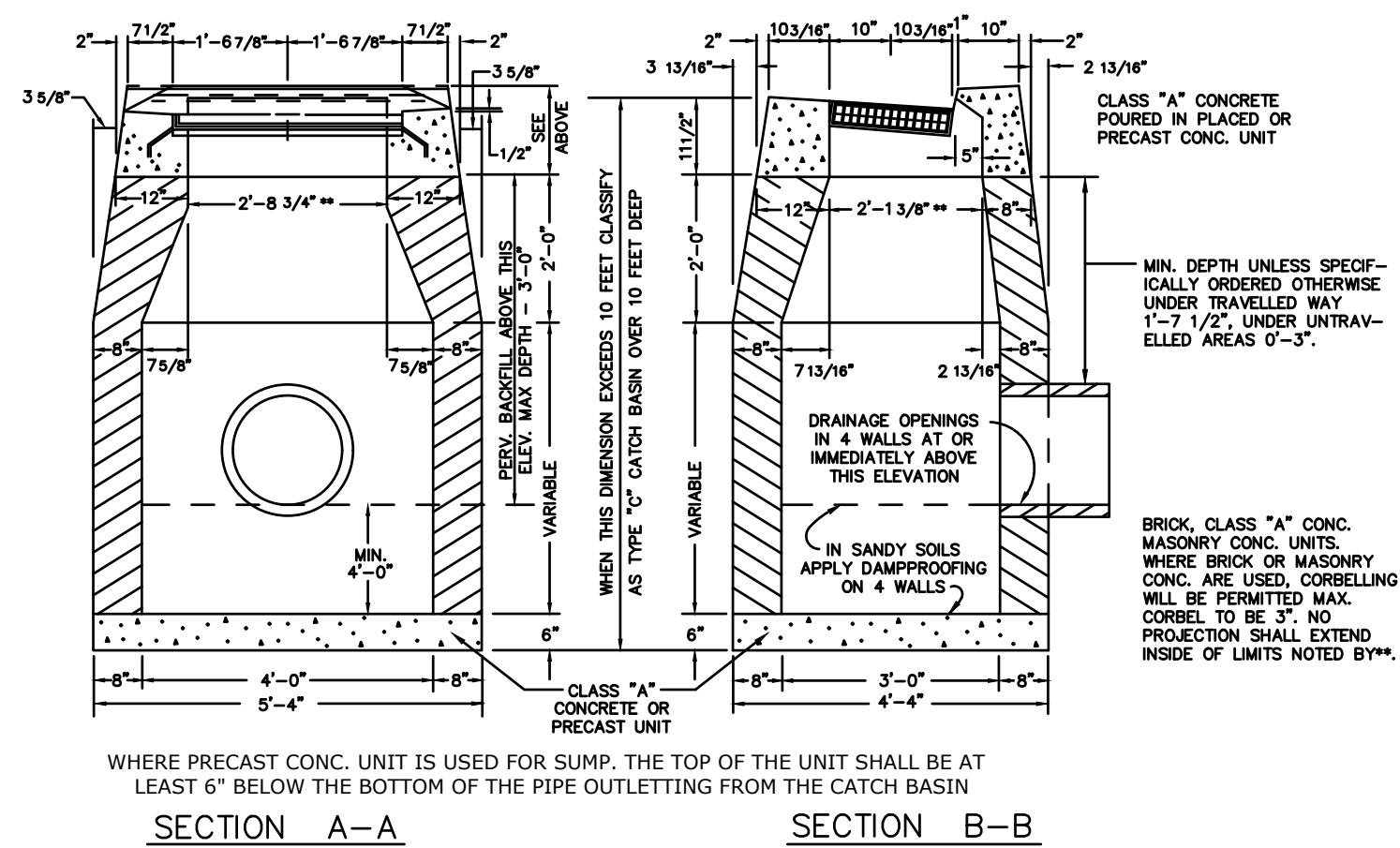
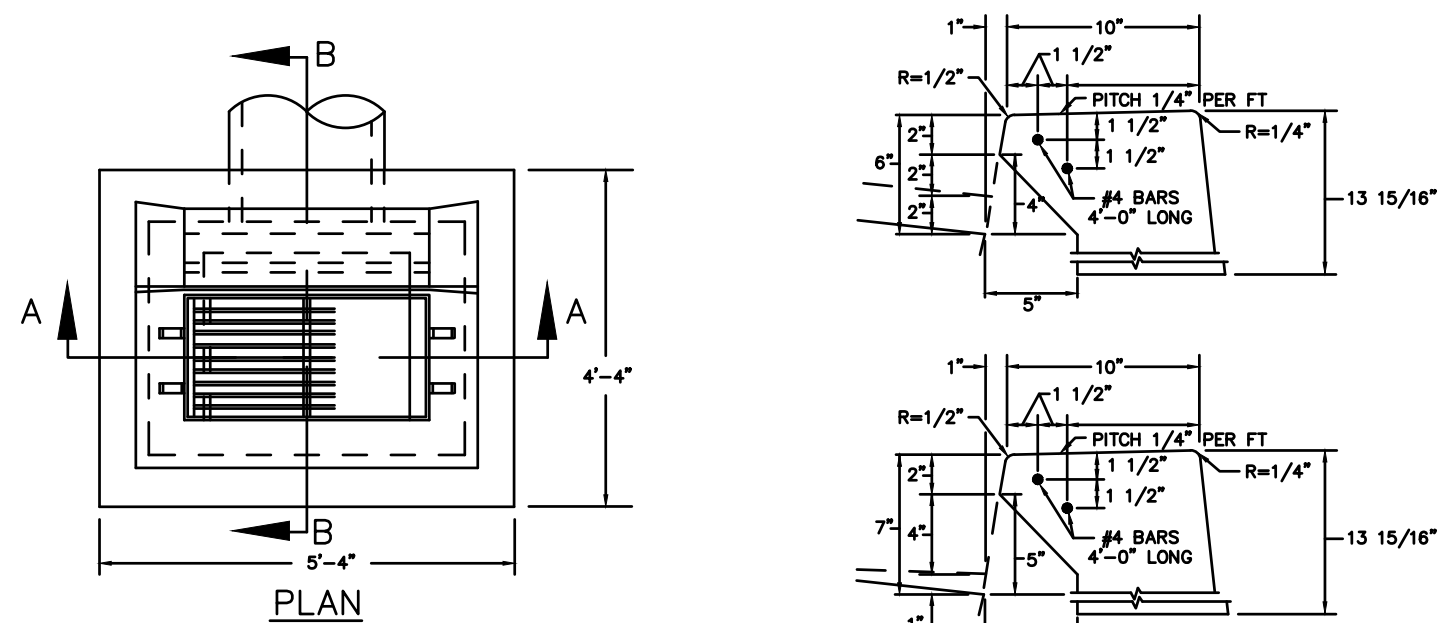
### TYPE "C-L" CATCH BASIN

N.T.S. SW-004



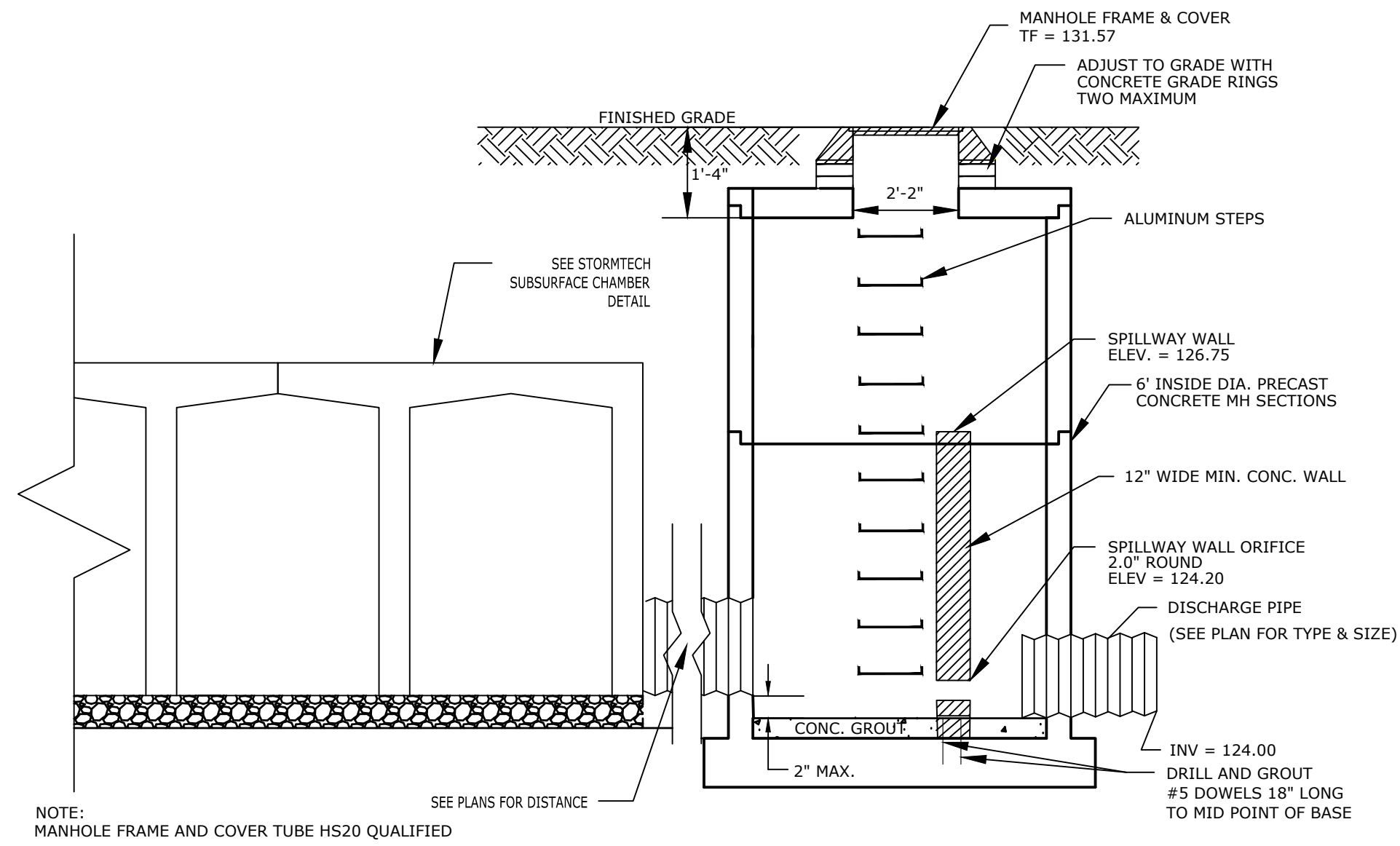
### PRECAST STORM MANHOLE DETAIL

N.T.S. ZDD-049



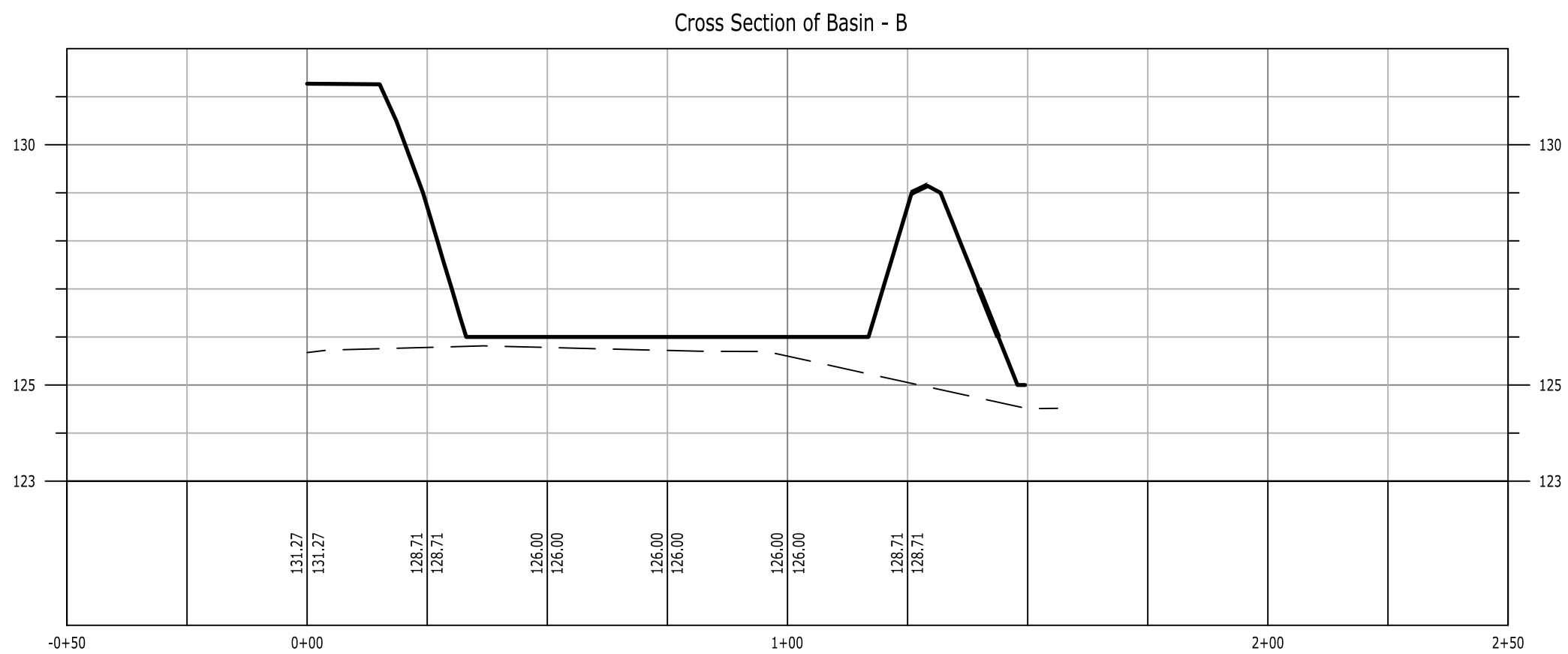
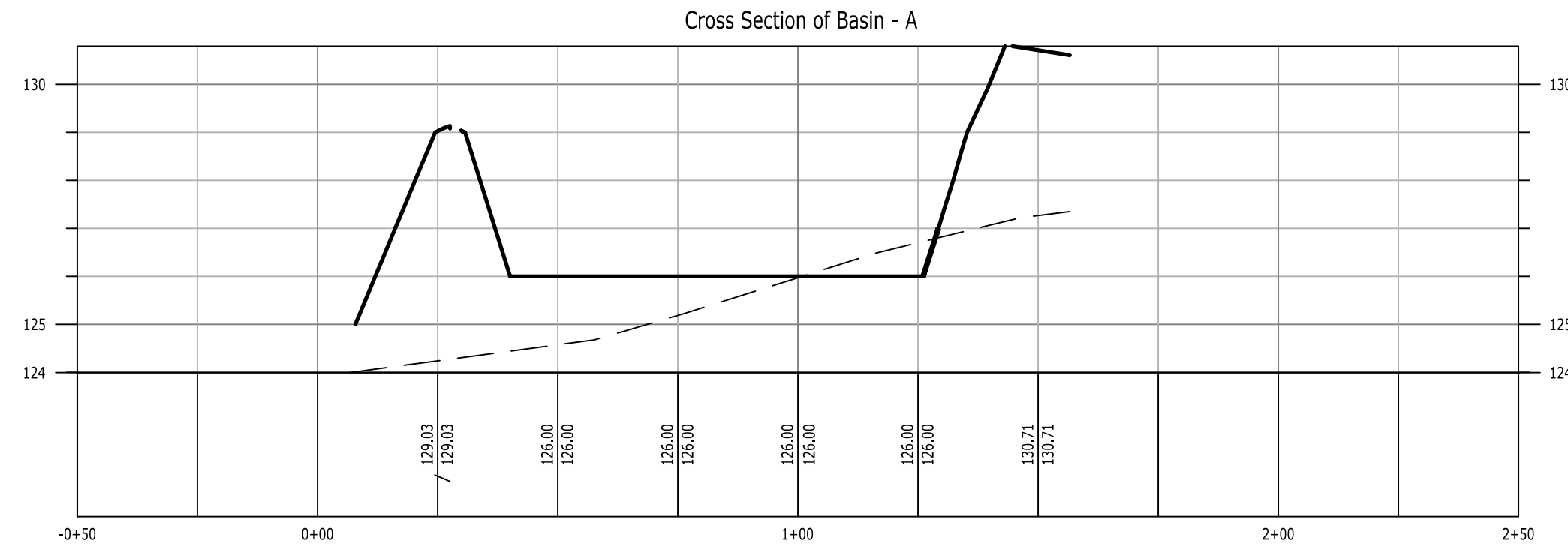
### TYPE "C" CATCH BASIN WITH HOOD

N.T.S. ZDD-027

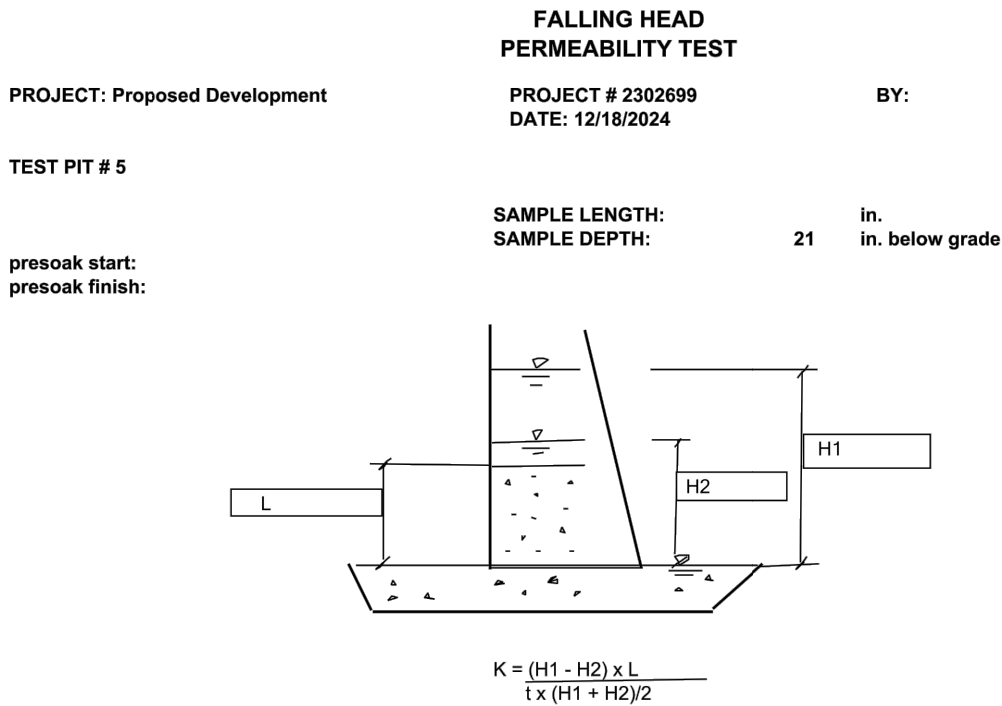


### CHAMBER SYSTEM OUTLET CONTROL STRUCTURE

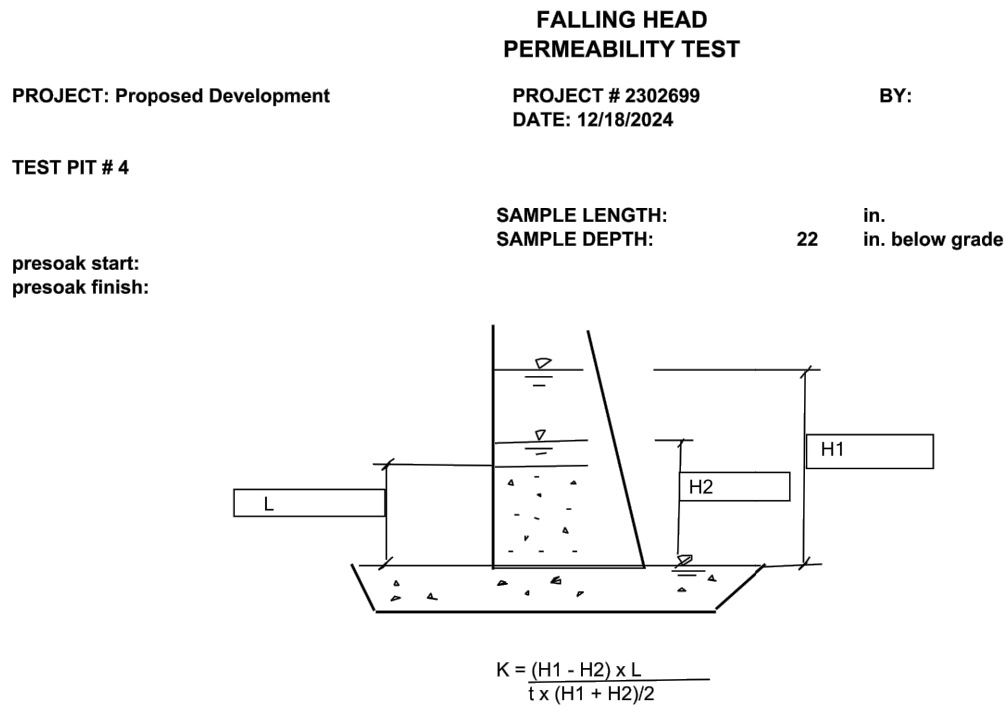
N.T.S.



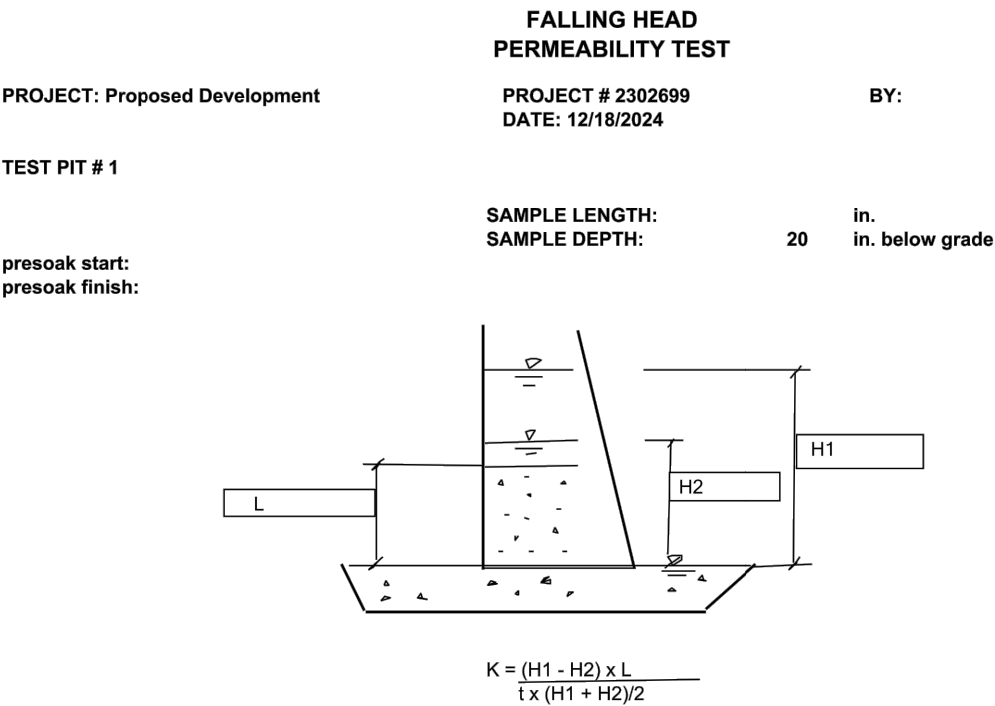
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Same For All				Calculated		
Time (min.)	H1 (in.)	H2 (in.)	H1 - H2 (in.)	infi rate in/min	infi rate in/hr	infi rate (ft./day)
5,000	0.000	1.125	1.125	0.225	13.500	27.000
10,000	1.125	2.250	1.125	0.225	13.500	27.000
15,000	2.250	2.875	0.625	0.125	7.500	15.000
20,000	0.000	0.875	0.875	0.175	10.500	21.000
25,000	0.875	2.000	1.125	0.225	13.500	27.000
30,000	2.000	2.750	0.750	0.150	9.000	18.000
35,000	0.000	0.500	0.500	0.100	6.000	12.000
40,000	0.000	1.125	0.625	0.125	7.500	15.000
50,000	1.125	1.563	0.438	0.088	5.250	10.500
55,000	1.563	2.500	0.938	0.188	11.250	22.500
60,000	2.500	2.750	0.250	0.050	3.000	6.000
				Average=	18.273	ft/day
				or	9.14	in/hr



Same For All				Calculated		
Time (min.)	H1 (in.)	H2 (in.)	H1 - H2 (in.)	infi rate in/min	infi rate in/hr	infi rate (ft./day)
5,000	0.000	0.250	0.250	0.050	3.000	6.000
10,000	0.250	0.438	0.188	0.038	2.250	4.500
15,000	0.438	0.750	0.313	0.063	3.750	7.500
20,000	0.750	0.750	0.000	0.000	0.000	0.000
25,000	0.750	0.875	0.125	0.025	1.500	3.000
30,000	0.875	1.000	0.125	0.025	1.500	3.000
35,000	1.000	1.188	0.188	0.038	2.250	4.500
40,000	1.188	1.250	0.063	0.013	0.750	1.500
45,000	1.250	1.375	0.125	0.025	1.500	3.000
50,000	1.375	1.500	0.125	0.025	1.500	3.000
				Average=	3.600	ft/day
				or	1.80	in/hr



Same For All				Calculated		
Time (min.)	H1 (in.)	H2 (in.)	H1 - H2 (in.)	infi rate in/min	infi rate in/hr	infi rate (ft./day)
10,000	0.125	-	0.125	0.013	0.750	1.500
20,000	0.125	-	0.125	0.013	0.750	1.500
30,000	0.125	-	0.125	0.013	0.750	1.500
40,000	0.125	-	0.125	0.013	0.750	1.500
50,000	0.125	-	0.125	0.013	0.750	1.500
				Average=	1.500	ft/day
				or	0.75	in/hr

BL Companies Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-5  
BL Project # 2302699  
Date: 12/18/2024

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
XXXX - BL Companies		Contractor			Datum	NAVD 88	
		Operator			Temperature		
		Make	Model		Weather		
		Bucket Capacity	Reach				
Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	Remark No.
0 to 12	Layer A	Dark Brown	Fine Sand	Slightly moist	E	TR	1. was not
12 to 25	Layer C1	Orange/Tan	Fine Sand and Silt	Moist	E	TR	1. was
25 to 51	Layer C2	Gray/Brown	Silt and Sand	Moist to Wet	E	TR	2. was
Bottom of Test Pit at 51 inches below ground elevation							
REMARKS:							
1. Mottling was/was not observed							
2. Groundwater was/was not observed							
3. Bedrock/Restrictive layer was/was not observed							
Depth to weeping: 40"							
Depth to ESHKW: 36"							
Depth to standing water: 43"							
TEST PIT PLAN		COBBLES AND BOULDERS	PROPORTIONS USED	LEGEND	EXCAVATION EFFORT		
		Size Range Classification	Letter Designation Cobble (C) Small (S) 24" - 36" 36" and Larger	TRACE (TR) 0-10% LITTLE (L) 10-30% SOME (SO) 30-35% AND 35-50%	OCCASIONAL FEW FREQUENT NUMEROUS	E - Easy M - Moderate D - Difficult	Observed Depth to Groundwater



Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-14  
BL Project # 2302699  
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum NAVD 88 126.5 ft.		
		Operator			Temperature 70°		
		Make	Komatsu	Model		Weather Cloudy and Drizzly	
		Bucket Capacity		Reach			
Depth (in.)	SOIL DESCRIPTION			Excav. Effort	Cobble and Boulder Data	Remark No.	
0 to 11	Dark Brown Topsoil			E	NONE	1. was	
11 to 30	Tan/Brown Loom and Silt			E	NONE		
30 to 63	Gray Very fine sand little Silt			E	NONE		
Bottom of Test Pit at 63 inches below ground elevation							
REMARKS:							
1. Mottling was observed at 40 in.							
2. Groundwater was not observed							
3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED QUANTITATIVE TERMS		LEGEND QUALITATIVE TERMS		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
						Observed Depth to Groundwater	

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Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-13  
BL Project # 2302699  
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum NAVD 88 130.7 ft.		
		Operator			Temperature 70°		
		Make	Komatsu	Model		Weather Cloudy and Drizzly	
		Bucket Capacity		Reach			
Depth (in.)	SOIL DESCRIPTION			Excav. Effort	Cobble and Boulder Data	Remark No.	
0 to 24	Dark Brown Topsoil			E	NONE	1. was	
24 to 48	Tan/Brown Sand and Silt			E	NONE		
48 to 96	Gray Very fine Silt and Sand			E	NONE		
Bottom of Test Pit at 96 inches below ground elevation							
REMARKS:							
1. Mottling was observed at 72 in.							
2. Groundwater was observed at 96 in.							
3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED QUANTITATIVE TERMS		LEGEND QUALITATIVE TERMS		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
						Observed Depth to Groundwater	

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Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-12  
BL Project # 2302699  
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum NAVD 88 125.3 ft.		
		Operator			Temperature 70°		
		Make	Komatsu	Model		Weather Cloudy and Drizzly	
		Bucket Capacity		Reach			
Depth (in.)	SOIL DESCRIPTION			Excav. Effort	Cobble and Boulder Data	Remark No.	
0 to 12	Dark Brown Topsoil			E	NONE	1. was	
12 to 40	Light Tan/Brown Sand little Silt			E	NONE		
40 to 84	Gray Very fine sand little Silt			E	NONE		
Bottom of Test Pit at 84 inches below ground elevation							
REMARKS:							
1. Mottling was observed at 25 in.							
2. Groundwater was observed at 84 in. seeping in							
3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED QUANTITATIVE TERMS		LEGEND QUALITATIVE TERMS		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
						Observed Depth to Groundwater	

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Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-11  
BL Project # 2302699  
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum NAVD 88 127.2 ft.		
		Operator			Temperature 70°		
		Make	Komatsu	Model		Weather Cloudy and Drizzly	
		Bucket Capacity		Reach			
Depth (in.)	SOIL DESCRIPTION			Excav. Effort	Cobble and Boulder Data	Remark No.	
0 to 12	Dark Brown Topsoil			E	NONE	1. was	
12 to 36	Tan/Brown Fine Sand and Silt			E	NONE		
36 to 60	Gray/Brown Sand with some Silt			E	NONE		
Bottom of Test Pit at 60 inches below ground elevation							
REMARKS:							
1. Mottling was observed at 12 in.							
2. Groundwater was not observed							
3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED QUANTITATIVE TERMS		LEGEND QUALITATIVE TERMS		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
						Observed Depth to Groundwater	

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10th Floor  
Hartford, CT 06103  
(860) 249-2200



PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002

REVISIONS  
No. 1  
Date 7/2/2025  
Desc. RESPONSE TO TOWN COMMENTS

Designed J.N.B.  
Drawn J.N.B.  
Reviewed R.M.R.  
Scale N.T.S.  
Project No. 2302699  
Date 2/10/2025

CAD File: C2302699-110

Title

GRADING AND DRAINAGE DETAILS

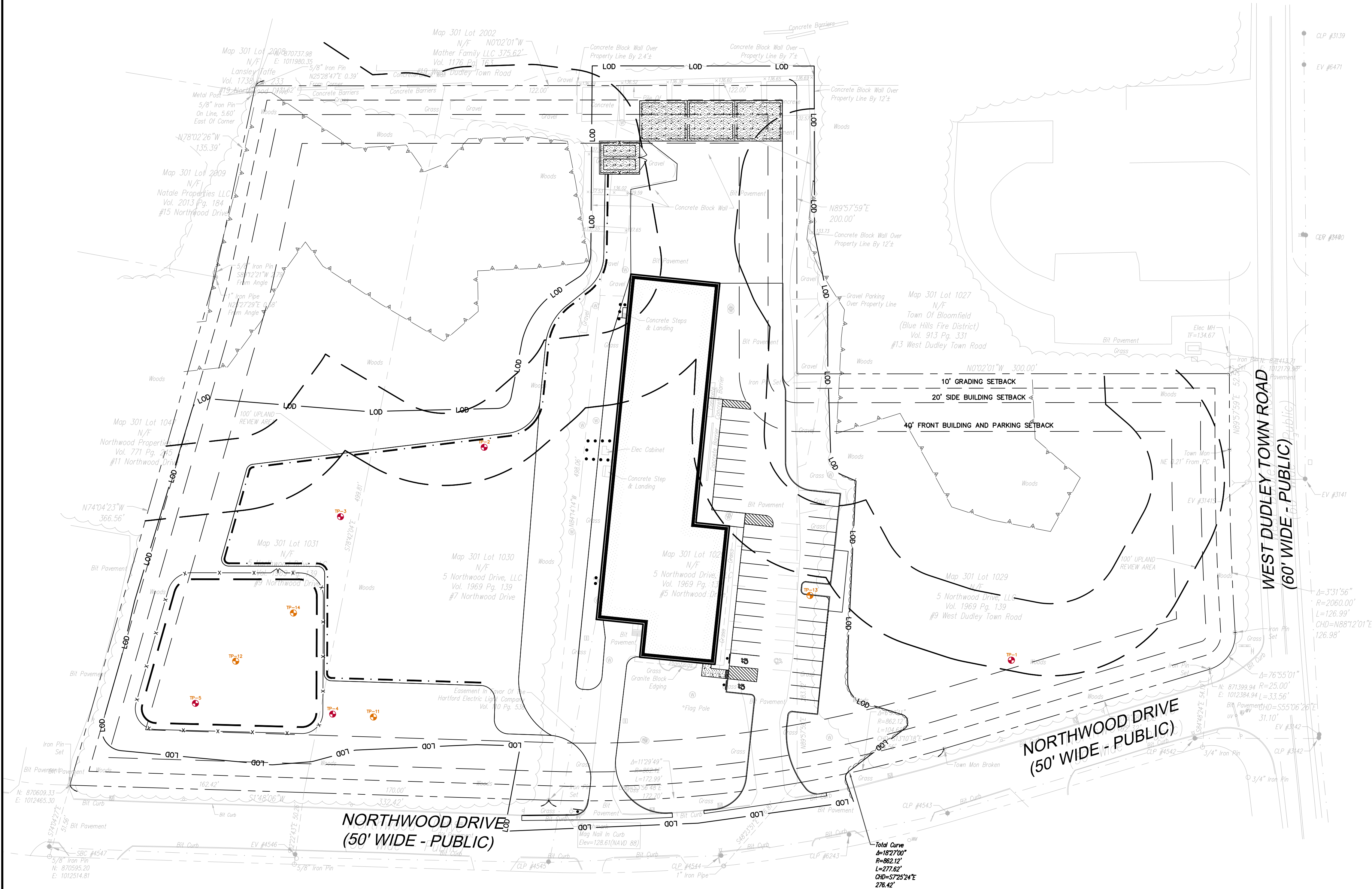
Sheet No.

C2.103

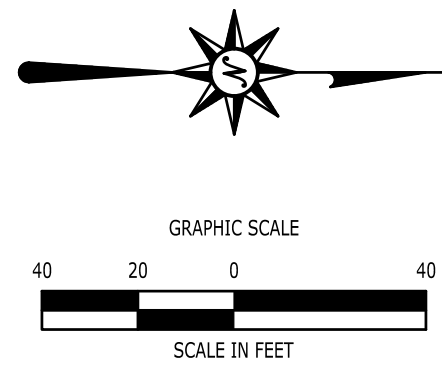
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PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002

REVISIONS  
DESC.  
RESPONSE TO TOWN COMMENTS

No.  
1

Designed J.N.B.  
Drawn J.N.B.  
Reviewed R.M.R.  
Scale 1"=40'  
Project No. 2302699  
Date 2/10/2025

CAD File:  
C2302699-10

Title  
TEST PIT LOCATION  
MAP

Sheet No.

C2.104

PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002










REVISIONS		Desc. RESPONSE TO TOWN COMMENTS
No.	Date	
1	7/3/2025	
Designed		J.N.
Drawn		J.N.
Reviewed		R.M.
Scale		1"=4'
Project No.		23026
Date		2/10/20
CAD File:		
C:\302699-40		

Title  
EROSION AND  
SEDIMENT CONTROL  
PLAN

Sheet No.

C4.00

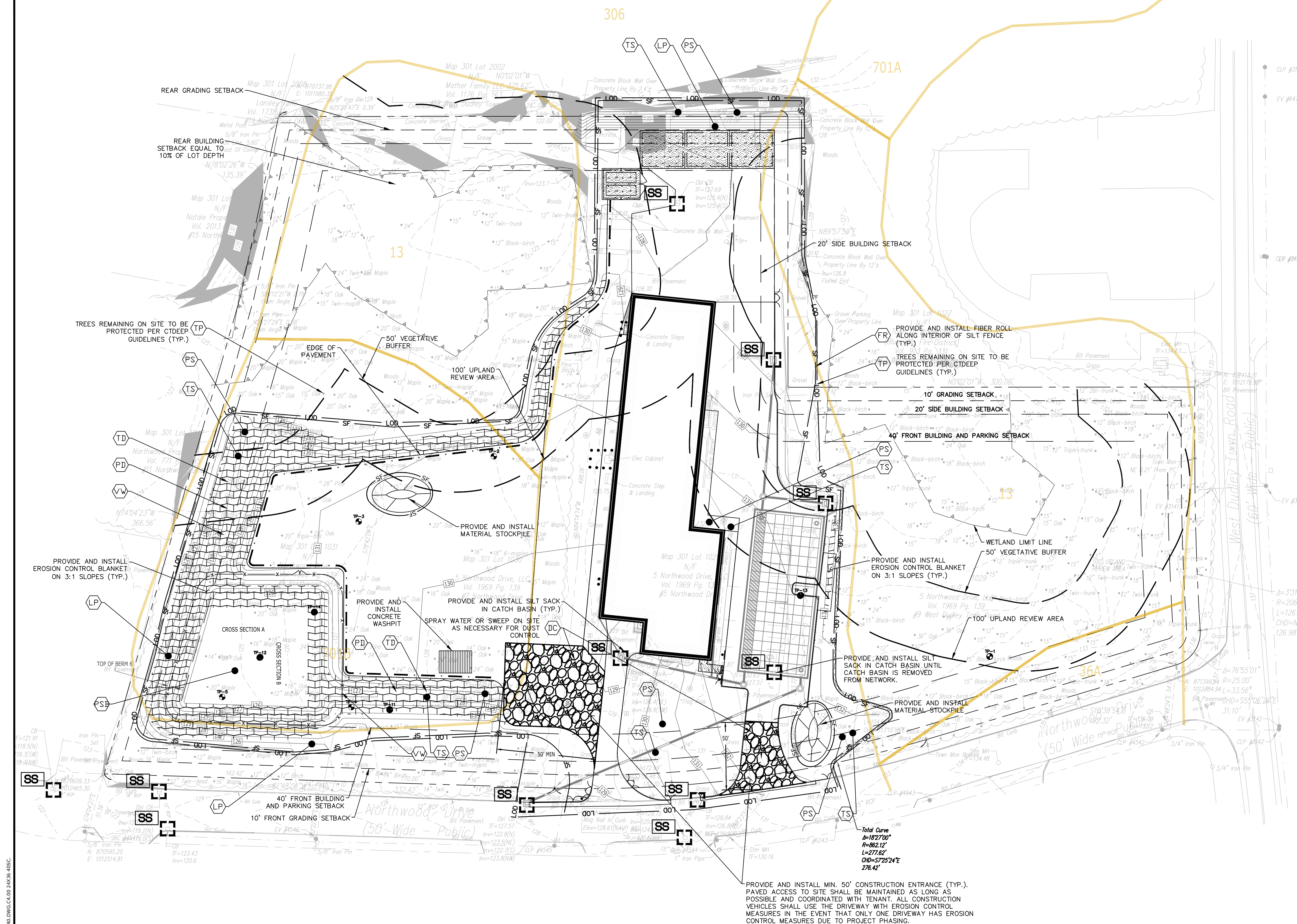
### EROSION CONTROL LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITEWORK CONTRACT LIMIT LINE
	SILT FENCE BARRIER
	NRCS SOIL BOUNDARY
	SILT SACK INLET PROTECTION
	CONCRETE WASH PIT
	TEMPORARY MATERIAL STOCKPILE
	EROSION CONTROL BLANKET
	CONSTRUCTION ENTRANCE

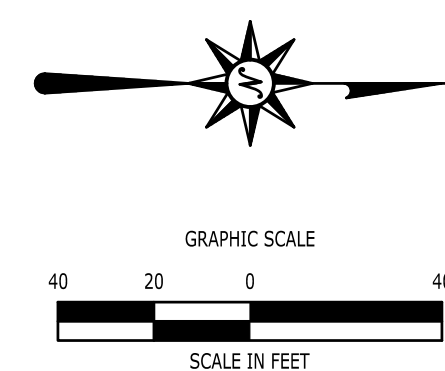
TP	TREE PROTECTION
DC	DUST CONTROL
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
LP	LANDSCAPE PLANTING
FR	FIBER ROLL
VW	VEGETATED WATERWAY
TD	TEMPORARY DIVERSION
PD	PERMANENT DIVERSION
PSB	PUMP SETTLING BASIN

### SOIL TYPE LEGEND

9	SCITICO, SHAKER, AND MAYBID SOILS
13	WALPOLE SANDY LOAM
36A	WINDSOR LOAMY SAND
306	UDORTHERTS-URBAN LAND COMPLEX
701A	NINIGRET FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
701B	NINIGRET FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES



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SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES - CONNECTICUT

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SUMMER 2025 WITH COMPLETION ANTICIPATED WINTER 2025. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS COMMISSION AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT BLOOMFIELD INLAND WETLANDS AND WATERCOURSES COMMISSION AGENT FORTY- EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS COMMISSION AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE.
- CONSTRUCT STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS AT CONSTRUCTION ENTRANCES/EXITS AND INSTALL FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE. STOCKPILE CHIPS. STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
- BUILDING AND SITE DEMOLITION AND REMOVAL, PAVEMENT REMOVAL, REFER TO DEMOLITION PLAN.
- INSTALL SILT FENCE. COMMENCE INSTALLATION OF STORM DRAINAGE SYSTEM.
- COMMENCE EARTHWORK. INSTALL ADDITIONAL SEDIMENT AND EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAGING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
- THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENT BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVEN SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL UTILITIES. COMPLETE STORM DRAINAGE SYSTEM.
- INSTALL SITE LIGHTING AND TRASH ENCLOSURE.
- COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
- CONDUCT FINE GRADING.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
- PLACE "C" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED AUGUST 15-OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- LANDSCAPE ISLANDS, INTERIOR NON-PAVED AREAS, AND PERIMETER AREAS.
- INSTALL SIGNING AND PAVEMENT MARKINGS
- CLEAN STORM DRAINAGE PIPE STRUCTURES, DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
- UPON DIRECTION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION AGENT, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

CLEARING AND GRUBBING OPERATIONS

- ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
- FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS

- PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN). SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT. AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.
- PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.
- SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.
- FINAL GRADING AND PAVING OPERATIONS
- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
- AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
  - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
- POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
- LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
- BACKFILL THE TRENCH AND COMPACT.
- HAY BALES/STRAW BALES
  - BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
  - BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.
  - EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.
  - THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.

- THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE, TO ENSURE THAT RUN-OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

- SILTATION FENCE
  - ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
  - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT.
  - HAY BALES/STRAW BALES
    - ALL HAY BALE/STRAW BALE RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.
    - DEPOSITS SHALL BE REMOVED AND CLEANED-OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.
  - SEDIMENT BASINS/SEDIMENT TRAPS
    - CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP LOCAL AUTHORITIES OR ENGINEER.
    - ALL SEDIMENT BASINS AND/OR SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
    - SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.
    - SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

SEDIMENT AND EROSION CONTROL PLAN

- HAY BALE/STRAW BALE FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS IF CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.
- CATCH BASINS WILL BE PROTECTED WITH HAY BALE/STRAW BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS, THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT SOIL AND EROSION CONTROL GUIDELINES LATEST EDITION.
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.
- SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION OFFICE OR AUTHORITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES

- THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE AUTHORITY HAVING JURISDICTION OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH AUTHORITY HAVING JURISDICTION TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE AUTHORITY HAVING JURISDICTION FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING EROSION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
  - A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
  - THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
  - TURBIDITY TESTING AS REQUIRED BY THE GENERAL PERMIT (NPDES).
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH CT SOIL AND EROSION CONTROL GUIDELINES LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.
- SEDIMENT BASINS AND SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE CONTRIBUTING TO THE BASIN, PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- COMPLY WITH REQUIREMENTS OF CQS SECTION 22A 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
- STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY ON SITE EXCAVATION AND SHALL BE MAINTAINED DURING ALL DEMOLITION, EXCAVATION AND CONSTRUCTION ACTIVITIES.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE.
- SILT FENCE AND OTHER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION. PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCATE ENVIROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE TENCATE 140N OR 170N, OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- WHERE INDICATED ON SEDIMENT AND EROSION CONTROL PLANS USE NEW HAY/STRAW BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASH PITS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND AUTHORITY HAVING JURISDICTION.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION, OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT BASINS AND SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEANOUT MARKER ELEVATION. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNER'S CONSTRUCTION REPRESENTATIVE. REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY/STRAW BALES AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
- CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.

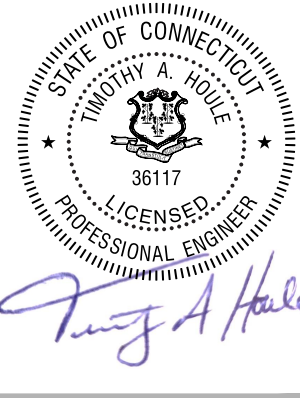
- ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- MAINTAIN ALL PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION. FILE NOT (NOTICE OF TERMINATION) WITH AUTHORITY HAVING JURISDICTION RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.

NARRATIVE:

THE PROPOSED CONTRACTOR'S YARD DEVELOPMENT AT 5 NORTHWOOD DRIVE WILL CONSIST OF AN EXPANDED PARKING AREA ON THE NORTH SIDE OF THE EXISTING BUILDING AND A PAVED CONTRACTOR'S YARD FOR OUTDOOR STORAGE ON THE SOUTH SIDE OF THE BUILDING WITH ASSOCIATED GRADING, DRAINAGE, AND LANDSCAPING. THE TOTAL SITE IS APPROXIMATELY 6.62 ACRES WITH THE LIMIT OF DISTURBANCE AROUND 4 ACRES. THE PROJECT SITE IS LOCATED IN THE TOWN OF BLOOMFIELD, HARTFORD COUNTY, CONNECTICUT. THE SITE IS LOCATED IN FEMA FLOOD ZONE V, AREA OF MINIMAL FLOODING. THE OVERALL SITE HAS AN AVERAGE RUNOFF COEFFICIENT OF APPROXIMATELY .75. THE PROJECT IS WITHIN THE NORTH BRANCH OF THE PARK RIVER DRAINAGE BASIN. A PORTION OF THE STORMWATER DRAINAGE DRAINS TO THE MUNICIPAL STORMWATER NETWORK IN NORTHWOOD DRIVE. THE OTHER PORTION OF THE STORMWATER DRAINAGE DISCHARGES TO THE WETLANDS ON THE WEST SIDE OF THE SITE. AT OR BELOW EXISTING RUNOFF FLOW RATE AND VOLUME. IF OR WHEN THE WETLAND FLOODS, IT DISCHARGES TO NORTHWOOD DRIVE. ULTIMATELY ALL RUNOFF FROM THE SITE ENTERS THE NORTHWOOD DRIVE STORMWATER DRAINAGE NETWORK. FURTHER DETAILS REGARDING THE EXISTING AND PROPOSED DRAINAGE ON SITE CAN BE FOUND IN THE STORMWATER MANAGEMENT REPORT SUBMITTED TO THE TOWN OF BLOOMFIELD. ONE OF THE MAIN EROSION CONTROL CONCERNS AT THIS SITE IS THE GRADING AND PROXIMITY TO WETLANDS. EROSION CONTROL BLANKETS WILL BE DEPLOYED AT DISTURBED SLOPES GREATER THAN 3:1 THAT ARE NOT ACTIVELY BEING WORKED ON. ADDITIONALLY, SILT FENCE AT THE TOE OF STEEP SLOPES AND AROUND THE LIMIT OF DISTURBANCE, STONE CONSTRUCTION ENTRANCES, AND SILT SACKS IN INLETS SHALL BE USED TO MITIGATE EROSION.



100 Constitution Plaza  
10th Floor  
Hartford, CT 06103  
(860) 249-2200



PROPOSED CONTRACTOR YARD  
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD  
BLOOMFIELD, CONNECTICUT 06002

REVISIONS  
No. 1  
Date 7/2/2025  
Desc. RESPONSE TO TOWN COMMENTS

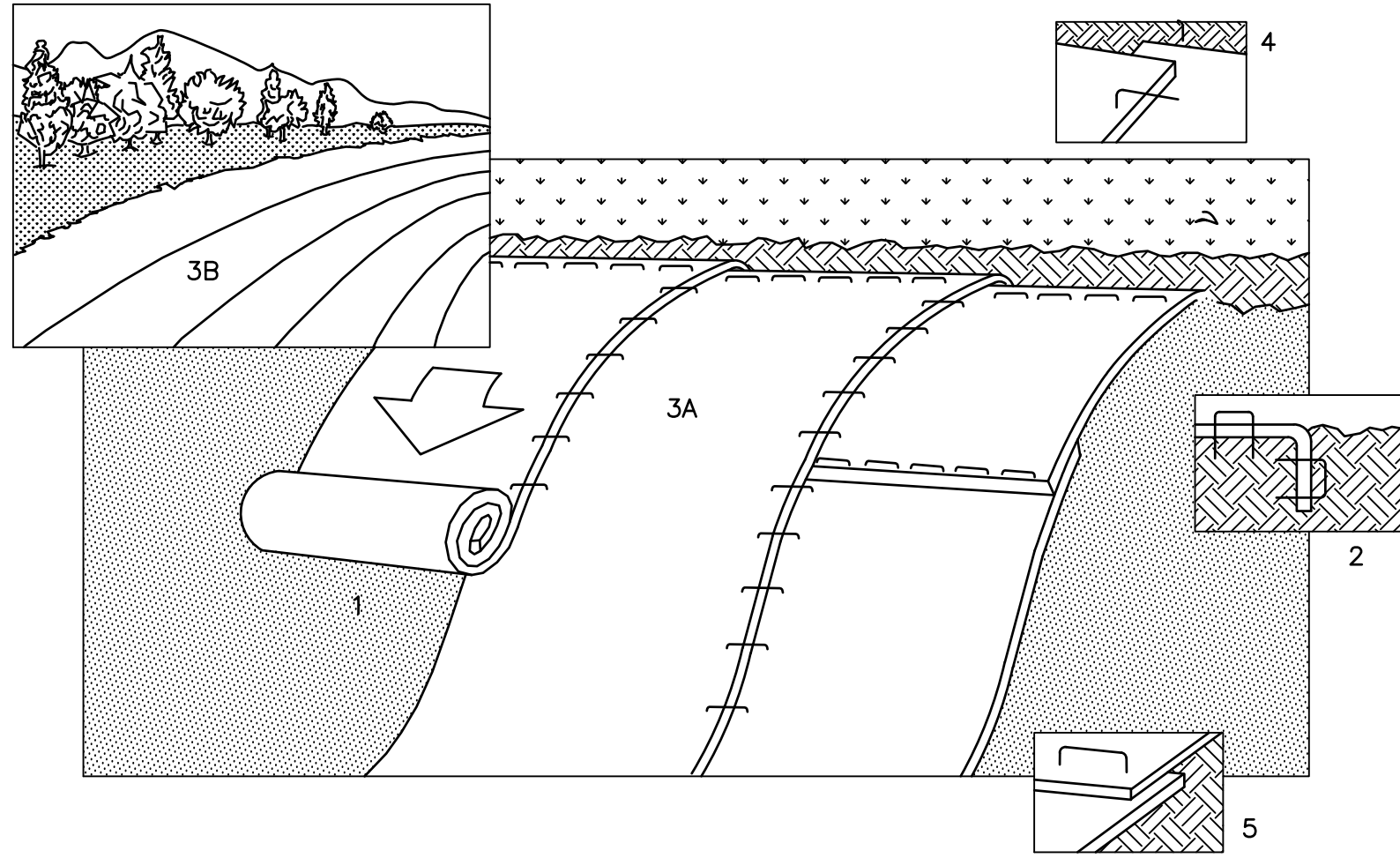
Designed K.R.  
Drawn K.R.  
Reviewed R.M.R.  
Scale N.T.S.  
Project No. 2302699  
Date 2/10/2025  
CAD File: C2302699-410

Title

EROSION AND  
SEDIMENT CONTROL  
NOTES

Sheet No.

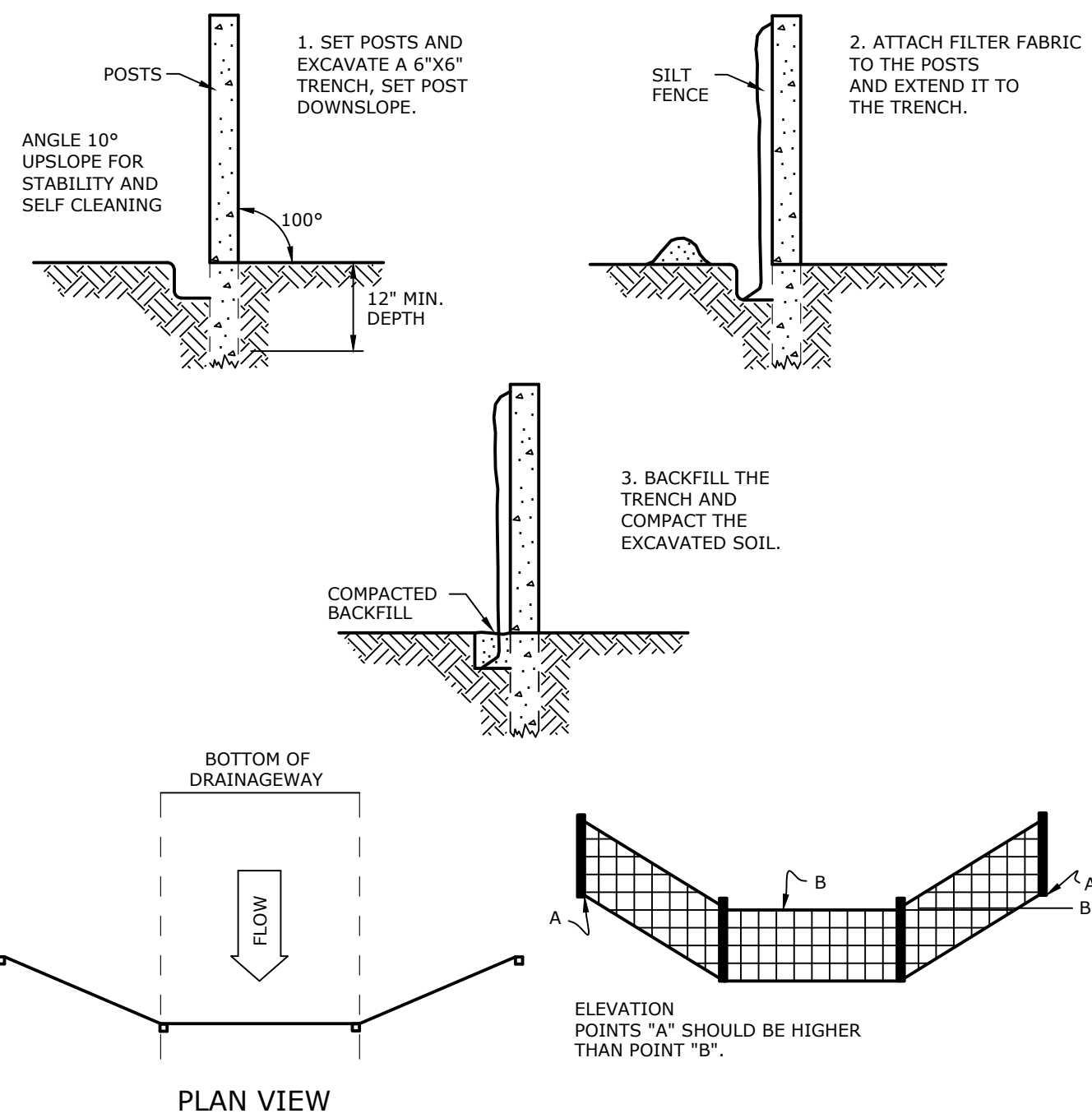
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1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. BLANKET SHALL BE NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL.

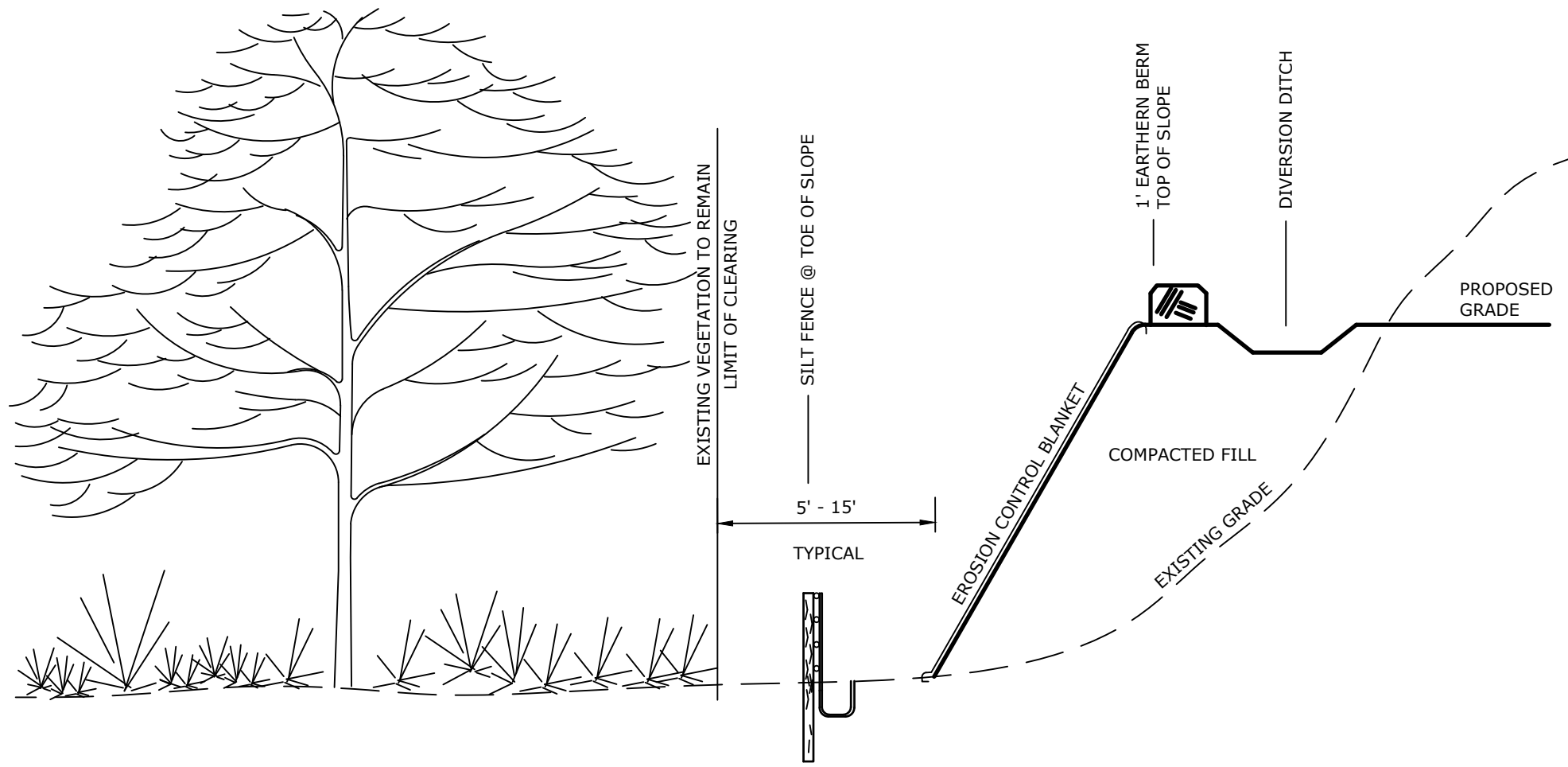
### SLOPE STABILIZATION DETAIL

N.T.S. BLEC-010



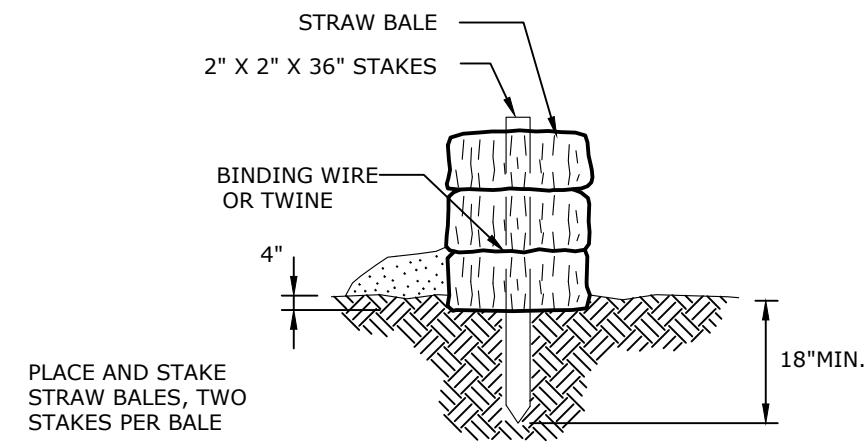
### SILT FENCE BARRIER

N.T.S. CTEC-003



### TYPICAL EROSION CONTROL ON SLOPES

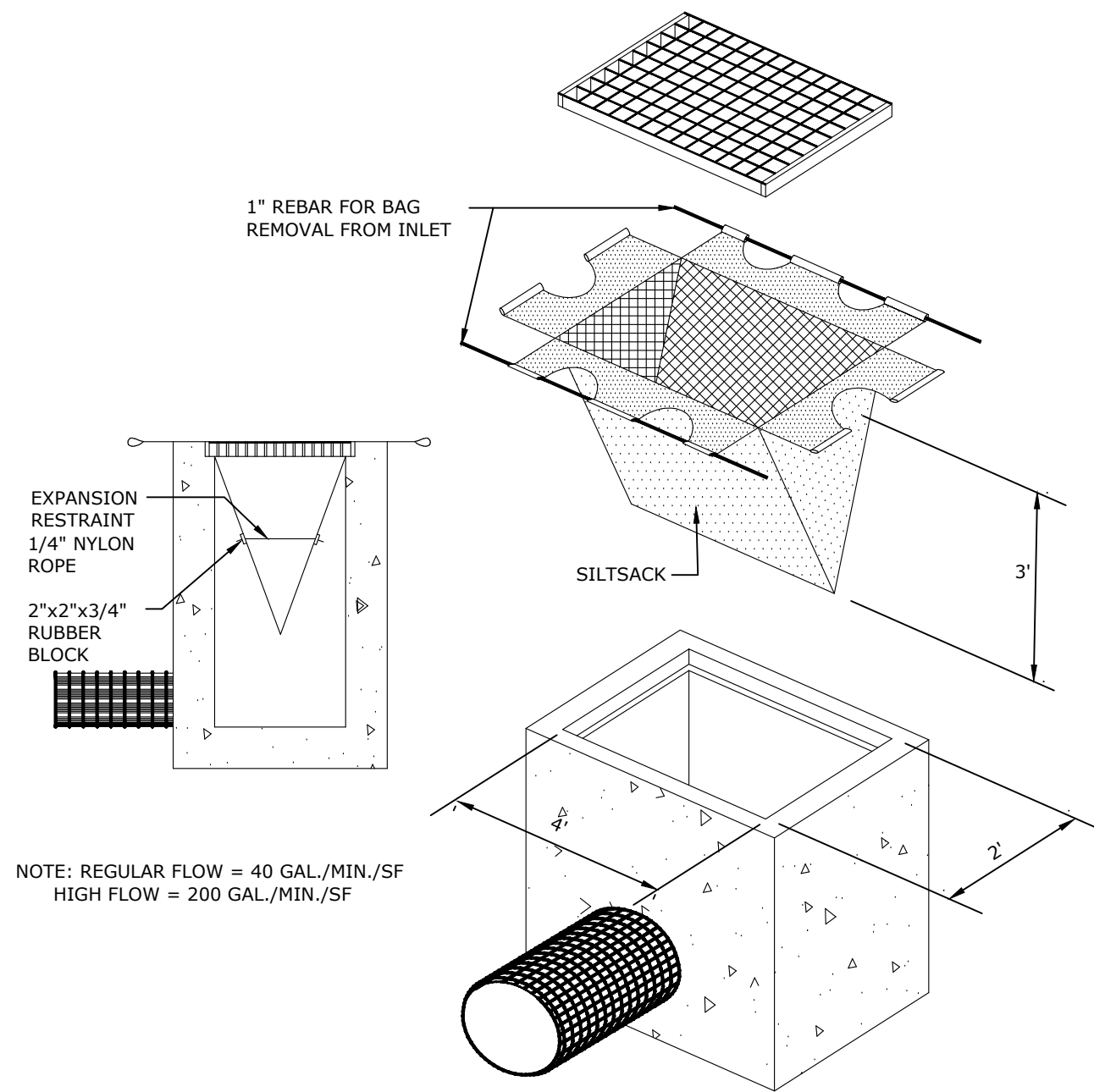
N.T.S. BLEC-011



STRAW BALE BARRIERS SHOULD NOT BE USED FOR MORE THAN 3 MONTHS  
SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE BARRIER.  
ANY SECTION OF STRAW BALE BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

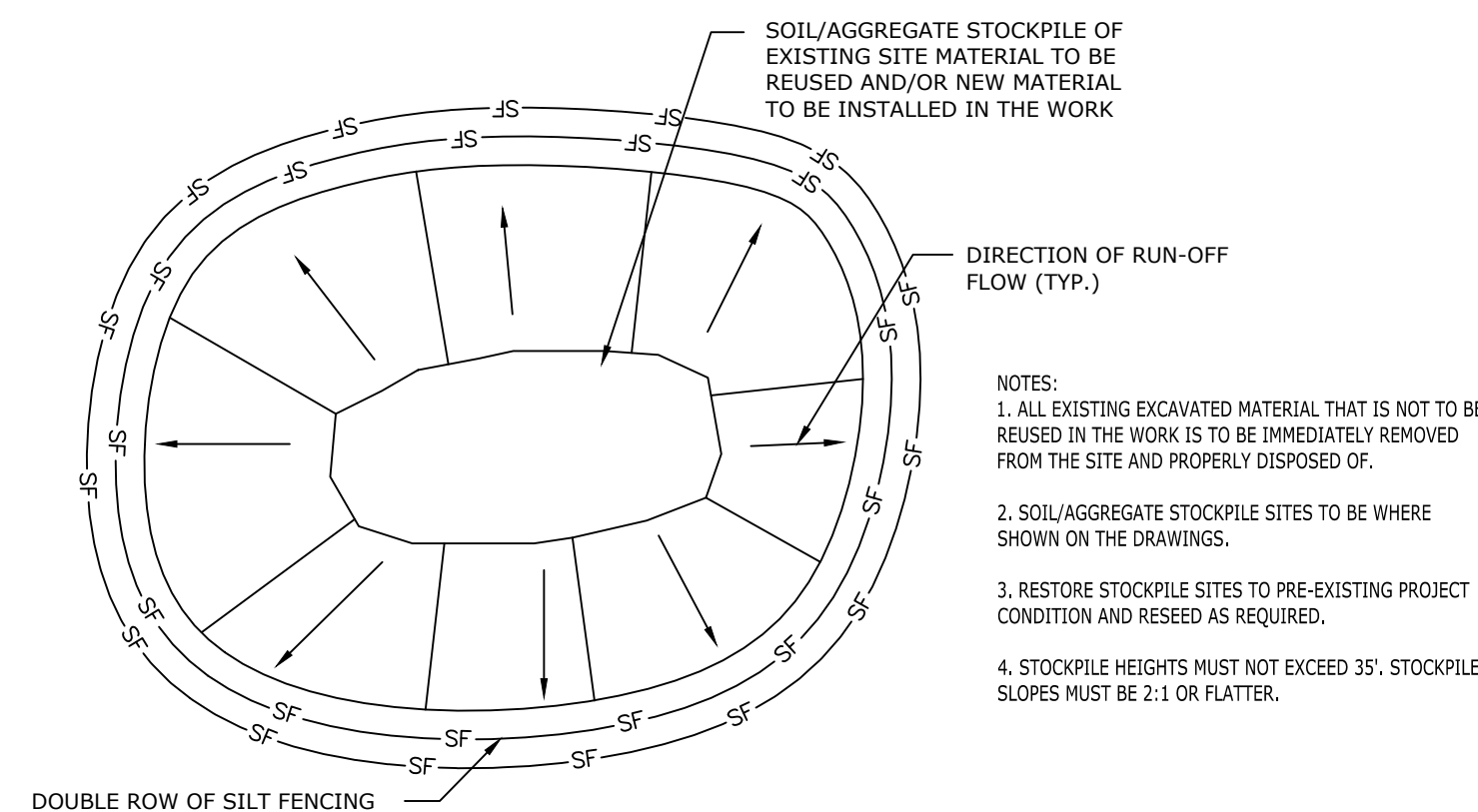
### STRAW BALE DETAIL

N.T.S. BLEC-007



### SILTSACK DETAIL

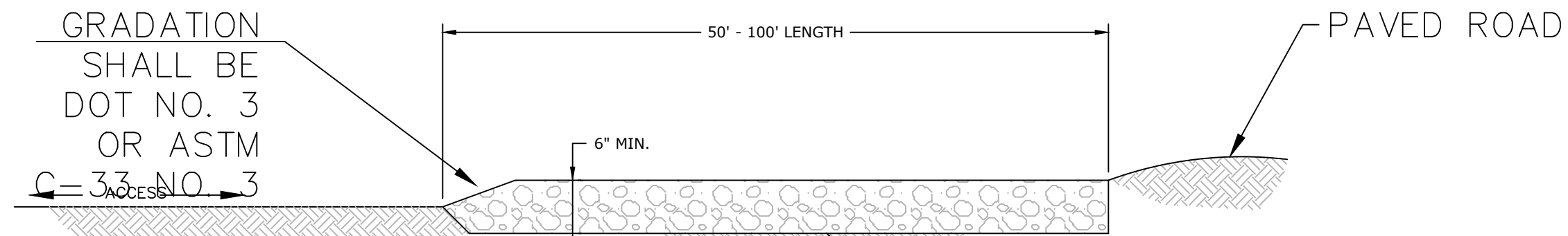
N.T.S. BLEC-005



### MATERIALS STOCKPILE DETAIL

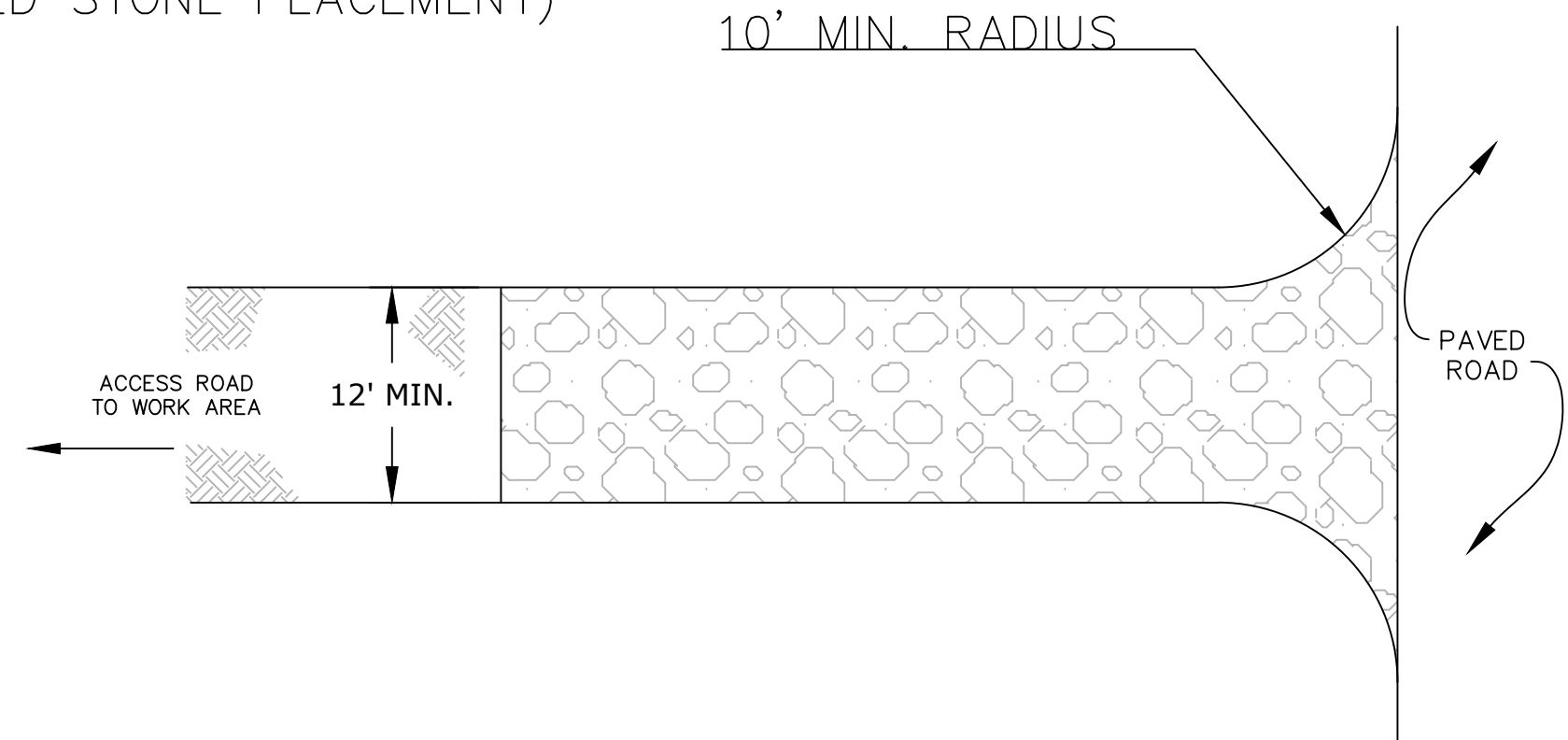
N.T.S. BLEC-006

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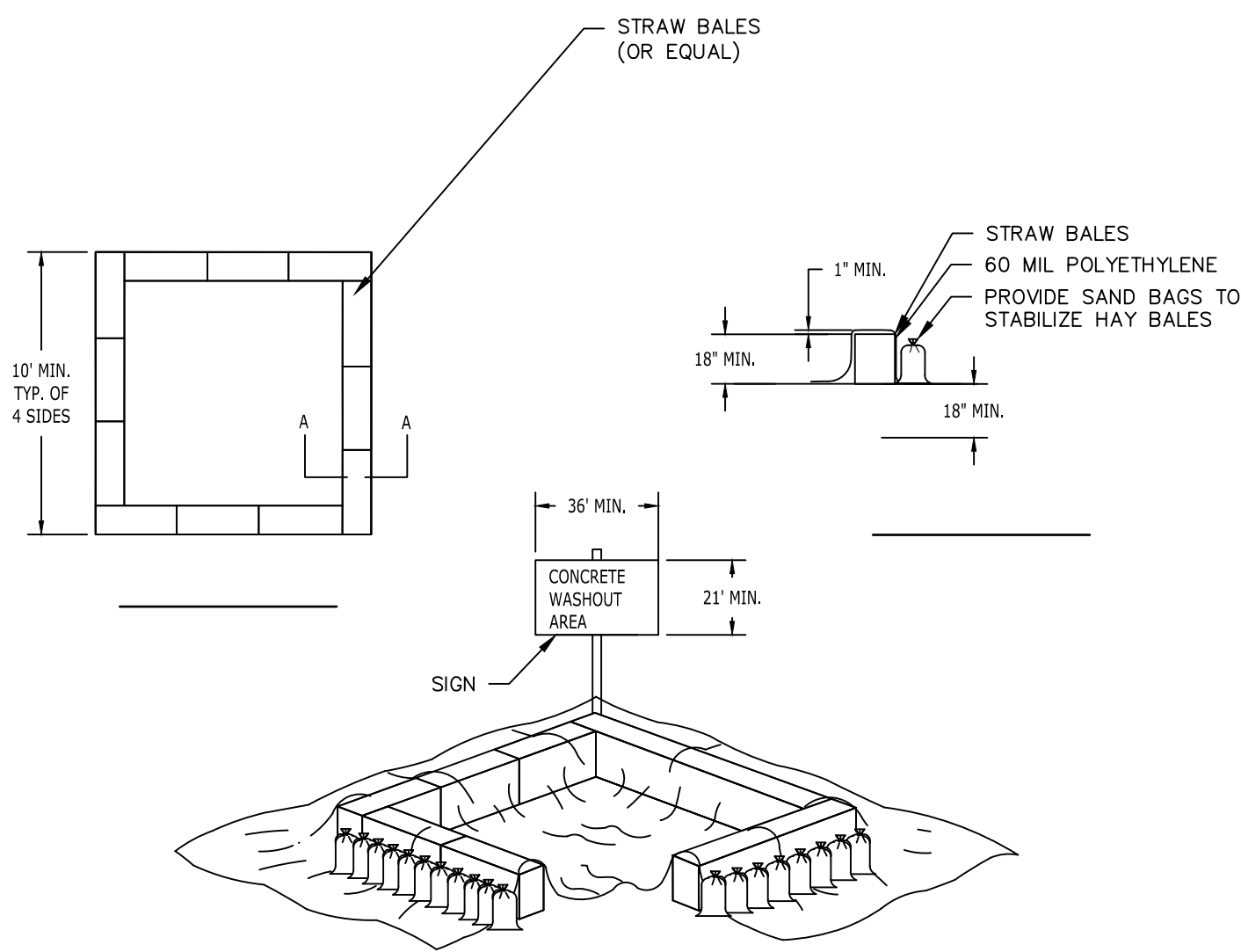
STRIPPED GROUND LINE  
(REMOVE TOPSOIL AND ORGANICS PRIOR TO CRUSHED STONE PLACEMENT)

INSTALL SUB-BASE OF FREE DRAINING BACKFILL OR ROAD STABILIZATION GEOTEXTILE AS NECESSARY ON UNSTABLE SOILS.



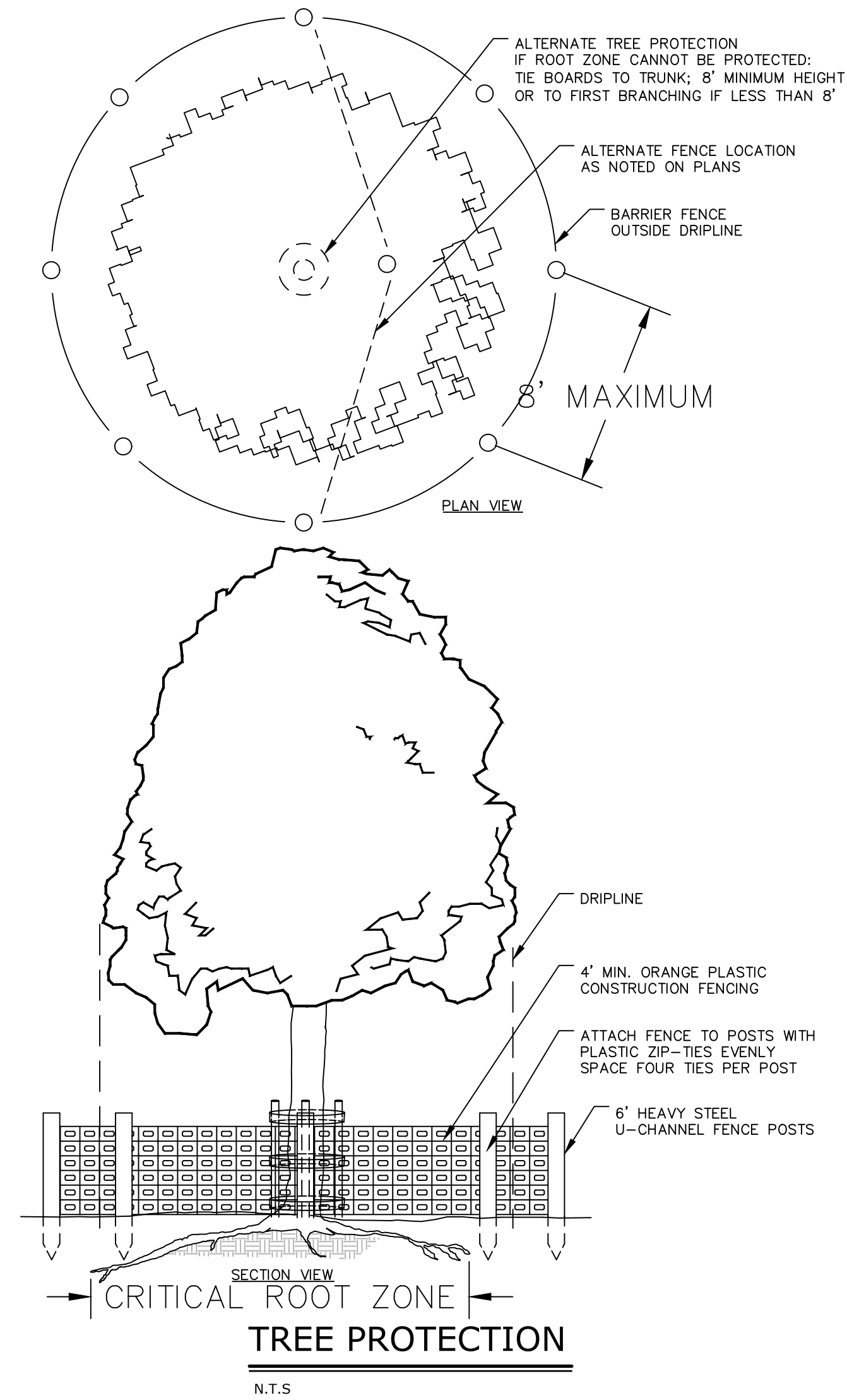
**TYPICAL CONSTRUCTION ENTRANCE**

N.T.S. CT DEEP CE-2



**CONCRETE WASH PIT DETAIL**

N.T.S.



**TREE PROTECTION**

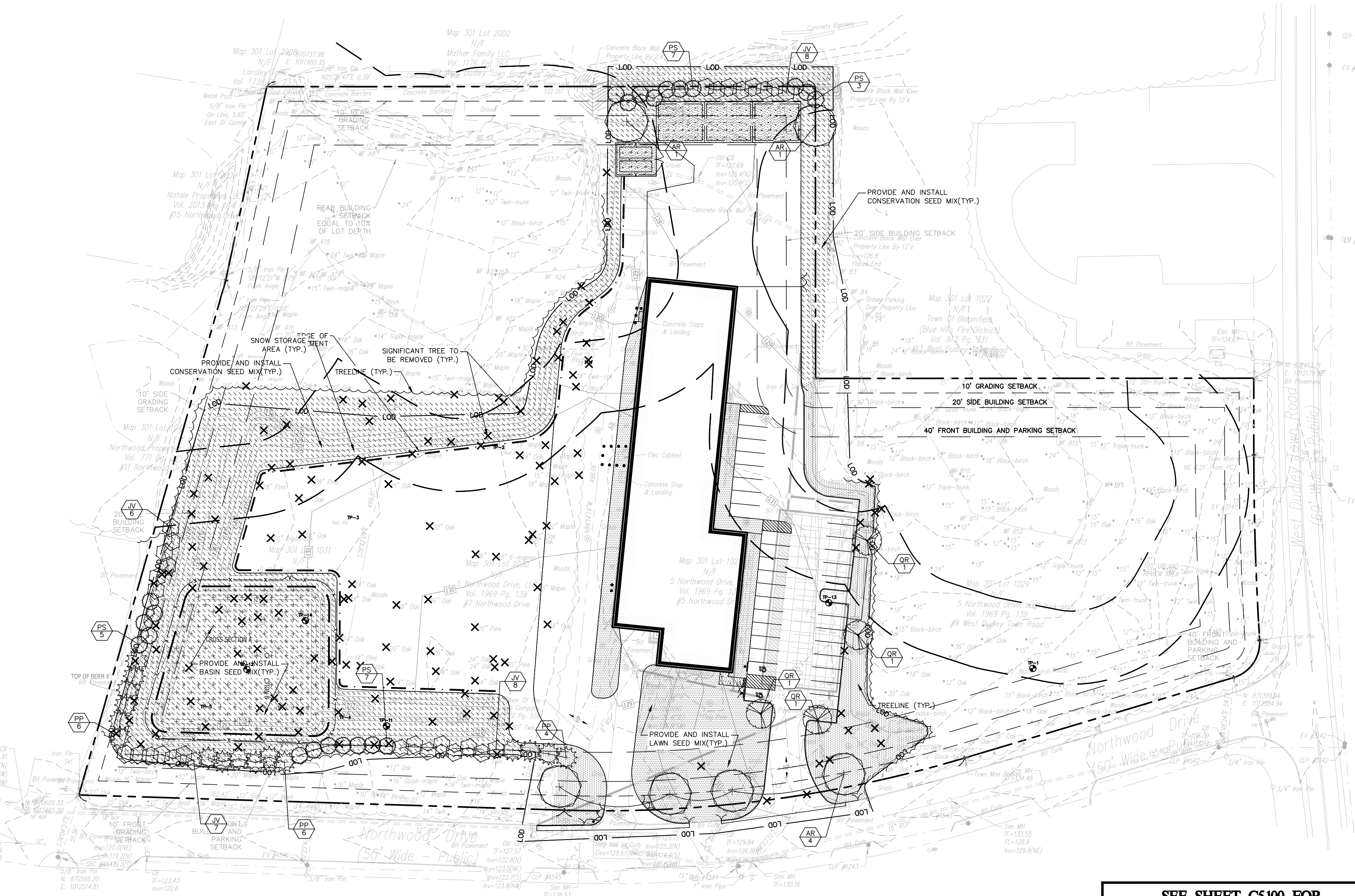
N.T.S.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	AR	6	ACER RUBRUM 'OCTOBER GLORY' CT NATIVE	OCTOBER GLORY RED MAPLE	2.5" CAL (8FT HT MIN)	B&B
	QR	4	QUERCUS RUBRA CT NATIVE	NORTHERN RED OAK	4" CAL. MIN	B&B
EVERGREEN TREES						
	JV	29	JUNIPERUS VIRGINIANA CT NATIVE	EASTERN REDCEDAR	7'-8' HT.	B&B
	PP	16	PICEA PUNGENS CT NATIVE	COLORADO SPRUCE	7'-8' HT.	B&B
	PS	22	PINUS STROBUS CT NATIVE	WHITE PINE	7-8' HT.	B&B

NOTES:

- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

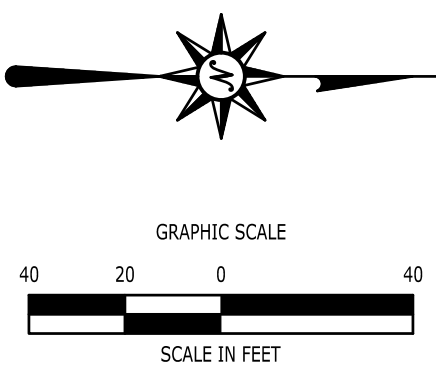


LOCATION: BLOOMFIELD, HARTFORD COUNTY				
ZONE: IND-2 (INDUSTRIAL)				
USE: CONTRACTOR YARD				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BLOOMFIELD ZONING REGULATIONS 4.4.E.6. BUFFERS	THERE SHALL BE NO REQUIREMENT FOR A BUFFER ON AN I-2 PARCEL WHERE THE PARCEL ADJUTS A BUSINESS ZONE.	NO BUFFER REQ.	NO
2	BLOOMFIELD ZONING REGULATIONS 6.1.B LANDSCAPING BASIC STANDARDS	a. ANY LOT WHICH CONTAINS PARKING FACILITIES FOR MORE THAN FIFTEEN VEHICLES SHALL PROVIDE LANDSCAPED AREAS WITHIN THE PARKING LOT. LARGE PARKING LOTS THAT HAVE A HALF-ACRE OR MORE OF SURFACE AREA SHALL PROVIDE, AT MINIMUM, LANDSCAPED END ISLANDS AND LANDSCAPED CENTER ISLANDS FOR EVERY TWO PARKING ACCESS WAYS OR EVERY FOUR ROWS OF PARKING.	LANDSCAPED END ISLANDS PROP.	NO
		d. MUST DEMONSTRATE THE EFFECTIVENESS OF DESIGN FOR SNOW REMOVAL AND STORAGE	SNOW STORAGE AREA PROP.	NO
		f. PARKING AREAS SHALL BE PLANTED WITH TREES A MINIMUM OF 4" IN CALIPER SO THAT THERE IS AT LEAST ONE TREE PER TEN PARKING SPACES AND STAKED. A MINIMUM PLANTING AREA EQUIVALENT TO 150 SF PER TREE SHALL BE PROVIDED.	36 P.K. SPACES = 4 TREES REQ. 4 TREES PROP. WITHIN PARKING LOT	NO
		i. REQUIRED PARKING AREAS SHALL HAVE A LANDSCAPED ISLAND FOR EVERY 15 PARKING SPACES. SUCH PLANTING ISLANDS SHALL NOT BE LESS THAN 9' WIDE IN DIRECTION PARALLEL TO THE ROW AND NO LESS THAN 18' LONG IN DIRECTION PERPENDICULAR TO ROW. ISLANDS WILL BE PLANTED WITH GRASS	36 P.K. SPACES = 3 ISLANDS PROP.	NO
3	BLOOMFIELD ZONING REGULATIONS 6.1.C EXISTING VEGETATION	SIGNIFICANT TREES*, AS DEFINED IN THESE REGULATIONS, SHALL BE PRESERVED TO THE EXTENT FEASIBLE AND ANY SIGNIFICANT TREE WHICH IS PROPOSED FOR REMOVAL SHALL BE CLEARLY DESIGNATED ON THE SITE PLAN AND ANY SIGNIFICANT TREE DESIGNATED FOR PRESERVATION WHICH IS REMOVED OR DAMAGED BEYOND SATISFACTORY REPAIR SHALL BE REPLACED.	COMPLIES, SEE PLAN FOR DETAIL, TOTAL 115 SIGNIFICANT TREES TO BE REMOVED	TBD.
4	BLOOMFIELD ZONING REGULATIONS 6.1.D BUFFERS	BUFFER YARD PLANTING MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS: CANOPY TREES AT 3" CAL. MIN., UNDERSTORY TREES SHOULD BE 2" CAL. MIN., EVERGREENS SHALL BE CONIFEROUS AT 6' HEIGHT MIN., SHRUBS SHOULD BE EITHER DECIDUOUS SPECIES PLANTED AT 2.5' HT. MINIMUM WITH A MATURE HEIGHT OF 6' OR CONIFEROUS SPECIES PLANTED AT 2.5' SPREAD MIN.	COMPLIES	NO
		ALL UNPAVED AREAS NOT USED FOR PARKING AND STORAGE SHALL BE LANDSCAPED WITH GROUND COVER AND/OR SHRUB AND TREE MATERIAL. UNDEVELOPED AREAS PROPOSED FOR FUTURE EXPANSION MAY BE MAINTAINED IN A NATURAL VEGETATIVE STATE BUT NEED NOT BE LANDSCAPED.	COMPLIES	NO
		MINIMUM 10' IN WIDTH, 10 EVERGREEN TREES PER 100 FT.	10 FEET EVERGREEN BUFFER YARD PROP. ALONG STREET FRONTAGE	NO
5	BLOOMFIELD ZONING REGULATIONS 6.1.E OTHER LANDSCAPING PROVISIONS	PLANTING MATERIALS USED FOR LANDSCAPING AND SCREENING SHALL BE APPROPRIATE FOR CONNECTICUT; NATIVE SPECIES ARE PREFERRED.	COMPLIES MAJORITY OF THE PLANTING MATERIALS ARE CONNECTICUT NATIVE	NO
6	BLOOMFIELD ZONING REGULATIONS 7.15.B SCREENING	THE OUTSIDE STORAGE SHALL BE SUITABLY SCREENED FROM THE ROAD AND ADJACENT LOTS OR ZONES (EXCEPT FOR ACCESS DRIVEWAYS) BY SHRUBS AND/OR TREES SO THAT WITHIN FIVE YEARS THERE WILL EXIST A MINIMUM TWELVE FOOT HIGH FOLIAGE SCREEN	EXISTING DENSE VEGETATION TO REMAIN TO FULFILL SCREENING REQUIREMENT FOR OUTDOOR STORAGE AREA, EXTRA EVERGREEN PROP. ALONG STREET FRONTAGE.	NO

NOTE:  
\* SIGNIFICANT TREE: A DECIDUOUS TREE 14 INCHES OR GREATER IN DIAMETER MEASURED AT DBH, AN EVERGREEN TREE 10 INCHES OR GREATER IN DIAMETER MEASURED AT DBH.

LANDSCAPE PLAN LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITework CONTRACT LIMIT LINE
	PROVIDE AND INSTALL LAWN SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
	PROVIDE AND INSTALL CONSERVATION SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
	PROVIDE AND INSTALL BASIN SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
	SIGNIFICANT TREES TO BE REMOVED



SEE SHEET C5.100 FOR LANDSCAPE NOTES AND DETAILS

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
6. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
11. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
12. PLANTING SOIL:
- DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Pb,Mn,Zn,Cu,B,ALPH) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- ORGANIC CONTENT 3% - 6% FOR LAWN OR GRASS AREAS.  
4% - 8% FOR TREE AND SHRUB PLANTERS.  
8%-16% FOR RETENTION OR DETENTION BASINS.  
(BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)
- PH 6.0 - 7.3
- C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- D. SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN.
- E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLICATIONS MUST BE IN ACCORDANCE WITH THE STATE OF CONNECTICUT, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
- LOAM  
- SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.  
- SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- G. BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
- SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.  
- SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- H. MODIFICATION TO THE PLANTING SOILS CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS:  
APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW:  
ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

PLANTINGS	SPRING	FALL
SEED MIXES	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
	PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES	

16. SEEDING MIXTURES: REFER TO SEED MIX NOTES.  
SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.

SEED MIX NOTES

A. LAWN SEEDING MIX:

15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)  
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)

SEEDING RATE: 5 LBS/1,000 S.F.  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

B. CONSERVATION SEED MIX -

NEW ENGLAND CONSERVATION/WILDLIFE MIX  
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

SPECIES: VIRGINIA WILD RYE (Elymus virginicus), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), CREEPING RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLED LEAD TICK TREFOL (DESMODIUM PANICULATUM), INDIAN GRASS, (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYE SUSAN (RUDBECKIA HIRTA), COMMON SNEEZEWEED (HELENUM AUTUMNALE), HEATH ASTER (ASTERILOPUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).

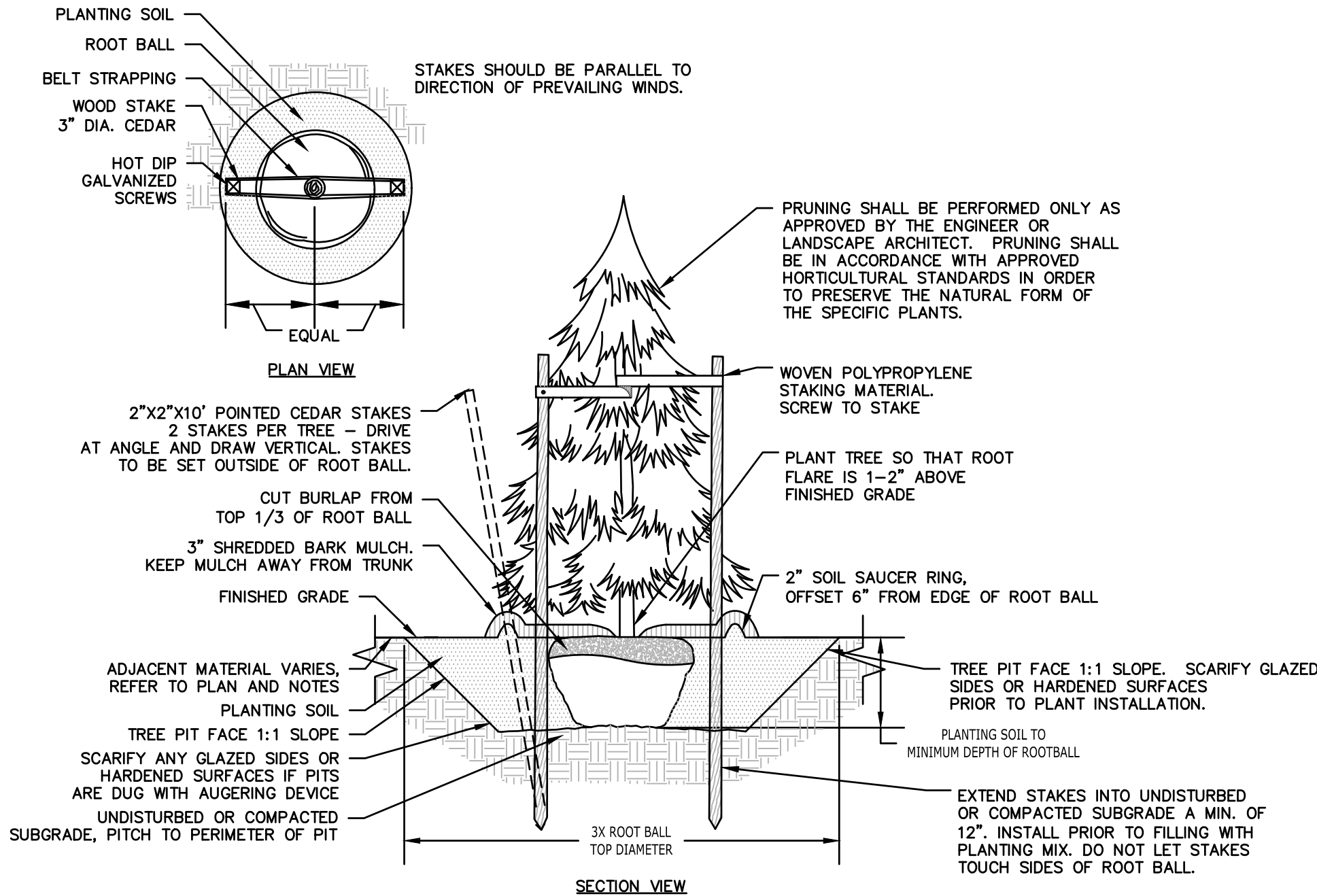
APPLICATION RATE: 25 LBS/ ACRE (1 LB PER 1,750 SF)  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

C. BASIN SEED MIX -

NEW ENGLAND WETMIX (WETLAND SEED MIX)  
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SORPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), MONKEY FLOWER (MIMULUS RINGENS).

APPLICATION RATE: 20 LBS/ACRE AT STORMWATER PONDS  
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30  
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

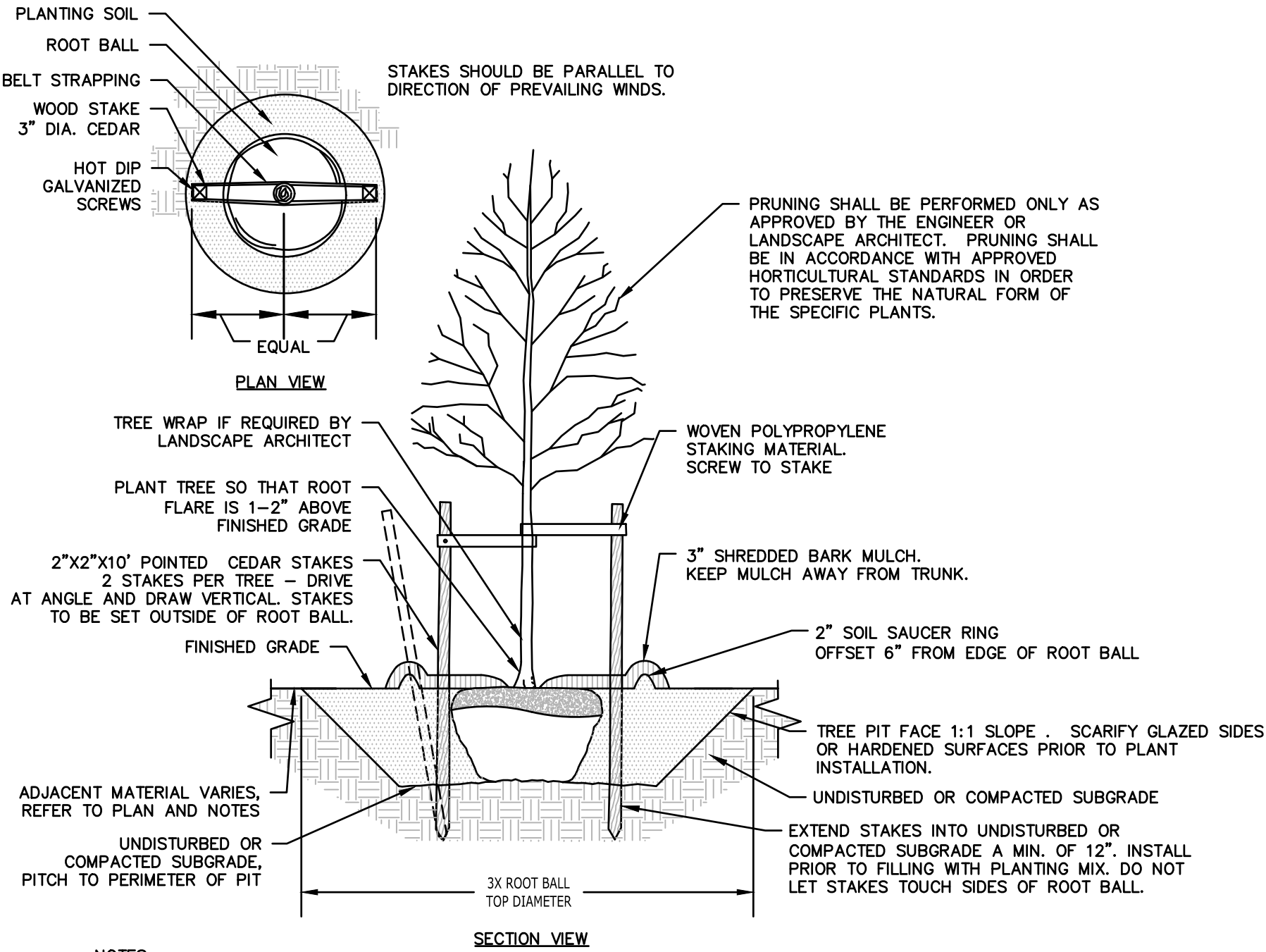


NOTES:

1. STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ABORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESICCANT, COMPLETELY REMOVE IT FROM ROOT BALL.

EVERGREEN TREE PLANTING

N.T.S



NOTES:

1. STAKING FOR TREES ON 4:1 SLOPES OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTORS DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ABORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESICCANT, COMPLETELY REMOVE IT FROM ROOT BALL.

DECIDUOUS TREE PLANTING

N.T.S