

LOCATION MAP

N.T.S.



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INLAND WETLAND AND WATERCOURSE COMMISSION APPLICATION & TOWN PLAN AND ZONING COMMISSION SPECIAL PERMIT AND SITE PLAN APPPLICATION FOR A CONTRACTORS YARD WITH OUTDOOR STORAGE AS ACCESSORY USE ISSUED FOR PERMITTING



VICINITY MAP

SCALE: 1"=800'

ZONING INFORMATION

LOCATION: BLOOMFIELD, CT			
ZONE: I-2 (INDUSTRIAL-2)			
USE: OUTDOOR STORAGE AS AN ACCESSORY USE (SPECIAL PERMIT)			
ITEM	REQUIREMENTS	PROPOSED	VARIANCE
MINIMUM LOT AREA	40,000 S.F.	288,385 S.F. (6.62 AC.)	NO
MINIMUM LOT WIDTH	125 FEET	375 FEET	NO
MINIMUM LOT FRONTAGE	NONE REQUIRED	835 FEET	NO
MINIMUM FRONT SETBACK	40 FEET	90 FEET	NO
MINIMUM SIDE SETBACK	20 FEET	53 FEET	NO
MINIMUM REAR SETBACK	10% DEPTH (49.6 FEET)	131 FEET	NO
MAXIMUM BUILDING HEIGHT	60 FEET	<60 FEET	NO
MAXIMUM BUILDING COVERAGE	50 PERCENT	34 PERCENT	NO

I, the undersigned, do hereby indemnify and hold harmless the Town of Bloomfield and all of its debarments, officials, agents, and employees against any liability, or claim of liability, brought on account of any injuries or damages received or sustained as a result of, in connection with, or pursuant to the permittee's performance or regulated activities or other work of activities associated with a permit issued by the Commission, enforcement of a permit, and/or the permittee's compliance with, attempted compliance with, and/or lack of compliance with, the permit.

Furthermore, I assume responsibility for ensuring that this plan is complied with by all contractors and subcontractors working on the project. Any adjustments, revisions or modifications to this plan must be submitted to the Wetlands Agent, in writing, for approval prior to implementing the changes. Only those changes approved by the Wetlands Agent can be implemented. The Town of Bloomfield shall not be held liable for substandard construction, improper installation, lack of maintenance or other neglect of any aspect of the project by the permittee, contractors or subcontractors.

(Signature of the Permittee)

Date

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

DEVELOPER & APPLICANT:
BURNS CONSTRUCTION COMPANY
300 SPERRY AVENUE
STRATFORD, CT 06615

OWNER:
5 NORTHWOOD DRIVE, LLC
PO BOX 568
BLOOMFIELD, CT 06002

DATES

ISSUE DATE:	2/10/2025	
REVISION:	7/3/2025	12/8/2025
	8/8/2025	
	9/23/2025	
	10/26/2025	
	12/3/2025	

PREPARED FOR:

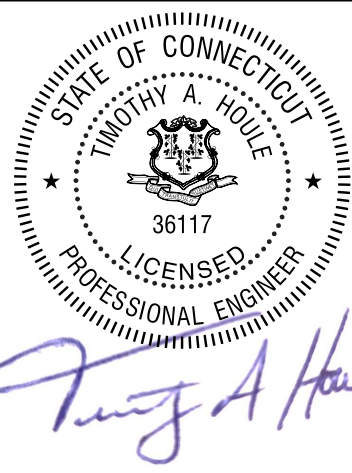
BURNS CONSTRUCTION COMPANY
300 SPERRY AVENUE
STRATFORD, CT 06615

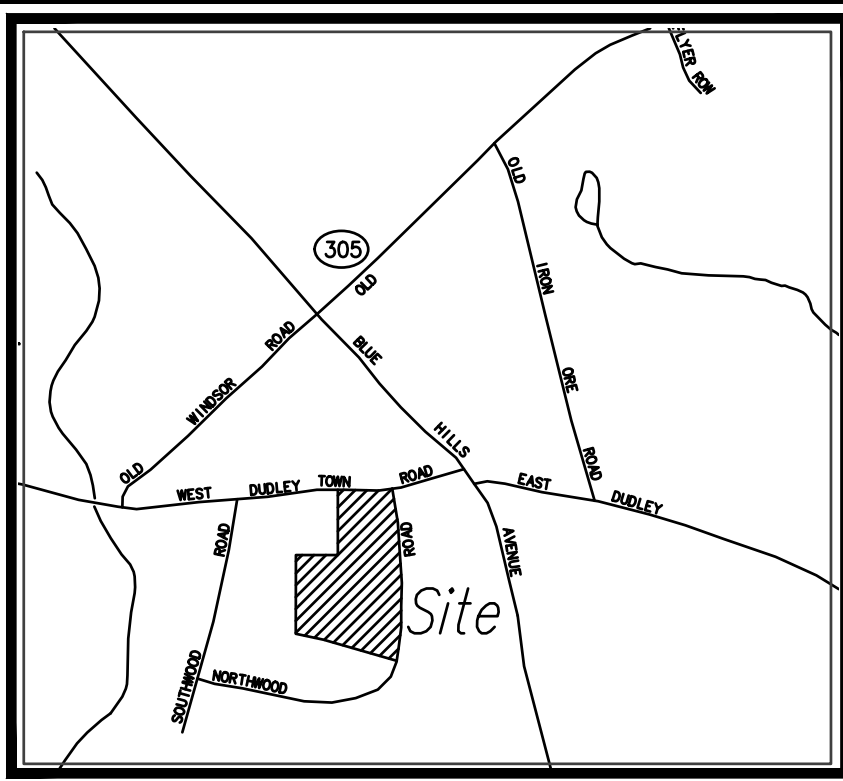
PREPARED BY:



100 Constitution Plaza, 10th Floor
Hartford, CT 06103
(860) 249-2200

SUBCONSULTANTS:





PARCEL DATA

OWNER	ADDRESS	SQUARE FEET	ACRES
5 NORTHWOOD DRIVE, LLC VOL. 1969 PG. 139	5 NORTHWOOD DRIVE	72,399	1.662
	7 NORTHWOOD DRIVE	72,127	1.656
	9 NORTHWOOD DRIVE	70,225	1.612
	9 WEST DUDLEY TOWN ROAD	73,630	1.690
TOTAL		288,381	6.620

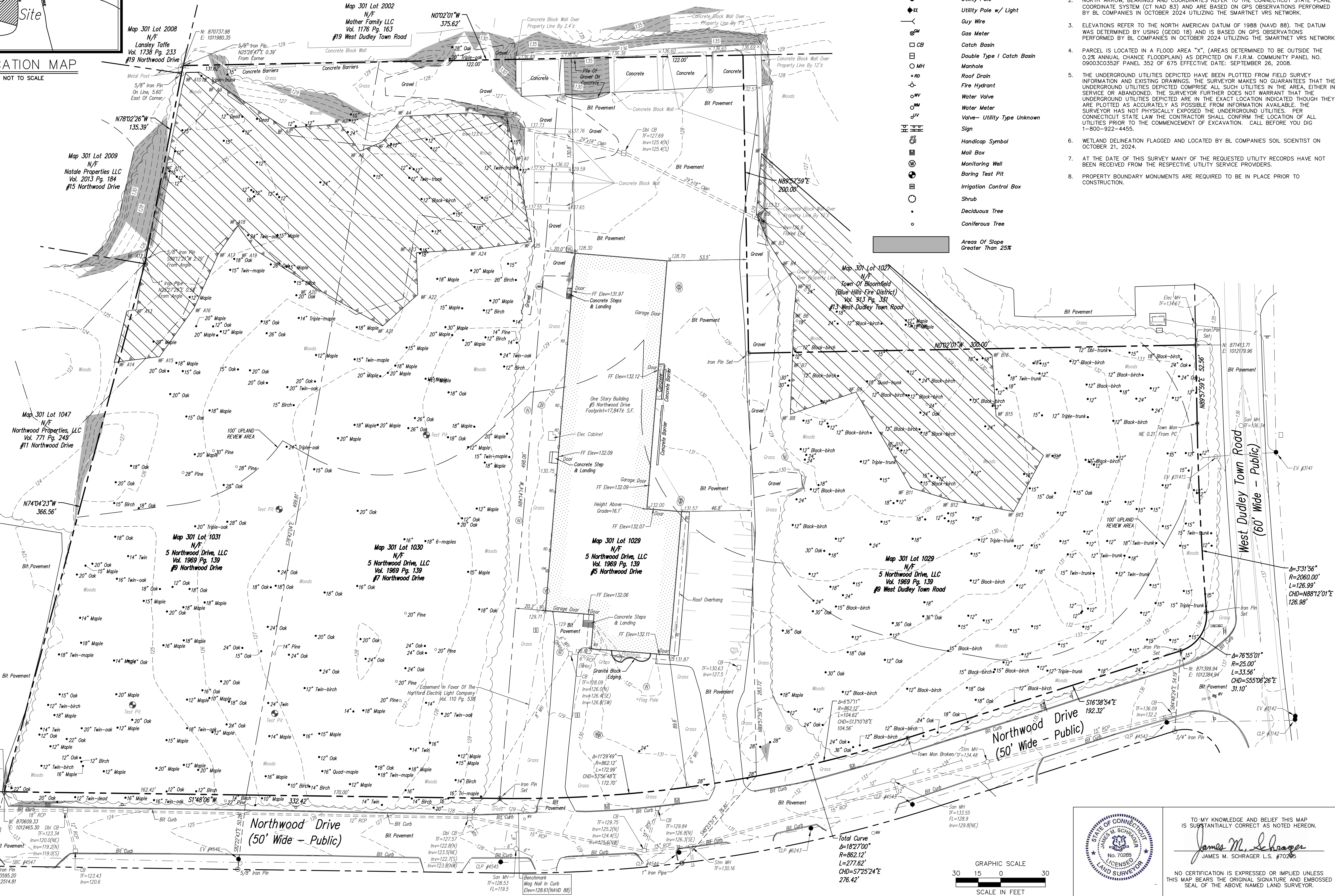
LEGEND

	Property Line
	Limit of Wetlands
	Edge of Water
	Treeline
	Major Contour
	Minor Contour
	Overhead Wires
	Storm Sewer
	Electric Meter
	Utility Pole
	Utility Pole w/ Light
	Guy Wire
	Gas Meter
	Catch Basin
	Double Type I Catch Basin
	Manhole
	Roof Drain
	Fire Hydrant
	Water Valve
	Water Meter
	Valve- Utility Type Unknown
	Sign
	Handicap Symbol
	Mail Box
	Monitoring Well
	Boring Test Pit
	Irrigation Control Box
	Shrub
	Deciduous Tree
	Coniferous Tree
	Areas Of Slope Greater Than 25%

GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
- B) THIS PLAN CONFORMS TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY OF MAP REFERENCE A.
- D) THE TYPE OF SURVEY PERFORMED IS A PROPERTY/TOPOGRAPHIC SURVEY AND IS INTENDED TO DEPICT THE EXISTING CONDITIONS WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS, ENCROACHMENTS, VISIBLE UTILITIES, ROADWAYS AND CONTOURS.
- NORTH ARROW, BEARINGS AND COORDINATES REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83) AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN OCTOBER 2024 UTILIZING THE SMARTNET VRS NETWORK.
- ELEVATIONS REFER TO THE NORTH AMERICAN DATUM OF 1988 (NAVD 88). THE DATUM WAS DETERMINED BY USING (GEOID 18) AND IS BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN OCTOBER 2024 UTILIZING THE SMARTNET VRS NETWORK.
- PARCEL IS LOCATED IN A FLOOD AREA "X", (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 09003C0352F PANEL 352 OF 675 EFFECTIVE DATE: SEPTEMBER 26, 2008.
- THE UNDERGROUND UTILITIES DEPICTED HAVE BEEN PLOTTED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES DEPICTED ARE IN THE EXACT LOCATION INDICATED THOUGH THEY ARE PLOTTED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY EXPOSED THE UNDERGROUND UTILITIES. PER CONNECTICUT STATE LAW THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION. CALL BEFORE YOU DIG 1-800-922-4455.
- WETLAND DELINEATION FLAGGED AND LOCATED BY BL COMPANIES SOIL SCIENTIST ON OCTOBER 21, 2024.
- AT THE DATE OF THIS SURVEY MANY OF THE REQUESTED UTILITY RECORDS HAVE NOT BEEN RECEIVED FROM THE RESPECTIVE UTILITY SERVICE PROVIDERS.
- PROPERTY BOUNDARY MONUMENTS ARE REQUIRED TO BE IN PLACE PRIOR TO CONSTRUCTION.

LOCATION MAP



LAND OF
5 NORTHWOOD DRIVE, LLC
 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD
 BLOOMFIELD, CONNECTICUT

egoc.
 added Trees Greater Than 12 Inches,
 updates Per Town of Bloomfield.
 revised Drainage In Rear Of Lot.
 revised Per Town Comments, Drainage To South.

REVISIONS	Date	
1.	1/14/2025	
2.	5/13/2025	
3.	5/21/2025	
4.	6/27/2025	

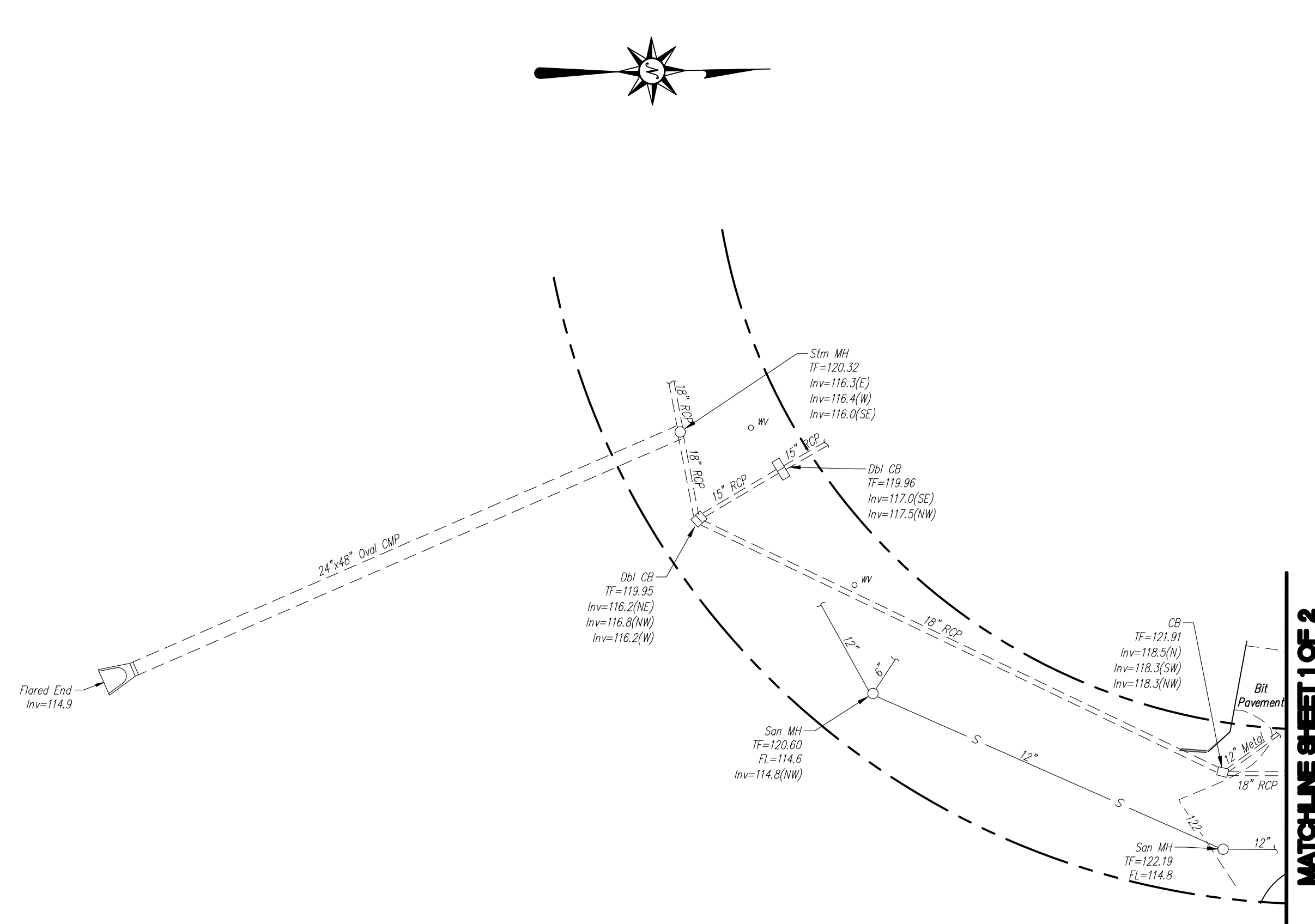
Surveyed	NS/DS
Drawn	JS
Reviewed	DS
Scale	1"=30'
Project No.	230269901
Date	11/12/2024
Field Book	597
CAD File:	EX230269901

Title

EXISTING
CONDITIONS
MAP

Sheet No. 2 Of 2

EX-1



LEGEND

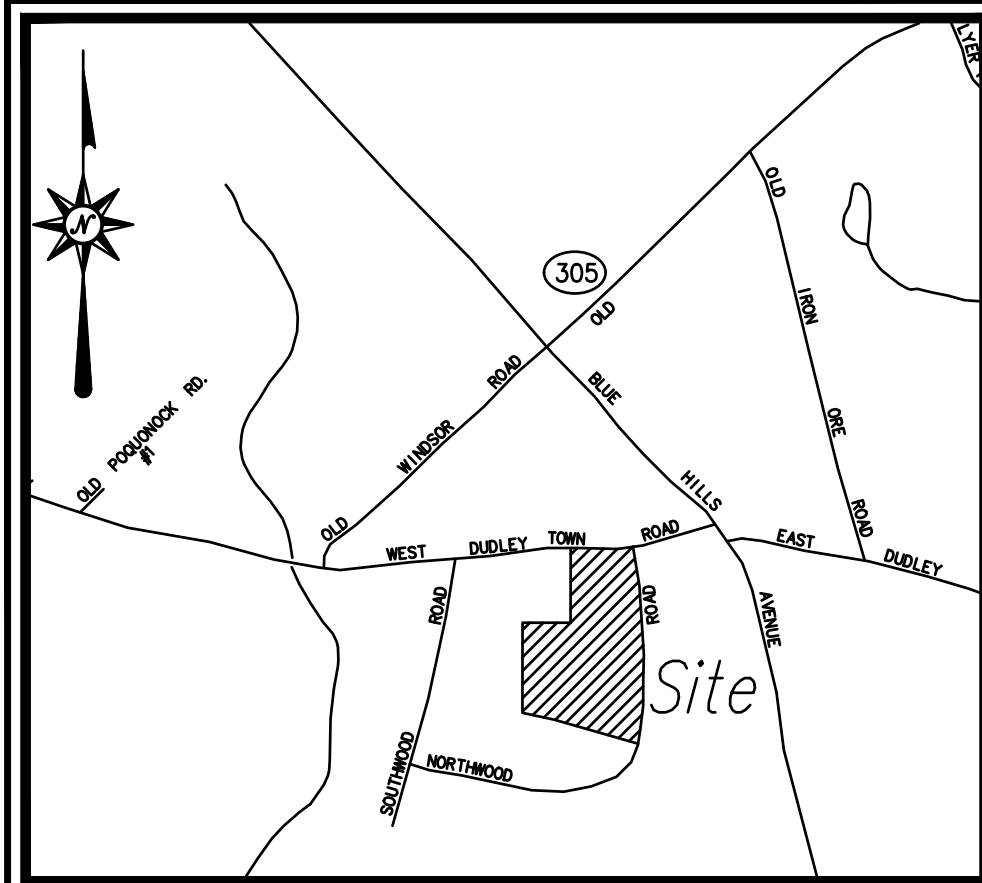
MAP REFERENCES

- A. "NORTHWOOD INDUSTRIAL PARK, DUDLEY TOWN ROAD, NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT," SCALE 1"=50', DATE JAN. 1966 BT CLOSE, JENSEN & MILLER, HARTFORD, CONN. AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1594.
- B. "PROPERTY OF FREDERICK C. MACHOLZ, BLUE HILLS AVE. & SOUTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT," SCALE 1"=100', MAY 1967, OFFICE OF HAROLD R. SANDERSON C.E. & L.S., BLOOMFIELD, CONNECTICUT AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1586.
- C. "WETLAND SURVEY PREPARED FOR 5 NORTHWOOD DRIVE, LLC SHOWING BOUNDARY AND WETLANDS 5 NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT," SCALE 1"=40', DATE: DECEMBER 3, 2010 BY ROB HELLSTROM LAND SURVEYING, L.L.C., HEBRON, CT.

Jun 27, 2025 1:51pm JSchrager G:\JOBS23\28\2302699\DWG\EX230269901.dwg
Layout: EX-1 24x36 30SC 2of2

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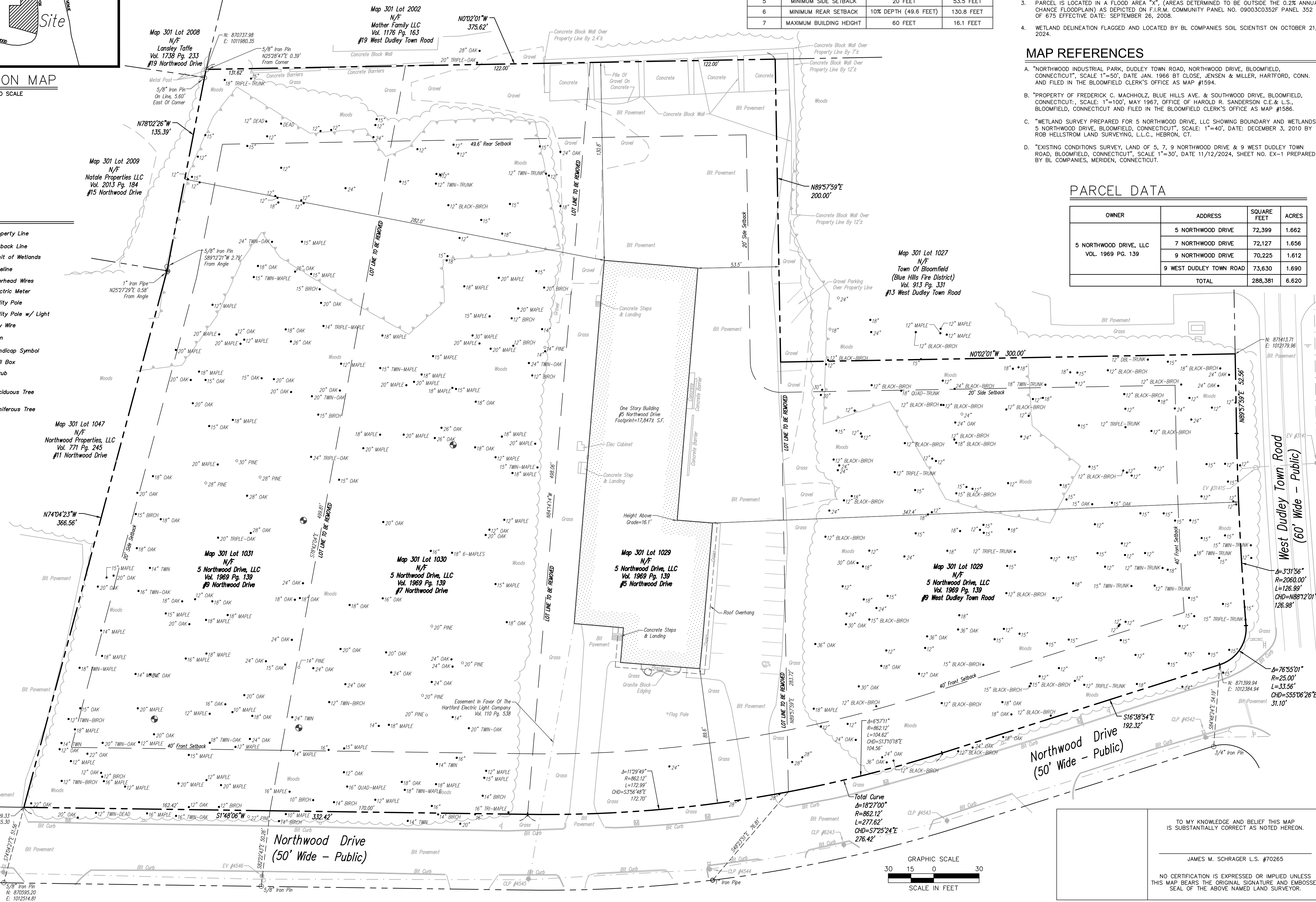
ref(s) : XY230269901



LOCATION MAP
NOT TO SCALE

LEGEND

- Property Line
- Setback Line
- Limit of Wetlands
- Treeline
- Overhead Wires
- Electric Meter
- Utility Pole
- Utility Pole w/ Light
- Guy Wire
- Sign
- Handicap Symbol
- Mail Box
- Shrub
- Deciduous Tree
- Coniferous Tree



ZONING INFORMATION

LOCATION: 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD, BLOOMFIELD, CT			
ZONE: I-2 (INDUSTRIAL-2)			
USE: OUTDOOR STORAGE AS AN ACCESSORY USE (SPECIAL PERMIT)			
ITEM #	ITEM	REQUIREMENTS	PROPOSED
1	MINIMUM LOT AREA	40,000 S.F.	288,381 S.F. (6.620 AC.)
2	MINIMUM LOT WIDTH	125 FEET	781 FEET
3	MINIMUM LOT FRONTAGE	NONE REQUIRED	1,015 FEET
4	MINIMUM FRONT SETBACK	40 FEET	89.6 FEET
5	MINIMUM SIDE SETBACK	20 FEET	53.5 FEET
6	MINIMUM REAR SETBACK	10% DEPTH (49.6 FEET)	130.8 FEET
7	MAXIMUM BUILDING HEIGHT	60 FEET	16.1 FEET

GENERAL NOTES

- A) THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AUGUST 29, 2019.
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- C) BOUNDARY DETERMINATION IS BASED UPON A RESURVEY OF MAP REFERENCE A.
- D) THE TYPE OF SURVEY PERFORMED IS A PROPERTY/BOUNDARY SURVEY AND IS INTENDED TO CONSOLIDATE THE FOUR LOTS INTO ONE LOT WITH RESPECT TO MONUMENTATION FOUND, STRUCTURES, EASEMENTS AND ROADWAYS.
- E) NORTH ARROW, BEARINGS AND COORDINATES REFER TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (CT NAD 83) AND ARE BASED ON GPS OBSERVATIONS PERFORMED BY BL COMPANIES IN OCTOBER 2024 UTILIZING THE SMARTNET VRS NETWORK.
- F) PARCEL IS LOCATED IN A FLOOD AREA "X". (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEPICTED ON F.I.R.M. COMMUNITY PANEL NO. 09003C0352F PANEL 352 OF 675 EFFECTIVE DATE: SEPTEMBER 26, 2008.
- G) WETLAND DELINEATION FLAGGED AND LOCATED BY BL COMPANIES SOIL SCIENTIST ON OCTOBER 21, 2024.

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- B) "PROPERTY OF FREDERICK C. MACHOLZ, BLUE HILLS AVE. & SOUTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE: 1"=100', MAY 1967, OFFICE OF HAROLD R. SANDERSON C.E. & L.S., BLOOMFIELD, CONNECTICUT AND FILED IN THE BLOOMFIELD CLERK'S OFFICE AS MAP #1586.
- C) "WETLAND SURVEY PREPARED FOR 5 NORTHWOOD DRIVE, LLC SHOWING BOUNDARY AND WETLANDS 5 NORTHWOOD DRIVE, BLOOMFIELD, CONNECTICUT", SCALE: 1"=40', DATE: DECEMBER 3, 2010 BY ROB HELLSTROM LAND SURVEYING, L.L.C., HEBRON, CT.
- D) "EXISTING CONDITIONS SURVEY, LAND OF 5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD, BLOOMFIELD, CONNECTICUT", SCALE 1"=30', DATE 11/12/2024, SHEET NO. EX-1 PREPARED BY BL COMPANIES, MERIDEN, CONNECTICUT.

PARCEL DATA

OWNER	ADDRESS	SQUARE FEET	ACRES
5 NORTHWOOD DRIVE, LLC VOL. 1969 PG. 139	5 NORTHWOOD DRIVE	72,399	1.662
	7 NORTHWOOD DRIVE	72,127	1.656
	9 NORTHWOOD DRIVE	70,225	1.612
	9 WEST DUDLEY TOWN ROAD	73,630	1.690
TOTAL		288,381	6.620

LAND OF
5 NORTHWOOD DRIVE, LLC
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY TOWN ROAD
BLOOMFIELD, CONNECTICUT

REVISIONS
No. 1. 18/2025
Disc. Added Trees Greater Than 12 Inches.

Drawn JS.
Reviewed DS
Scale 1"=30'
Project No. 2302699
Date 11/26/2024
CAD File: BS230269901

Title
LOT
CONSOLIDATION
PLAN

Sheet No.

BS-1

SITE WORK GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, COUNTY STANDARDS AND SPECIFICATIONS, CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED INCREASING HIERARCHY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS. ANY DISCREPANCIES OR CONFLICTS SHALL BE RESOLVED BY THE ARCHITECT AND ENGINEER PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES AND STORMWATER SYSTEM) TO THE OWNER AT THE END OF CONSTRUCTION.
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CT CALL BEFORE YOU DIG (CBYD) 72 HOURS BEFORE COMMENCEMENT OF WORK AT CT (800) 922-4455 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL EMPLOY THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT LIMIT AND CONSISTING OF DESIGNATING AND LOCATING WHERE PROPOSED UTILITIES AND STORM PIPING CROSS EXISTING UTILITIES AND STORM PIPING WITHIN THE CONTRACT LIMITS.
10. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
11. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
12. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
13. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
14. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
15. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION. PROGRESS SETS OF THESE DOCUMENTS ARE NOT SUITABLE FOR THOSE PURPOSES. IF CLIENT ELECTS TO SOLICIT BIDS OR ENTER INTO CONSTRUCTION CONTRACTS UTILIZING CONSTRUCTION DOCUMENTS THAT ARE NOT YET FINAL, CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY COSTS OR DELAY ARISING AS A RESULT.
16. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS AND TOWN RIGHT OF WAY PERMIT IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
17. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM COUNTY AND MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK EXCEPT CTDOT ENCROACHMENT PERMIT BOND.
18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
19. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
20. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, THE RAISED CONCRETE SIDEWALKS, LANDINGS, RAMPS, AND STAIRS.
21. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
22. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
23. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED OR AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
24. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
25. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
26. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
27. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
28. PAVEMENT MARKING KEY:
- 4" SYDL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
29. PARKING SPACES SHALL BE STRIPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR ADA ACCESSIBLE SPACES SHALL BE PAINTED BLUE AND WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
30. ALL PAVEMENT MARKINGS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO THE STRIPING. PAVEMENT MARKINGS SHALL BE REFLECTIVE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.
31. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
32. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
33. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "EXISTING CONDITIONS MAP", SCALE 1"=30', DATED 1/24/2024, BY BL COMPANIES INC.
34. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
35. CTDOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK. THE OWNER SHALL POST CTDOT ENCROACHMENT PERMIT BOND.
36. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE. THE AMOUNT OF THE EROSION CONTROL BOND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
37. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
38. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
39. THERE ARE WETLANDS LOCATED ON THE SITE AS INDICATED BY BL COMPANIES MAPPING BY SAGAN SIMKO, CPSS.
40. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO DOT SPECIFICATIONS.
41. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
42. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
43. ALL ADA DESIGNATED PARKING STALLS, ACCESS AISLES AND PEDESTRIAN WALKWAYS SHALL CONFORM TO THE CURRENT VERSION OF THE AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN AND ANSI STANDARDS AND AS MAY BE SUPERCEDED BY THE STATE BUILDING CODE.
44. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
45. ALL BUILDINGS, INCLUDING FOUNDATION WALLS AND FOOTINGS AND BASEMENT SLABS INDICATED ON THE DEMOLITION PLAN ARE TO BE REMOVED FROM THE SITE. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
46. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
47. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
48. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR THE DEMOLITION AND DISPOSAL OF THE DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
49. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
50. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
51. THE CONTRACTOR SHALL CUT AND PLUG, OR ARRANGE FOR THE APPROPRIATE UTILITY PROVIDER TO CUT AND PLUG ALL SERVICE PIPING AT THE STREET LINE OR AT THE MAIN, AS REQUIRED BY THE UTILITY PROVIDER, OR AS OTHERWISE NOTED OR SHOWN ON THE CONTRACT DRAWINGS. ALL SERVICES MAY NOT BE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL INVESTIGATE THE SITE PRIOR TO BIDDING TO DETERMINE THE EXTENT OF SERVICE PIPING TO BE REMOVED, CUT OR PLUGGED. THE CONTRACTOR SHALL PAY ALL UTILITY PROVIDER FEES FOR ABANDONMENTS AND REMOVALS.
52. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
53. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF THE WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
54. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
55. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
56. EXISTING WATER SERVICES SHALL BE DISCONNECTED AND CAPPED AT MAIN IN ACCORDANCE WITH THE REQUIREMENTS OF THE WATER UTILITY PROVIDER. REMOVE EXISTING ONSITE WATER PIPING TO BE ABANDONED TO RIGHT OF WAY LINE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE WATER UTILITY PROVIDER TO BE REMOVED TO MAIN.
57. EXISTING SANITARY LATERAL SHALL BE PLUGGED WITH NON-SHRUNK GROUT AT CURB LINE OR AT MAIN CONNECTION IN ACCORDANCE WITH THE SANITARY UTILITY PROVIDER REQUIREMENTS. REMOVE EXISTING LATERAL PIPING FROM SITE UNLESS OTHERWISE SHOWN ON DEMOLITION PLANS OR AS REQUIRED BY THE SANITARY UTILITY PROVIDER.
58. DOMESTIC GAS SERVICES SHALL BE CAPPED AND SERVICE LINES PURGED OF RESIDUAL GAS IN ACCORDANCE WITH THE GAS UTILITY PROVIDER REQUIREMENTS. WORK TO BE COORDINATED BY AND PAID FOR BY THE CONTRACTOR. REMOVE EXISTING SERVICE PIPING ON SITE. ANY PROPANE TANKS SHALL BE PURGED OF RESIDUAL GAS BY PROPANE SUPPLIER. CONTRACTOR SHALL COORDINATE THIS WORK AND PAY NECESSARY FEES.
59. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, GAS UTILITY PROVIDER, ELECTRIC UTILITY PROVIDER, SANITARY UTILITY PROVIDER, AND WATER UTILITY PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
60. THE CONTRACTOR IS RESPONSIBLE FOR SECURING A DEMOLITION PERMIT FROM THE TOWN OF BLOOMFIELD BUILDING DEPARTMENT AND MUST FURNISH THE REQUIRED APPLICATION MATERIAL AND PAY ALL FEES.
61. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND CONTRACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT, COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
62. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE STATE OF CONNECTICUT AND THE CITY OF BLOOMFIELD AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
63. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINAIRE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLE AND CONDUCTORS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE RECONFIGURED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.
64. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE CBYD MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
65. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
66. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
67. THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
68. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
69. ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE TOWN OF BLOOMFIELD AND HEALTH CODE REQUIREMENTS.
70. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
71. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
72. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST).
73. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
74. VERTICAL DATUM IS NAVD 88.
75. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BLOOMFIELD AGENT PRIOR TO THE START OF WORK ON THE SITE.
76. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE CT DEEP AND THE 2023 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
77. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
78. ALL DISTURBANCE INCURRED TO MUNICIPAL, COUNTY, AND STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND STATE AS APPLICABLE FOR THE LOCATION OF THE WORK.
79. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
80. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
81. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
82. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
83. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
84. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT, AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
85. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
86. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED, WHICH SHALL INCLUDE CONCRETE ENCASEMENT OF PIPING UNLESS OTHERWISE DIRECTED BY THE UTILITY PROVIDERS AND CIVIL ENGINEER.
87. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
88. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 8" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED PER THE TRENCH DETAILS AND IN AREAS OF ROCK EXCAVATION.
89. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNULAR SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
90. BUILDING UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE BUILDING MEP, STRUCTURAL, AND ARCHITECTURAL DRAWINGS AND WITH THE OWNER'S CONSTRUCTION MANAGER.
91. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
92. A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
93. GRAVITY SANITARY SEWER PIPING AND PRESSURIZED WATERLINES SHALL BE LOCATED IN SEPARATE TRENCHES AT LEAST 10 FEET APART WHENEVER POSSIBLE. WHEN INSTALLED IN THE SAME TRENCH, THE WATER PIPE SHALL BE LAID ON A TRENCH BENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SANITARY SEWER PIPE AND AT LEAST 12 INCHES (PREFERABLY 18 INCHES) FROM THE SIDE OF THE SANITARY SEWER PIPE TRENCH.
94. SITE CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
95. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
96. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
97. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
98. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
99. ALL WATER LINES TO HAVE A MINIMUM COVER OF 4'-6", ALL LINES SHALL BE BEDDED AND BACKFILLED IN ACCORDANCE WITH LOCAL UTILITY AND/OR MANUFACTURER REQUIREMENT.
100. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE APPLICABLE WATER UTILITY PROVIDER SPECIFICATIONS, AND TO THE APPLICABLE SANITARY SEWER PROVIDER SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE INDUSTRY CODES (AWWA) AND PROJECT SPECIFICATIONS FOR PORTABLE WATER SYSTEMS, AND FOR SANITARY SEWER SYSTEMS.
101. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT

BY THE OWNERS, THE CIVIL ENGINEER, UTILITY PROVIDERS AND GOVERNING AUTHORITIES.

102. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.

103. PIPING SHALL BE LAID FROM DOWNGRADEMENT END OF PIPE RUN IN AN UPGRADEMENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.

104. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C478.

105. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, WATER TIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HOPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.

106. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER GREATER THAN 12" IN DIAMETER SHALL BE ADS N-12 WT OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 254, WATER TIGHT TYPE. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HOPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.

DEFINITIONS

MUNICIPALITY SHALL MEAN BLOOMFIELD

COUNTY SHALL MEAN HARTFORD COUNTY

STATE SHALL MEAN STATE OF CONNECTICUT

WATER UTILITY PROVIDER SHALL MEAN METROPOLITAN DISTRICT COMMISSION

SANITARY UTILITY PROVIDER SHALL MEAN METROPOLITAN DISTRICT COMMISSION

GAS UTILITY PROVIDER SHALL MEAN CONNECTICUT NATURAL GAS

TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN FRONTIER

ELECTRIC UTILITY PROVIDER SHALL MEAN EVERSOURCE

DOT SHALL MEAN THE CONNECTICUT DEPARTMENT OF TRANSPORTATION

REQUIRED PERMITS:

INLAND WETLANDS AND WATERCOURSES COMMISSION WETLANDS AGENT PERMIT

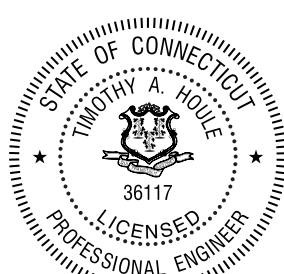
TOWN PLAN AND ZONING COMMISSION SPECIAL PERMIT

TOWN OF BLOOMFIELD BUILDING PERMIT

TOWN OF BLOOMFIELD RIGHT OF WAY PERMIT



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



Timothy A. Hale

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

Revis.	Date	Description
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/2/2025	RESPONSE TO TOWN COMMENTS
3	9/2/2025	RESPONSE TO TOWN COMMENTS
4	10/26/2025	RESPONSE TO TOWN COMMENTS
5	12/3/2025	RESPONSE TO TOWN COMMENTS
6	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

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Designed K.R.
Drawn K.R.
Reviewed R.M.R.
Scale N.T.S.
Project No. 2302699
Date 2/10/2025
CAD File: G2302699-01

Title
GENERAL NOTES

Sheet No.

G0.01

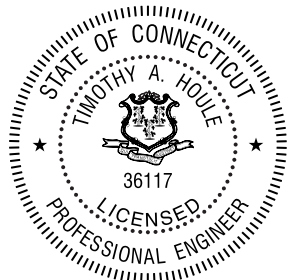
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NOT RELEASED FOR CONSTRUCTION

TOWN OF BLOOMFIELD INLAND WETLANDS STANDARD NOTES

1. ALL SOIL STABILIZATION AND SOIL EROSION AND SEDIMENT CONTROL MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CT 2024 EROSION CONTROL GUIDELINES. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE CONSTRUCTION AND UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
2. THE PERMITTEE, DEVELOPER AND ALL CONTRACTORS SHALL FOLLOW THE CONSTRUCTION SEQUENCE, PHASING AND SOIL EROSION AND SEDIMENT CONTROL MEASURE SCHEDULES SHOWN ON THESE PLANS. CHANGES TO THE SEQUENCE, PHASING OR EROSION CONTROL MEASURES CANNOT BE MADE WITHOUT THE APPROVAL OF THE WETLANDS COMMISSION OR AGENT.
3. ALL WORK WITHIN WETLANDS, WATERCOURSES OR UPLAND REVIEW AREAS SHALL BE DONE DURING PERIODS OF LOW RAINFALL, AND ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN THIRTY (30) DAYS.
4. ANY ADDITIONAL SOIL EROSION OR SEDIMENT CONTROL MEASURES MAY BE REQUIRED BY THE WETLANDS COMMISSION OR AGENT. ANY FAILURES OR SHORTCOMINGS OF THE SOIL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED BY THE WETLANDS COMMISSION OR AGENT DURING ANY CONSTRUCTION PROCESS, SHALL BE PROMPTLY REPAIRED AND CORRECTIVE MEASURES SHALL BE PROMPTLY IMPLEMENTED BY THE PERMITTEE, DEVELOPER AND/OR CONTRACTOR.
5. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, REPLACED, AND/OR MAINTAINED FOR THE DURATION OF THE PROJECT BY THE DEVELOPER/CONTRACTOR UNTIL ALL DISTURBED AREAS ARE STABILIZED.
6. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.
7. THE PERMITTEE SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE WETLANDS AGENT, DEVELOPER, GENERAL CONTRACTOR AND SITE WORK CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION, TREE CLEARING OR GROUND DISTURBANCE.
8. CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THE PERMITTEE/DEVELOPER SHALL NOTIFY THE WETLANDS AGENT PRIOR TO CLEARING OF ANY EXISTING VEGETATION TO SCHEDULE AN INSPECTION OF THE LIMITS OF CLEARING AND TO IDENTIFY ANY TREES TO BE SAVED AND PROTECTED.
9. A GENERAL CLEARING LIMIT LINE, AND ALL SPECIMEN TREES LOCATED IN OR ADJACENT TO THE PROPOSED DEVELOPMENT, SHALL BE FLAGGED. TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE DUE TO CONSTRUCTION EQUIPMENT. TREE PROTECTION MEASURES ARE REQUIRED TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
10. ALL TOPSOIL, WETLAND SOILS AND/OR ORGANIC MATERIAL SHALL REMAIN ON THE SITE, IN THE DESIGNATE AREAS AND PROTECTED FROM EROSION WITH TEMPORARY SEEDING AND RINGED WITH SILT FENCE OR HAY BALES, UNLESS SPECIFICALLY APPROVED TO BE REMOVED BY THE INLAND WETLANDS AND WATERCOURSES COMMISSION OR ITS AGENT. THIS MATERIAL MAY BE USED FOR FINAL RESTORATION OF DISTURBED AREAS.
11. THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SURPLUS MATERIAL, WITHIN OR IMMEDIATELY ADJACENT TO THE WETLANDS OR WATERCOURSES OR THE UPLAND REVIEW AREAS, TEMPORARILY OR PERMANENTLY, EXCEPT AS SHOWN ON THE APPROVED PLANS. ANY EXCESS MATERIAL FROM THE DEVELOPMENT SHALL BE DEPOSITED IN A NON-REGULATED AREA. THE PERMITTEE SHALL OBTAIN ALL NECESSARY PERMITS FOR THE DEPOSITION OF THIS MATERIAL.
12. ALL STORMWATER QUALITY MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CT 2004 STORMWATER QUALITY MANUAL.
13. STORMWATER MANAGEMENT IMPROVEMENTS, CHANNEL WORK, AND ASSOCIATED STABILIZATION SHALL BE COMPLETED AND FULLY STABILIZED PRIOR TO THE START OF ANY BUILDING OR ROAD CONSTRUCTION SERVED BY THEM.
14. THE PERMITTEE SHALL NOTIFY THE WETLANDS AGENT AT LEAST 48 HOURS IN ADVANCE OF THE START AND COMPLETION OF ALL MAJOR PHASES OF THE CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, TREE CUTTING, EROSION CONTROLS, ROUGH GRADING, FINAL GRADING, STABILIZATION, REMOVAL OF EROSION CONTROLS, ETC.
15. THE PERMITTEE SHALL SUBMIT A COPY OF ANY DEEP, ARMY CORPS OF ENGINEERS, OR OTHER LOCAL, STATE OR FEDERAL AGENCY PERMITS, REGISTRATIONS, REPORTS OR CORRESPONDENCE REQUIRED FOR THE PROJECT. WORK CANNOT COMMENCE ON THE PROJECT UNTIL SUCH PERMITS OR REGISTRATIONS ARE OBTAINED AND SUBMITTED FOR THE RECORD.
16. THE PERMITTEE SHALL SUBMIT REPORTS TO THE WETLANDS AGENT ON THE CONSTRUCTION PROGRESS AND STATUS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAIN EVENT OF 0.5" OR MORE WITHIN A 24-HOUR PERIOD. THESE INSPECTIONS AND REPORTS SHALL BE DONE BY A THIRD PARTY PROFESSIONAL PERSON OR COMPANY APPROVED BY THE WETLANDS AGENT.
17. WETLAND MITIGATION AREAS SHALL BE CONSTRUCTED WITHIN THE FIRST CONSTRUCTION SEASON UNDER THE SUPERVISION OF A WETLAND SCIENTIST AND MONITORED FOR A MINIMUM OF THREE (3) YEARS AFTER INITIAL STABILIZATION. ANNUAL REPORTS ON THE STATUS OF THE MITIGATION AREAS SHALL BE PREPARED AND SUBMITTED TO THE WETLANDS AGENT UNTIL SUCH TIME AS ALL MITIGATION AREAS ARE FUNCTIONING AS DESIGNED.
18. THE PERMITTEE SHALL SUBMIT A COPY OF ANY CONSTRUCTION DOCUMENTS, BID PLANS OR SPECIFICATIONS, OR OTHER INFORMATION PROVIDED TO THE CONTRACTOR FOR THE CONSTRUCTION OF THE PROPOSED DEVELOPMENT. ALL SUCH INFORMATION SHALL NOT CONFLICT WITH THE REQUIREMENTS OF THE APPROVED PERMIT PLANS.
19. ANY MODIFICATIONS TO THE REGULATED ACTIVITIES DUE TO THE APPROVAL OR REVIEW OF THE PROJECT BY THE TOWN PLAN AND ZONING COMMISSION, THE HEALTH DISTRICT, THE DEEP OR OTHER STATE AGENCY, THE ACCE OR OTHER FEDERAL AGENCY SHALL, SUBMITTED TO THE WETLANDS COMMISSION FOR REVIEW. CHANGES TO THE PLANS APPROVED BY THE WETLANDS COMMISSION CANNOT BE MADE WITHOUT PRIOR APPROVAL OF THE COMMISSION.
20. IN ACCORDANCE WITH REGULATIONS SECTIONS 11.6 AND 11.8 E. NO PERMITS SHALL BE ASSIGNED OR TRANSFERRED WITHOUT THE WRITTEN PERMISSION OF THE COMMISSION OR ITS AGENT. THE ASSIGNEE, TRANSFEREE OR OTHER RECIPIENT OF A TRANSFERRED PERMIT SHALL BE BOUND BY ALL REPRESENTATIONS MADE BY THE APPLICANT IN OBTAINING THE PERMIT AND BY ALL THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED IN THE PERMIT AND SUCH PERSON SHALL HAVE ALL THE RIGHTS, DUTIES AND OBLIGATIONS OF THE ORIGINAL PERMITTEE WHO WAS GRANTED THE PERMIT. REQUESTS FOR PERMIT TRANSFERS SHALL BE MADE IN WRITING TO THE COMMISSION.
21. ALL PLANS SHALL COMPLY WITH THE REQUIREMENTS OF THE TOWN OF BLOOMFIELD'S 2017 STORMWATER MANAGEMENT PLAN WITH REGARDS TO PRE- AND POST-CONSTRUCTION EROSION AND SEDIMENTATION CONTROL MEASURES.
22. AT LEAST TWO WEEKS BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY OR COMPLETION THE PERMITTEE SHALL SCHEDULE AN INSPECTION WITH THE WETLANDS AGENT TO ENSURE THAT ALL SITE WORK COVERED BY THE WETLANDS PERMIT IS SUBSTANTIALLY COMPLETE.
23. ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT STABILIZATION OF ALL DISTURBED AREAS HAS BEEN ACHIEVED.
24. THE AMOUNT OF OPEN GROUND IS TO BE KEPT TO A MINIMUM TO REDUCE THE POTENTIAL FOR SOIL EROSION AND SEDIMENTATION PROBLEMS. OPEN GROUND IS TO BE PROTECTED FROM EROSION WITH TEMPORARY SEEDING AND/OR MULCH EVERY THIRTY (30) DAYS.
25. THE PERMITTEE SHALL PROVIDE AN EMERGENCY STOCKPILE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING HAY BALES, STAKES, CRUSHED STONE AND EQUIPMENT TO PLACE OR INSTALL THESE MEASURES, FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
26. NO DISTURBED SOILS SHALL REMAIN UN-STABILIZED FOR MORE THAN 30 DAYS. STABILIZATION IS THE ESTABLISHMENT OF GROUND COVER WITH TEMPORARY OR PERMANENT SEEDING, WITHIN NORMAL SEEDING DATES, OR MULCH OUTSIDE OF THE NORMAL SEEDING DATES. ALL DISTURBED AREAS SHALL BE STABILIZED IN THE SPRING NO LATER THAN JUNE 1 AND IN THE FALL NO LATER THAN OCTOBER 1.
27. CONSERVATION EASEMENT CORNERS SHALL BE PINNED BY A LAND SURVEYOR AND NOTICE SIGNS ERECTED EVERY 150-200 FEET ALONG THE LINE, FACING AWAY FROM THE CONSERVATION AREA.
28. ALL TRASH AND DEBRIS IS TO BE REMOVED FROM THE WETLANDS OR WATERCOURSES BEFORE ANY CONSTRUCTION ACTIVITIES ARE COMMENCED. THE EXTENT OF THE REMOVAL SHALL BE DETERMINED IN THE FIELD BY THE WETLANDS AGENT.
29. ONLY NATIVE PLANTS, SUITED TO THE SPECIFIC HABITAT, SHALL TO BE PLANTED IN DISTURBED AREAS. THE PLANT SPECIES, NUMBER AND SPACING SHALL BE SUBJECT TO THE APPROVAL OF THE WETLANDS AGENT AND/OR TOWN PLANNER.
30. NO EQUIPMENT, MATERIALS OR MACHINERY TO BE STORED, CLEANED, REPAIRED OR REFUELED WITHIN 75 FEET OF THE WETLANDS OR WATERCOURSE.
31. ANY FUELS STORED ON THE SITE DURING CONSTRUCTION SHALL BE IN DOUBLE-WALLED TANKS WITH CONTAINMENT FOR ACCIDENTAL SPILLS AND SHALL NOT BE LESS THAN 75 FEET FROM THE WETLAND OR WATERCOURSE.
32. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN DUMPSTERS AND REMOVED FROM THE SITE. ANY CONSTRUCTION MATERIALS OR DEBRIS DUMPED OR BLOWN INTO THE WETLANDS OR WATERCOURSE IS TO BE REMOVED AT ONCE.
33. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND DOCUMENTED IN A LOG MAINTAINED ON THE SITE AND AVAILABLE FOR INSPECTION BY THE WETLANDS AGENT.
34. SUBDIVISION PLANS SHALL INCLUDE A NOTE ON EACH LOT THAT CONTAINS WETLANDS OR WATERCOURSES, OR LIES WITHIN THE UPLAND REVIEW AREAS 100 FEET FROM A WETLAND AND 200 FEET FROM A WATERCOURSE, STATING THAT "A PERMIT IS REQUIRED FROM THE WETLANDS COMMISSION PRIOR TO ANY EXCAVATION, FILLING, GRADING, CONSTRUCTION OR TREE CLEARING WITHIN THE WETLANDS, WATERCOURSES, OR UPLAND REVIEW AREAS ON THIS LOT."
35. PLOT PLANS FOR THE DEVELOPMENT OF THE INDIVIDUAL HOUSE LOTS SHALL COMPLY WITH THE INTENT OF THE PLANS APPROVED BY THE WETLANDS COMMISSION. PLOT PLANS THAT DO NOT COMPLY SHALL BE SUBMITTED WITH AN APPLICATION FOR A REVISED WETLANDS PERMIT.
36. ALL PROJECTS INVOLVING A TOTAL, CUMULATIVE DISTURBANCE OF LAND AREA ASSOCIATED WITH CONSTRUCTION ACTIVITIES, THAT IS GREATER THAN OR EQUAL TO FIVE ACRES SHALL BE REGISTERED WITH THE CT DEEP IN ACCORDANCE WITH THE GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DE-WATERING WASTEWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PHASE 1). MUNICIPAL BUILDING, ZONING OR WETLANDS COMPLIANCE PERMITS WILL NOT BE ISSUED FOR THE INITIATION OF WORK IN THE TOWN OF BLOOMFIELD WITHOUT VERIFICATION OF THIS REGISTRATION PRESENTED TO THE PERMITTING AGENCY.
37. AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED, CATCH BASIN SLOPS AND ALL OTHER STORM DRAINAGE SYSTEMS INCLUDING WATER QUALITY MEASURES, SHALL HAVE ACCUMULATED SEDIMENTS REMOVED, AND ANY RESTORATION DONE BEFORE A CERTIFICATE OF OCCUPANCY IS REQUESTED.
38. PROVISIONS FOR DUST CONTROL SHALL BE IMPLEMENTED ON ALL CONSTRUCTION PROJECTS, INCLUDING BUT NOT LIMITED TO WATERING OF EXPOSED GROUND AND STABILIZATION OF SOIL STOCKPILES TO PREVENT WIND EROSION.
39. ANY INTEGRATED TURF/LANDSCAPING/PEST MANAGEMENT PROGRAM APPROVED FOR THE SITE SHALL BE IMPLEMENTED BY THE PERMITTEE, DEVELOPER AND CONTRACTORS DURING CONSTRUCTION AND BY THE PROPERTY OWNER(S), NEIGHBORHOOD ASSOCIATION OR CONDOMINIUM ASSOCIATION AFTER THE CONSTRUCTION PHASE HAS BEEN COMPLETED OR WHEN THE MANAGEMENT OF THE SITE IS TRANSFERRED.
40. IN ACCORDANCE WITH THE REGULATIONS SECTION 6.3, WETLAND AND WATERCOURSE VEGETATED BUFFERS SHALL BE RETAINED WHERE EVER POSSIBLE AND WHERE NO WOODED VEGETATION EXISTS THE BUFFERS SHALL BE PLANTED TO THEIR RECOMMENDED WIDTHS. THE LIMIT OF CLEARING IS ALSO TO BE PLANTED IN A TEN-FOOT STRIP AS A TRANSITION TO UNDISTURBED WOODS. PLANTED BUFFERS SHALL INCLUDE NATIVE CANOPY OR SHADE TREES, SHRUBS AND HERBACEOUS SPECIES SUITED TO THE LOCAL HABITAT AND HAVING VALUES FOR FOOD, SHELTER, NESTING, ETC. EXISTING VEGETATED BUFFERS SHALL BE RETAINED WHERE EVER POSSIBLE.
41. ANY STORMWATER POLLUTION PREVENTION PLAN (SPPP) APPROVED FOR THE SITE SHALL BE IMPLEMENTED BY THE DEVELOPER AND SITE CONTRACTOR. NO DEVIATIONS FROM THE SPPP ARE PERMITTED WITHOUT THE APPROVAL OF THE INLAND WETLANDS & WATERCOURSES COMMISSION AND MAY REQUIRE A REVISED PERMIT.
42. COMPOSITE DECKING MATERIALS SHALL BE USED AS MUCH AS POSSIBLE IN PLACE OF PRESSURE TREATED LUMBER TO REDUCE THE LEACHING OF COPPER AND CHROMIUM.
43. NO CONSTRUCTION EQUIPMENT OR ACTIVITIES SHALL OCCUR WITHIN A WETLANDS OR WATERCOURSE MORE THAN FIVE DAYS CONSECUTIVELY AND NOT WITHIN THREE DAYS OF A RAIN OR SNOW EVENT OF 1"OR GREATER.
44. IN ACCORDANCE WITH THE BLOOMFIELD TOWN PLAN AND ZONING REGULATIONS A FLOODPLAIN PERMIT IS REQUIRED FOR ANY GRADING, BUILDING OR OTHER DISTURBANCES WITHIN THE FLOODPLAIN OR FLOOD HAZARD ZONES. FOUNDATIONS, STRUCTURES, SWALES OR DRAINAGE CHANNELS SHALL NOT BE CONSTRUCTED WITHIN 50 FEET OF A WATERCOURSE UNLESS SPECIFICALLY APPROVED BY THE WETLANDS AND PLAN AND ZONING COMMISSIONS.
45. EVERY TWELVE MONTHS AFTER THE END OF CONSTRUCTION CLEANING OF STORM DRAINAGE SYSTEMS, AN INSPECTION SHALL BE MADE TO DETERMINE THE NECESSITY OF MAINTENANCE. AT A MINIMUM ALL CATCH BASINS AND OTHER STORM DRAINAGE FACILITIES SHALL BE INSPECTED ANNUALLY AND CLEANED IF NECESSARY. ALL PAVED AREAS SHALL BE SWEEP TWICE PER YEAR, ONCE IN THE EARLY SPRING TO REMOVE WINTER SAND, AND AGAIN IN THE FALL TO REMOVE ANY LEAVES OR OTHER DEBRIS. STORM DRAINAGE SYSTEM INSPECTION AND CLEANING REPORTS SHALL BE SUBMITTED TO THE WETLANDS AGENT ON AN ANNUAL BASIS.
46. ALL CONSTRUCTION ACCESS POINTS INTO THE SITE FROM PAVED ROADS OR PARKING AREAS SHALL HAVE A CONSTRUCTION ENTRANCE/ ANTI-TRACKING PAD INSTALLED, AT LEAST 50 FEET IN LENGTH AND WIDE ENOUGH FOR TWO-WAY EQUIPMENT TRAFFIC. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE PROJECT. THE ENTRANCE MAY NEED TO BE EXTENDED OR A WASH-OFF AREA PROVIDE TO ENSURE THAT SOILS FROM THE SITE ARE NOT TRACKED OUT ONTO THE PAVEMENT.
47. A TOWN OF BLOOMFIELD R.O.W. PERMIT IS REQUIRED FOR ANY WORK WITHIN THE TOWN RIGHTS-OF-WAYS, EASEMENTS OR PROPERTY. A STATE OF CONNECTICUT D.O.T. PERMIT IS REQUIRED FOR DRIVEWAY CURB CUTS AND OTHER WORK IN THE STATE HIGHWAY RIGHTS-OF-WAYS.
48. ALL CONSTRUCTION PHASE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY EARTHWORK INCLUDING TREE STUMP REMOVAL OR TOPSOIL STRIPPING, AND SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION ACTIVITIES ON THE PROJECT.
49. POST CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL AND STORMWATER QUALITY MEASURES SHALL BE INSTALLED AND MAINTAINED IN WORKING CONDITION FOLLOWING THE CONSTRUCTION PHASE AND STABILIZATION OF ALL DISTURBED AREAS.
50. REMOVAL OF THE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES IS NOT PERMITTED UNTIL ALL SITE WORK IS COMPLETE AND EXPOSED SOILS PERMANENTLY STABILIZED TO THE SATISFACTION OF THE WETLANDS AGENT. THE PERMITTEE SHALL REQUEST AN INSPECTION BY THE WETLANDS AGENT OF THE COMPLETED PROJECT AT LEAST TWO WEEKS BEFORE REQUESTING THE CERTIFICATE OF OCCUPANCY INSPECTION BY THE BUILDING DEPARTMENT.
51. VEGETATED CUT OR FILL SLOPES, 3:1 AND STEEPER, AND GRASS LINED SWALES ARE LIKELY TO BE SUBJECT TO SOIL EROSION AND SEDIMENTATION. UPON COMPLETION OF THE GRADING THESE AREAS SHALL BE PROTECTED FROM CONCENTRATED RUNOFF AND IMMEDIATELY STABILIZED WITH PERMANENT SEEDING AND EROSION CONTROL BLANKET OR TURF REINFORCING MAT.
52. ALL CONSTRUCTION STAGING AREAS SHALL INCLUDE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES APPROPRIATE FOR THE PROJECT.
53. A STOCKPILE OF TOPSOIL EQUAL TO 800 CUBIC YARDS PER ACRE OF DISTURBED UNPAVED AREA, SUFFICIENT FOR A 6"DEEP LAYER, IS TO REMAIN ON THE SITE AT ALL TIMES DURING CONSTRUCTION. THIS TOPSOIL IS TO BE USED FOR FINAL STABILIZATION OF DISTURBED AREAS.
54. NO TOPSOIL IS TO BE REMOVED FROM THE PROPERTY UNTIL ALL DISTURBED AREAS HAVE BEEN FULLY STABILIZED TO THE SATISFACTION OF THE WETLANDS AGENT. EXCESS TOPSOIL MAY BE REMOVED FROM THE PROJECT ONLY AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED AND A WRITTEN REQUEST TO REMOVE THE TOPSOIL IS APPROVED BY THE TOWN PLANNER OR WETLANDS AGENT.
55. LOW IMPACT DEVELOPMENT (LID) METHODS ARE ENCOURAGED AND SHALL BE IMPLEMENTED WHERE EVER POSSIBLE.
56. REGULATED ACTIVITIES SHALL BE COMPLETED IN ONE PHASE BEFORE STARTING IN THE NEXT PHASE.
57. ALL CONSTRUCTION ACTIVITIES SHALL FOLLOW BEST MANAGEMENT PRACTICES (BMP'S) TO LIMIT DISTURBED AREAS, TO RESTRICT CONSTRUCTION DURING RAIN OR SNOW EVENTS, TO PREVENT SOIL EROSION AND SEDIMENTATION, AND TO ENSURE PROMPT STABILIZATION OF DISTURBED AREAS AND PROTECTION OF VEGETATION AND TREES.
58. ALL ASPECTS OF THE APPROVED PLANS SHALL BE BINDING UPON THE PERMITTEE, AND ON THE DEVELOPER AND CONTRACTORS EMPLOYED TO IMPLEMENT THE PROJECT. MODIFICATIONS TO ANY ASPECT OF THE PROJECT OR THE PLANS MAY REQUIRE A REVISED WETLANDS PERMIT.
59. ALL LOT CORNERS SHALL BE PINNED OR STAKED AT TIME OF SUBMITTAL OF A REQUEST FOR A BUILDING PERMIT. PROPERTY LINES SHALL BE FLAGGED AT THE REQUEST OF TOWN STAFF. WHEN A CERTIFICATE OF OCCUPANCY IS REQUESTED ALL LOT, AND EASEMENT, CORNERS MUST BE PINNED AND FLAGGED FOR IDENTIFICATION. R.O.W MONUMENTS MISSING OR DAMAGED SHALL BE REPLACED.
60. ANY TREES WITHIN THE TOWN RIGHTS-OF-WAY, OR ON TOWN PROPERTY, PROPOSED TO BE REMOVED MUST BE APPROVED AND POSTED BY THE TREE WARDEN FOR THE PROSCRIBED PERIOD OF TIME BEFORE THEY ARE CUT DOWN. THE PERMITTEE TO COORDINATE THE POSTING OF THE TREES WITH THE TREE WARDEN.



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



Timothy A. Hale

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002



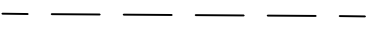
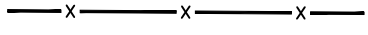




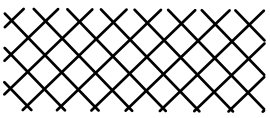





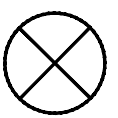

REVISIONS		Desc.	
No.	Date	RESPONSE TO TOWN COMMENTS	
1	7/2/2025	RESPONSE TO TOWN COMMENTS	
2	8/2/2025	RESPONSE TO TOWN COMMENTS	
3	9/2/2025	RESPONSE TO TOWN COMMENTS	
4	10/26/2025	RESPONSE TO TOWN COMMENTS	
5	12/3/2025	RESPONSE TO TOWN COMMENTS	
6	12/8/2025	REVISED PER TOWN ENGINEERING COMMENTS	
Designed J.N.B.			
Drawn J.N.B.			
Reviewed R.M.R.			
Scale 1"=40'			
Project No. 2302699			
Date 2/10/2025			
CAD File: G2302699-01			
Title			
INLAND WETLANDS STANDARD NOTES			
Sheet No.			

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DEMOLITION LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND WORK CONTRACT LIMIT LINE
	WETLAND BOUNDARY
	SAWCUT LINE
	REMOVE AND DISPOSE OF CURB, WALL, UTILITY, FENCE, GUIDERAIL, OR OTHER ENTITY
	PROTECT EXISTING UTILITY LINE
	LIMIT OF TREE AND VEGETATION CLEARING
	CLEARING AND GRUBBING, REMOVE AND DISPOSE OF EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS
	CLEAR WOODED AREA, REMOVE AND DISPOSE OF EXISTING TREES, SHRUBS, BRUSH, STUMPS, AND DEBRIS
	REMOVE AND DISPOSE OF EXISTING BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT STRUCTURE
	REMOVE AND DISPOSE OF EXISTING GRAVEL
	EXISTING TREE/SHRUB TO REMAIN AND BE PROTECTED
	EXISTING STRUCTURE TO REMAIN AND BE PROTECTED
	REMOVE AND DISPOSE OF EXISTING TREE AND/OR TREE STUMP
	REMOVE AND DISPOSE OF LIGHT POLE, SIGN, PIPING, UTILITY STRUCTURE, APPURTENANCE, FIXTURE, ETC.

NOTES

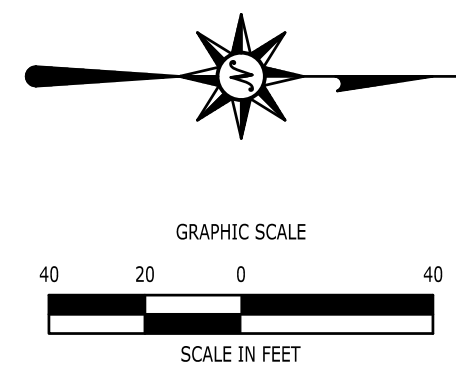
SEE C5.00 LANDSCAPING PLAN FOR MORE DETAILED TREE REMOVAL PLANS

MONITORING WELL PROCEDURE

MONITORING WELL CUTTING OR REPLACEMENT SHOULD BE COORDINATED WITH THE SITE LEP.

IF THE LEP DETERMINES THAT THE WELL MUST REMAIN ACTIVE, THE WELL SHALL BE MADE FLUSH WITH THE PROPOSED GRADING. THE PVC WELL SHALL BE CUT A FEW INCHES BELOW GRADE. A STAINLESS STEEL COLLAR SHALL BE PLACED AROUND THE PVC AND A CONCRETE PAD SHALL BE PLACED AROUND THE COLLAR. SPECIFIC DETAILS OF THIS CUTTING SHALL BE COORDINATED AND APPROVED BY THE SITE LEP.

IF THE LEP DETERMINES THAT THE WELL MAY BE ABANDONED, ABANDONMENT SHOULD FOLLOW CT DPH ABANDONMENT PROCEDURE, LATEST EDITION.



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REVISIONS		
No.	Date	Desc.
1	7/3/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	9/23/2025	RESPONSE TO TOWN COMMENTS
4	10/26/2025	RESPONSE TO TOWN COMMENTS
5	12/3/2025	REVISION PER TOWN ENGINEERING COMMENTS
6	12/8/2025	REVISION PER TOWN ENGINEERING COMMENTS

Designed	K.R.
Drawn	K.R.
Reviewed	R.M.R.
Scale	1"=40'
Project No.	2302699
Date	2/10/2025

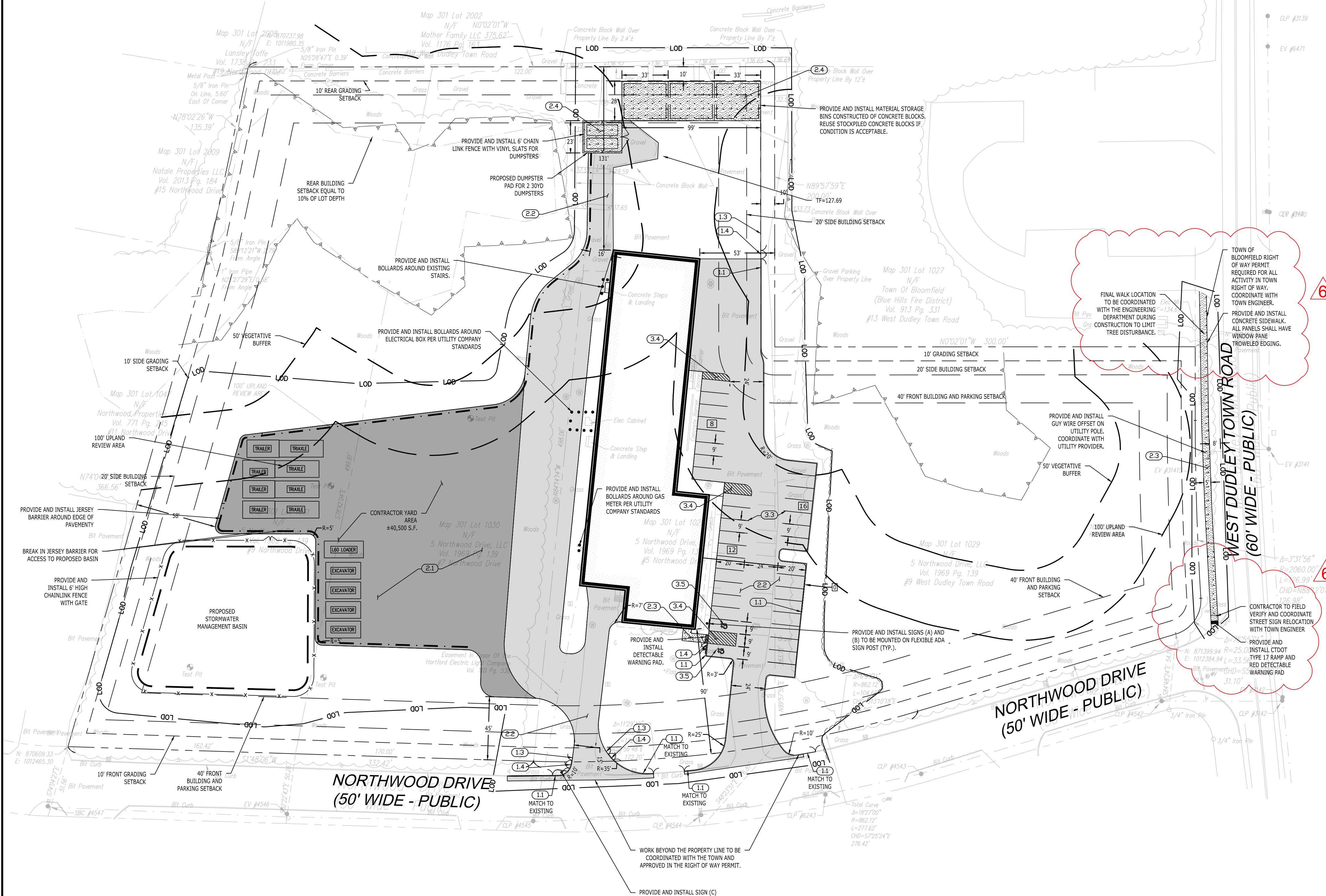
Title
DEMOLITION PLAN

Sheet No.

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VEHICLE INFORMATION

ITEM	DIMENSIONS	PARKING SPACE DIMENSIONS	HEIGHT
TRIAKLE DUMP TRUCK	27.5' X 8'	31.5' X 12'	10'
20 TON EAGER BEAVER TRAILER	19' X 8.5'	23' X 12.5'	2.83'
VOLVO 88 SIZED EXCAVATOR	21' X 8'	25' X 12'	9'
VOLVO L60 LOADER	24' X 8'	28' X 12'	10'

SITE PLAN LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE
	SAWCUT LINE
	EASEMENT LINE
	BUILDING SETBACK
	PARKING SETBACK
	WETLAND BOUNDARY
	PROVIDE AND INSTALL CURB
	PROVIDE AND INSTALL 6' HIGH CHAIN LINK FENCE
	VEGETATIVE BUFFER
	100' UPLAND REVIEW AREA
	GRADING SETBACK
	CLEARING LIMIT
	PROVIDE AND INSTALL CONCRETE PAVEMENT STRUCTURE OR REINFORCED CONCRETE SIDEWALK
	PROVIDE AND INSTALL BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	PROVIDE AND INSTALL ASPHALT MILLINGS PAVEMENT STRUCTURE
	PROVIDE AND INSTALL TRAFFIC SIGN

ZONING INFORMATION

LOCATION: BLOOMFIELD, CT			
ZONE: I-2 (INDUSTRIAL-2)			
USE: OUTDOOR STORAGE AS AN ACCESSORY USE (SPECIAL PERMIT)			
ITEM	REQUIREMENTS	PROPOSED	VARIANCE
MINIMUM LOT AREA	40,000 S.F.	288,365 S.F. (6.62 AC.)	NO
MINIMUM LOT WIDTH	125 FEET	375 FEET	NO
MINIMUM LOT FRONTAGE	NONE REQUIRED	835 FEET	NO
MINIMUM FRONT SETBACK	40 FEET	90 FEET	NO
MINIMUM SIDE SETBACK	20 FEET	53 FEET	NO
MINIMUM REAR SETBACK	10% DEPTH (49.6 FEET)	131 FEET	NO
MAXIMUM BUILDING HEIGHT	60 FEET	<60 FEET	NO
MAXIMUM BUILDING COVERAGE	50 PERCENT	34 PERCENT	NO

PARKING INFORMATION

ITEM	REQUIREMENTS	PROPOSED	VARIANCE
BUILDING SIZE	NONE REQUIRED	EXISTING BUILDING TO REMAIN 17,845 S.F.	NO
PARKING REQUIRED	INDUSTRIAL AND ALL OTHER COMMERCIAL USES 1 SPACE FOR EVERY 2 EMPLOYEES ON ANY 1 SHIFT AND IN NO CASE LESS THAN 1 SPACE PER EVERY 500 S.F. OF BUILDING AREA REQUIRED - 36 REQUIRED (BY AREA)	36 SPACES	NO
MINIMUM ADA PARKING SPACES REQUIRED	2 SPACES	2 SPACES	NO
MINIMUM PARKING DIMENSIONS	9 FEET X 20 FEET	9 FEET X 20 FEET	NO
MINIMUM AISLE WIDTH	24 FEET - 2-WAY	24 FEET - 2-WAY	NO
MINIMUM FRONT SETBACK	40 FEET	45 FEET	NO
MINIMUM SIDE SETBACK	10 OR 20 FEET*	48 FEET	NO
MINIMUM REAR SETBACK	10 OR 49.6 FEET*	10 FEET	NO
MINIMUM INTERIOR LANDSCAPING	ONE ISLAND PER 15 SPACES	ONE ISLAND PER 15 SPACES	NO

*COMMISSION MAY REQUIRE NO PARKING IN SIDE OR REAR YARDS. IN LIEU OF COMMISSION REQUIREMENT, GRADING SETBACK SHALL SERVE AS PARKING SETBACK.

CURB TYPE LEGEND

KEY	NAME
1.1	6" BITUMINOUS CURB
1.2	MONOLITHIC CONCRETE CURB (NOT USED)
1.3	FLUSH CURB
1.4	TRANSITION CURB
1.5	GAPE C&D BERM (NOT USED)
	CHANGE IN CURB TYPE

SIGN LEGEND

SIGN NO.	MUTCD NO.	LEGEND
A	R7-8	
B	R7-8A	
C	R3-1B	

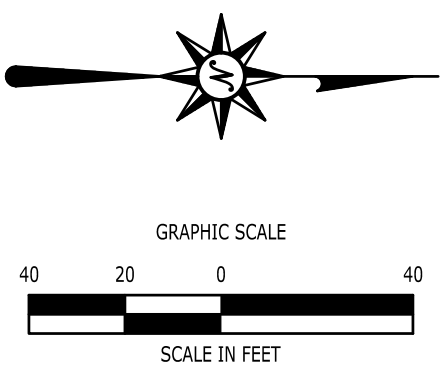
PAVEMENT TYPE LEGEND

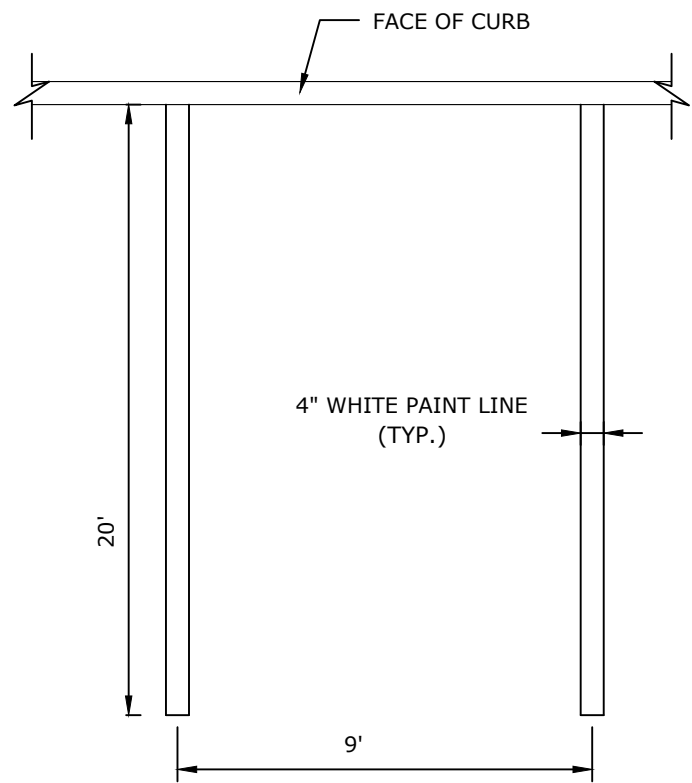
KEY	NAME
2.1	ASPHALT MILLINGS PAVEMENT
2.2	BITUMINOUS CONCRETE PAVEMENT STRUCTURE
2.3	CONCRETE SIDEWALK OR APRON
2.4	CONCRETE DUMPSTER PAD

PAVEMENT MARKING LEGEND

KEY	NAME
3.1	4" SOLID DOUBLE YELLOW CENTER LINE (NOT USED)
3.2	12" SOLID WHITE STOP BAR (NOT USED)
3.3	4" SOLID WHITE LINE STALL STRIPING
3.4	4" SOLID WHITE LINE @ 45° AND SPACED 2' O.C.
3.5	INTERNATIONAL SYMBOL FOR ACCESSIBILITY

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

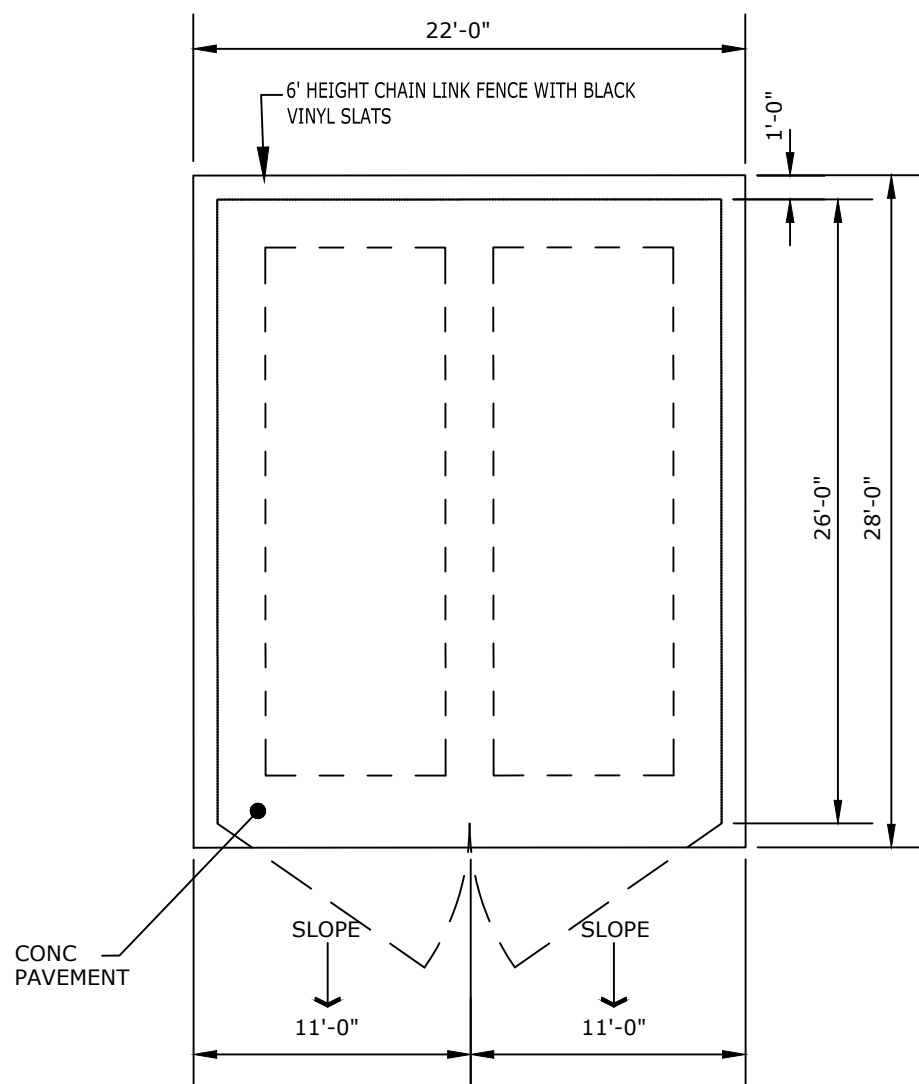




- NOTE:
1. PROVIDE 2 COATS OF PAINT ON ALL SURFACES.
 2. SEE PLAN FOR ACTUAL SPACE LOCATION AND DIMENSIONS.

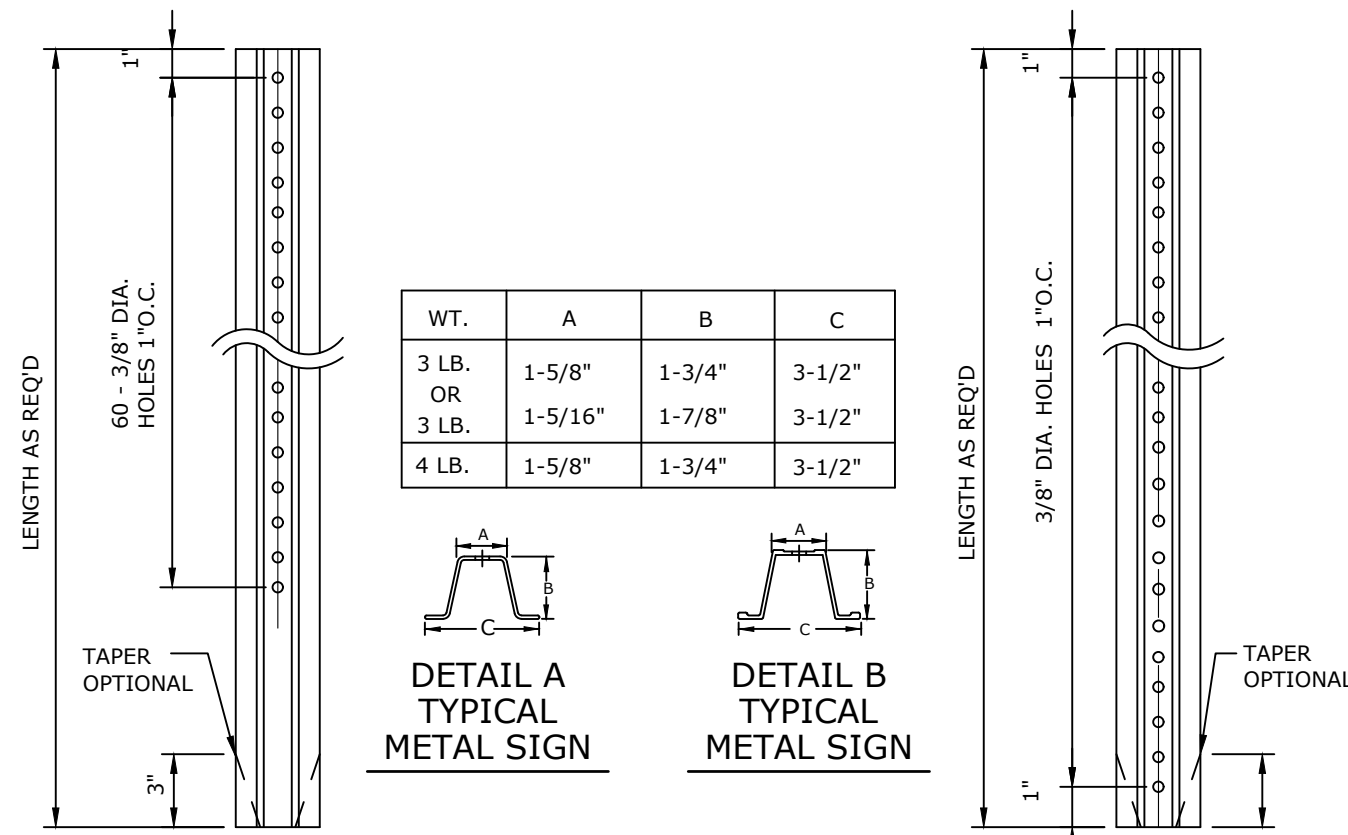
TYPICAL PARKING SPACE DETAIL

N.T.S. BLPD-003



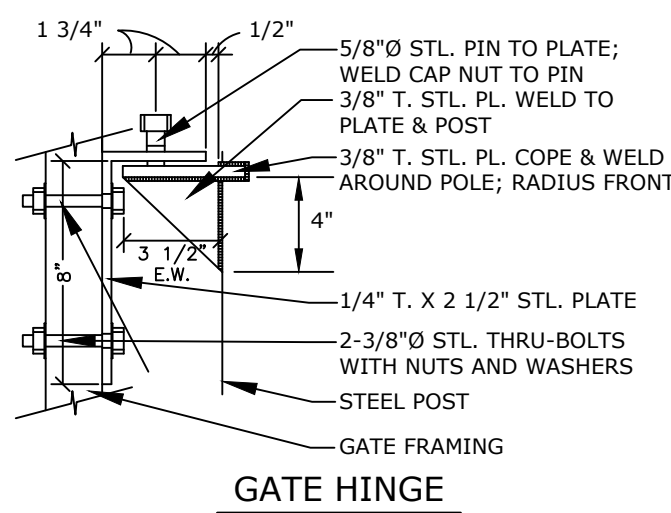
TRASH ENCLOSURE PLAN

N.T.S. BLSE-004



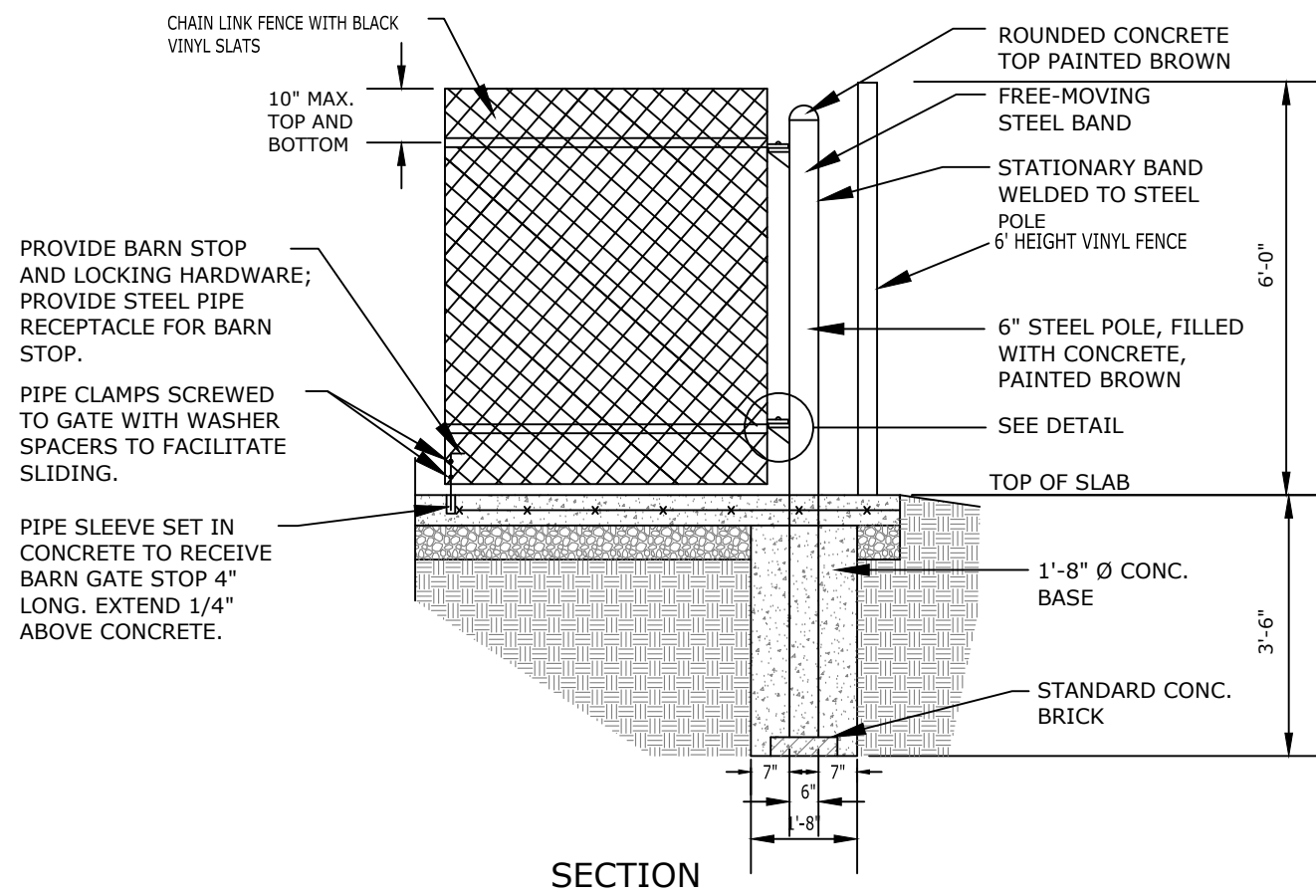
TYPICAL METAL SIGN POSTS

N.T.S. BLSO-001



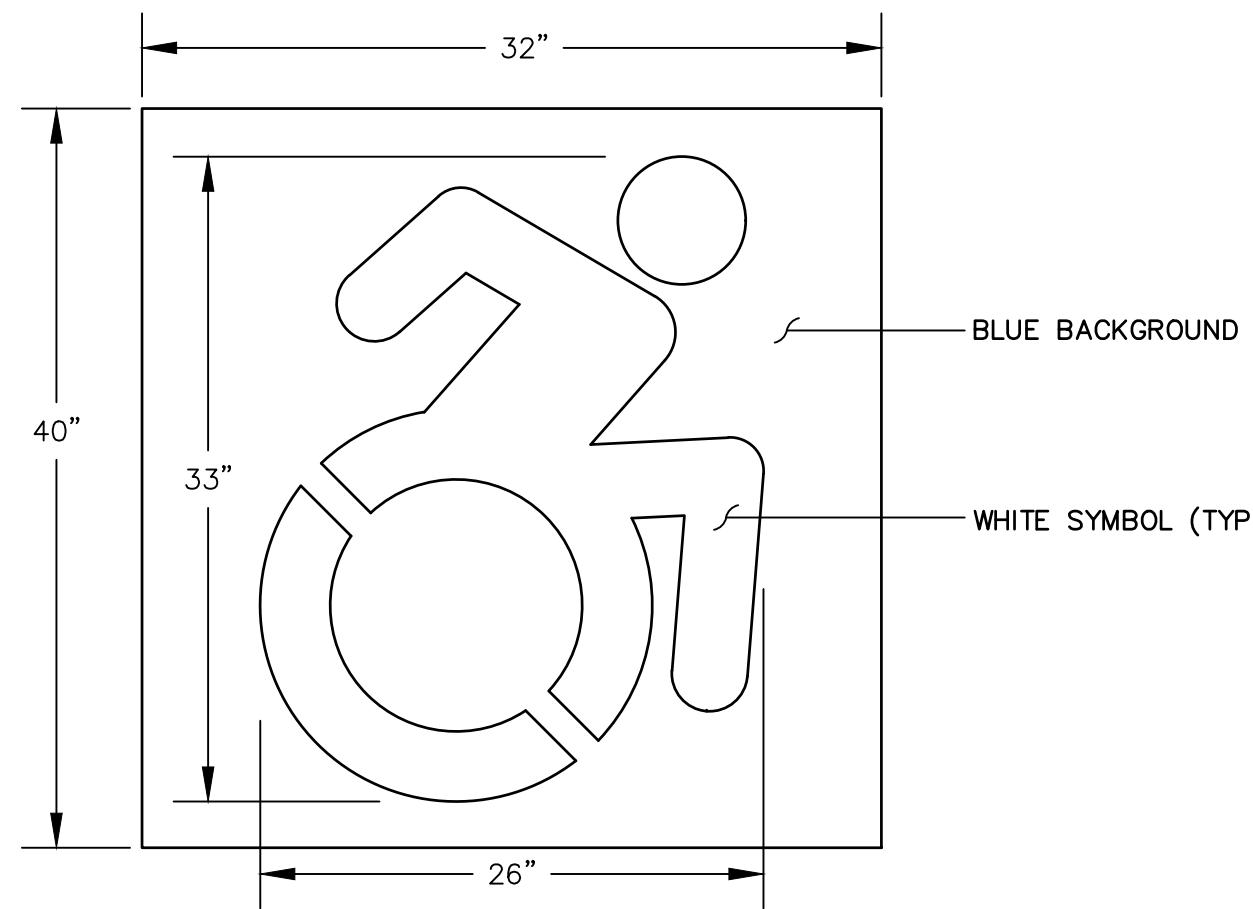
TRASH ENCLOSURE GATE (HALF SECTION)

N.T.S. BLSE-001



TRASH ENCLOSURE CHAIN LINK FENCE GATE

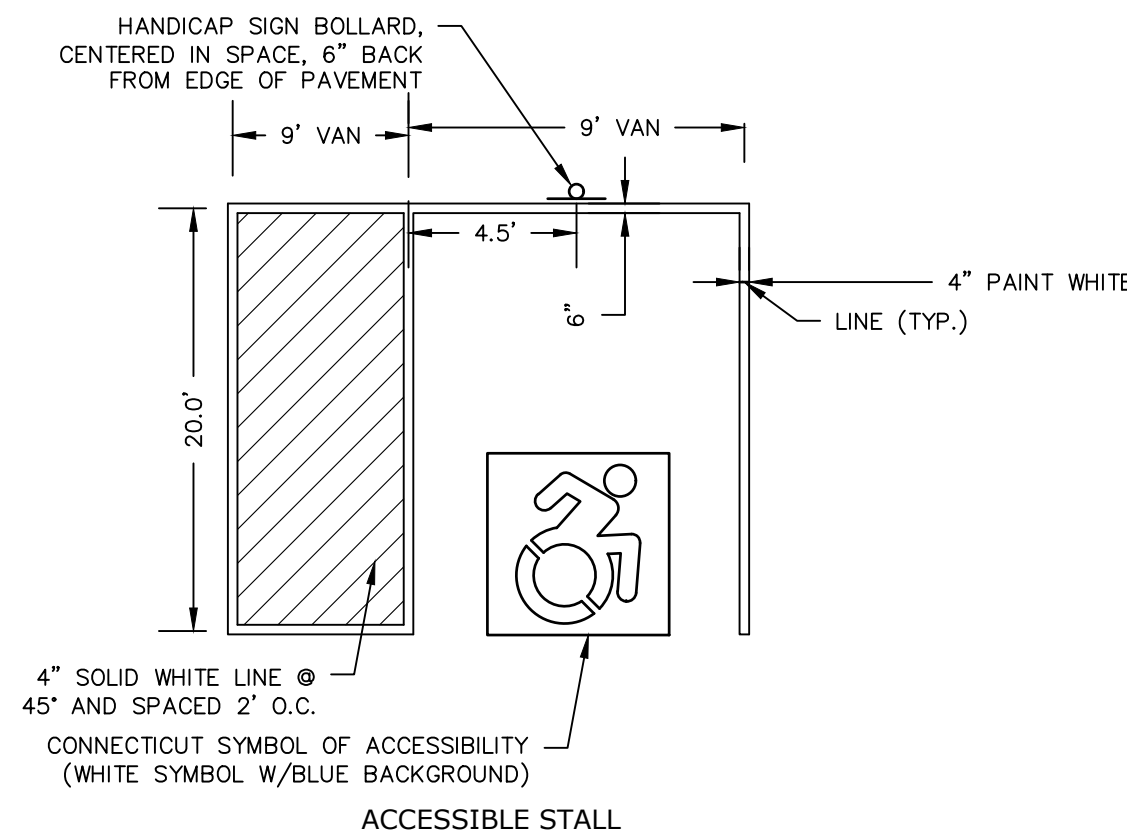
N.T.S. BLFD-001



NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION

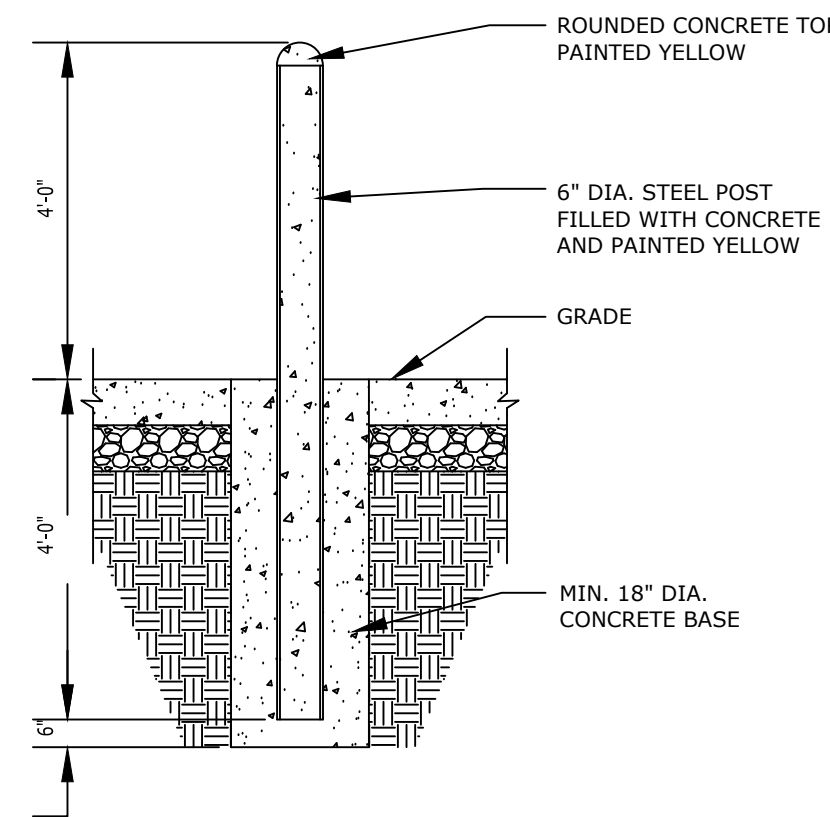
CONNECTICUT SYMBOL OF ACCESSIBILITY

N.T.S.



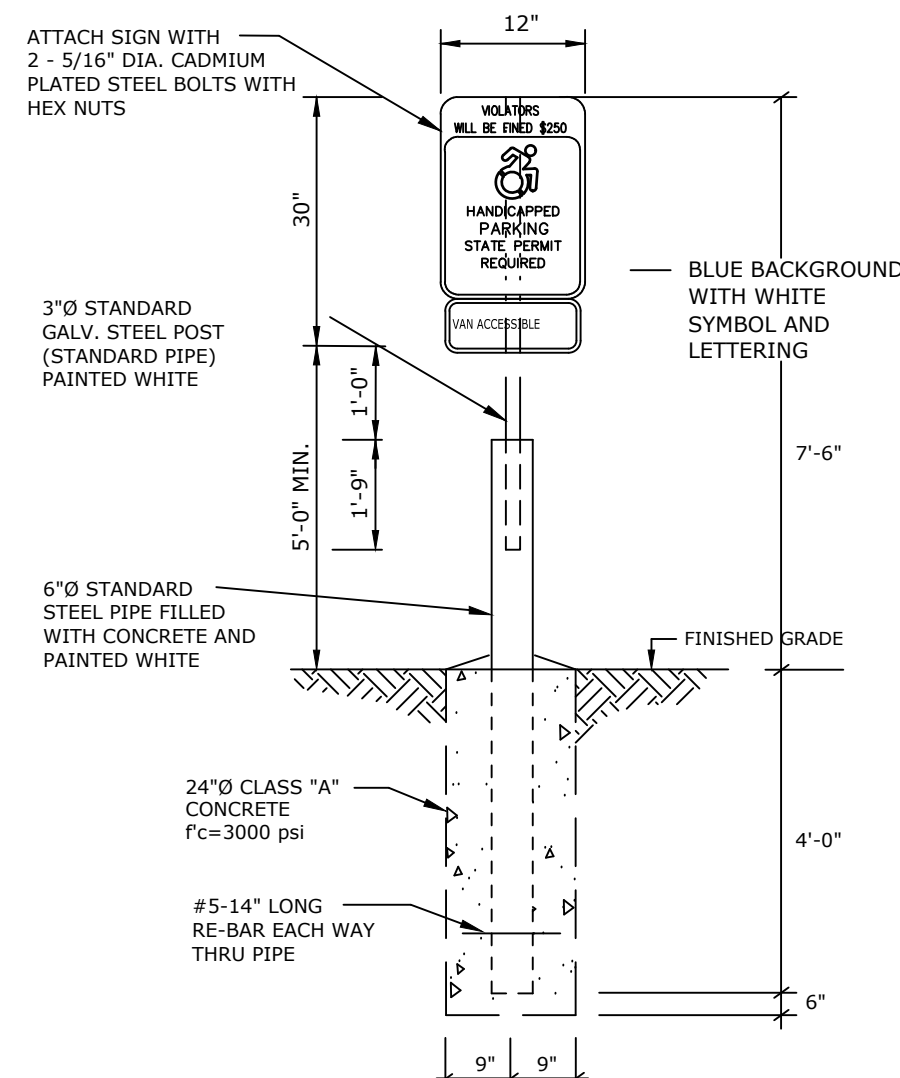
TYPICAL ADA ACCESSIBLE PARKING STALL LAYOUT

N.T.S.



6" CONCRETE FILLED STEEL BOLLARD

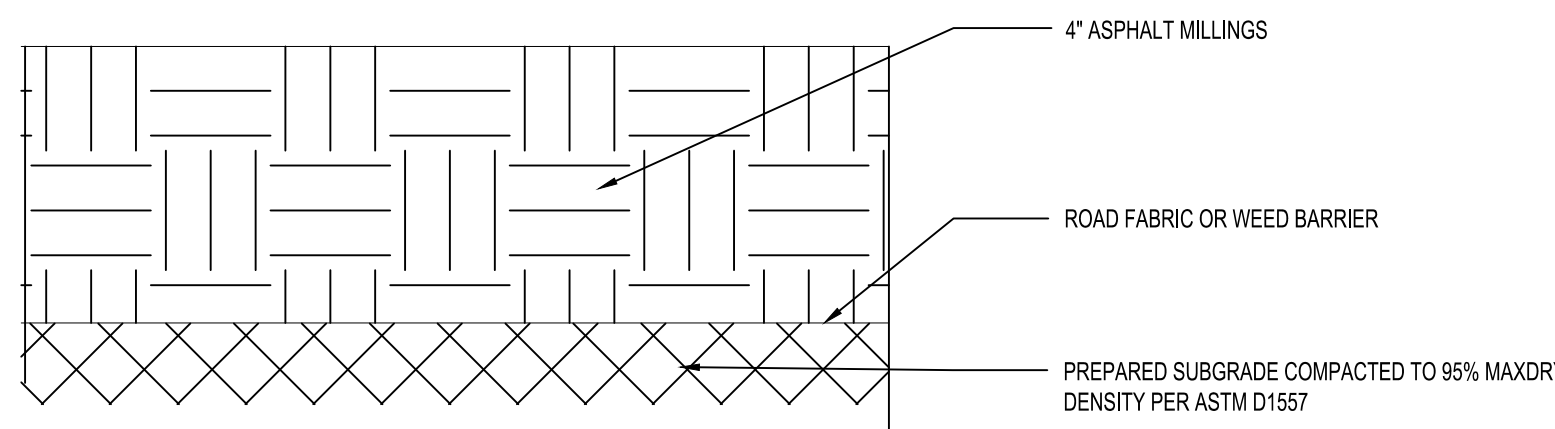
N.T.S. BLSE-005



NOTE: HANDICAP SYMBOL TO ADHERE TO STATE BUILDING CODE, LATEST EDITION

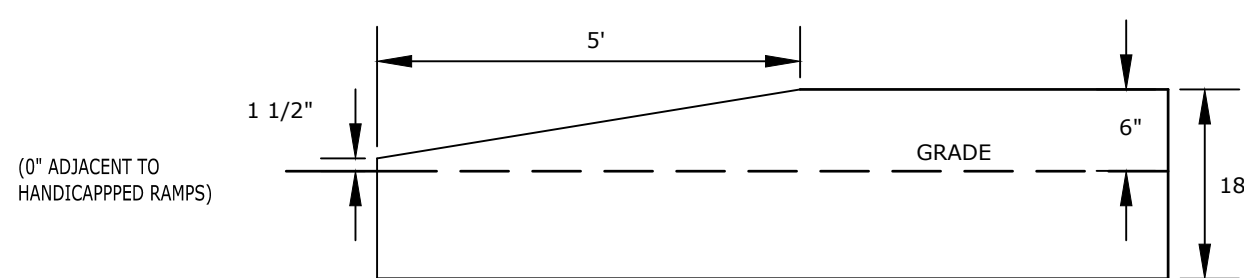
HANDICAP SIGN BOLLARD DETAIL

N.T.S.



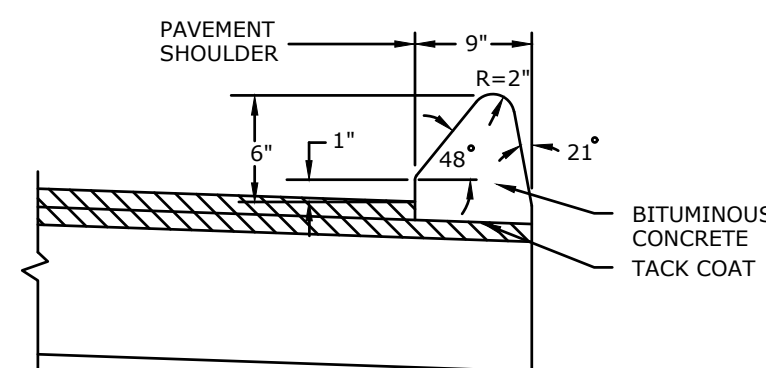
ASPHALT MILLING PAVEMENT STRUCTURE

N.T.S.



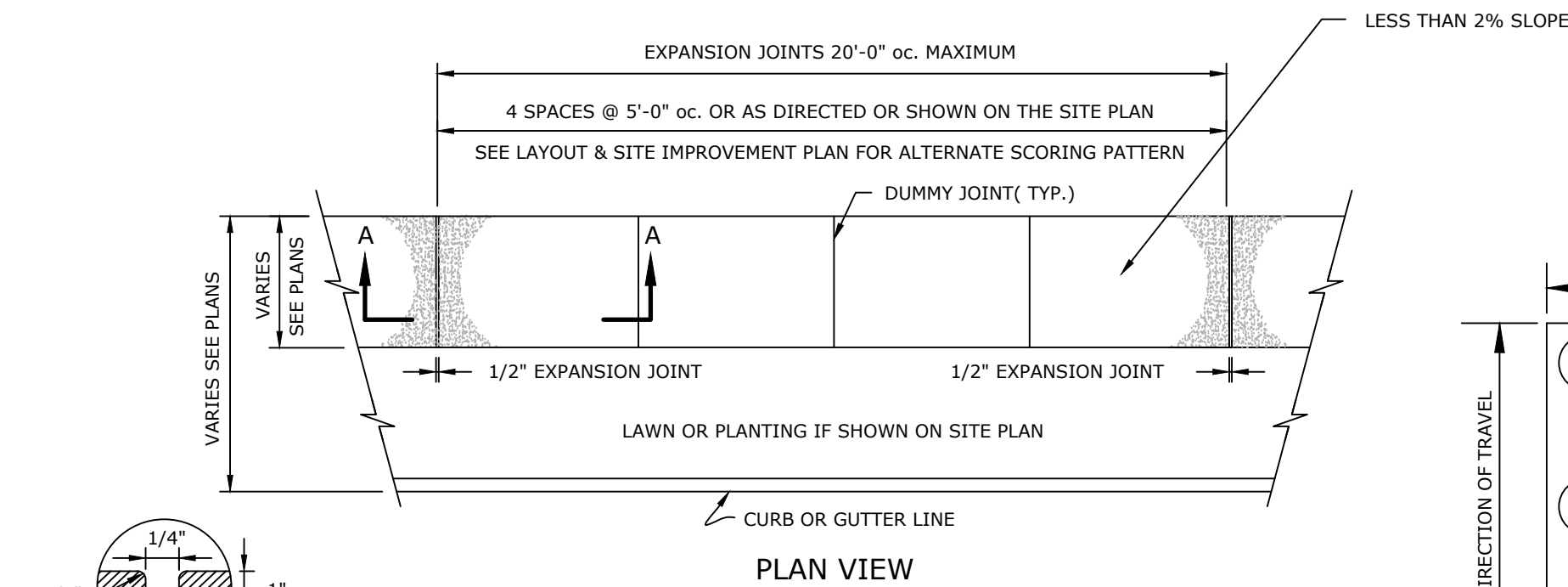
TRANSITION CURB

N.T.S.



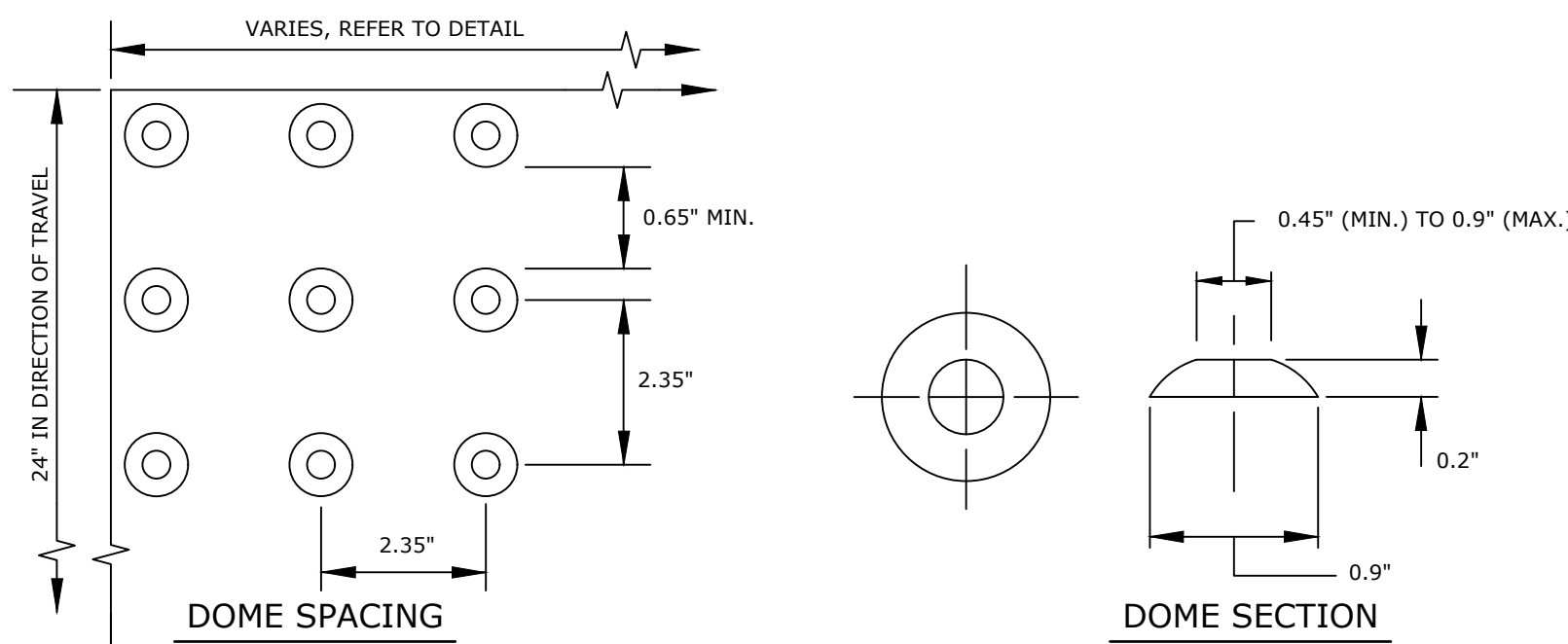
BITUMINOUS CONCRETE LIP CURBING

N.T.S.



CONCRETE SIDEWALK DETAIL

N.T.S. BLSR-001

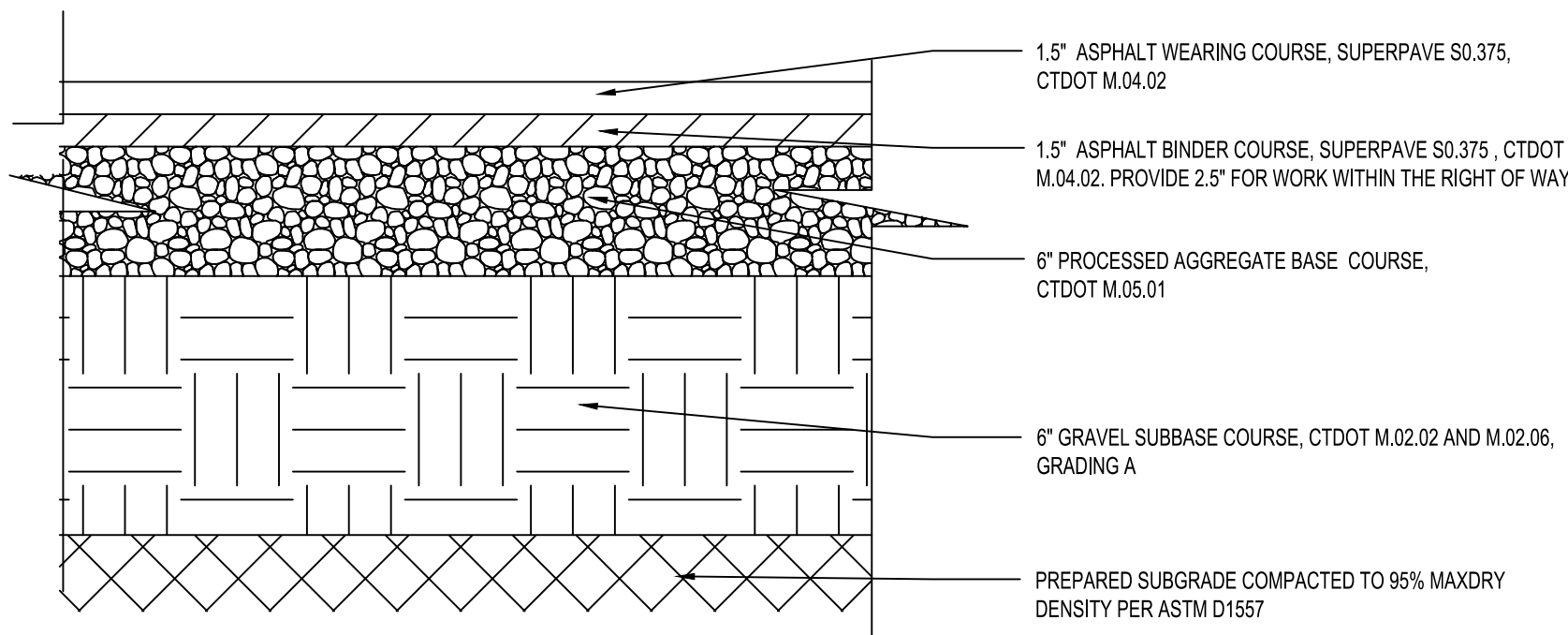


DETECTABLE WARNING

N.T.S.

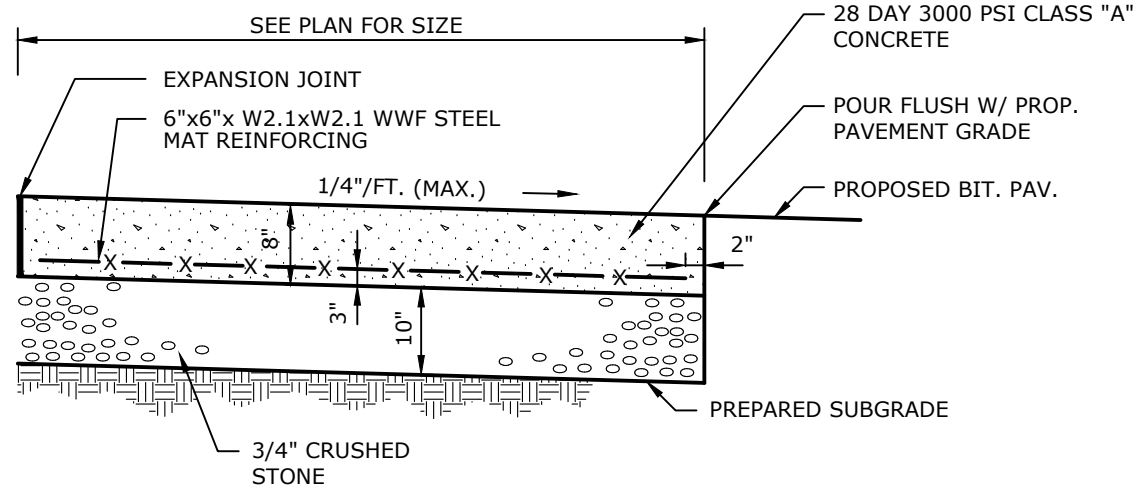
NOTE: PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP; THERE MUST BE A MINIMUM OF 70% CONTRAST IN LUMINOUS REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJACENT SURFACE.

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BITUMINOUS CONCRETE PAVEMENT STRUCTURE

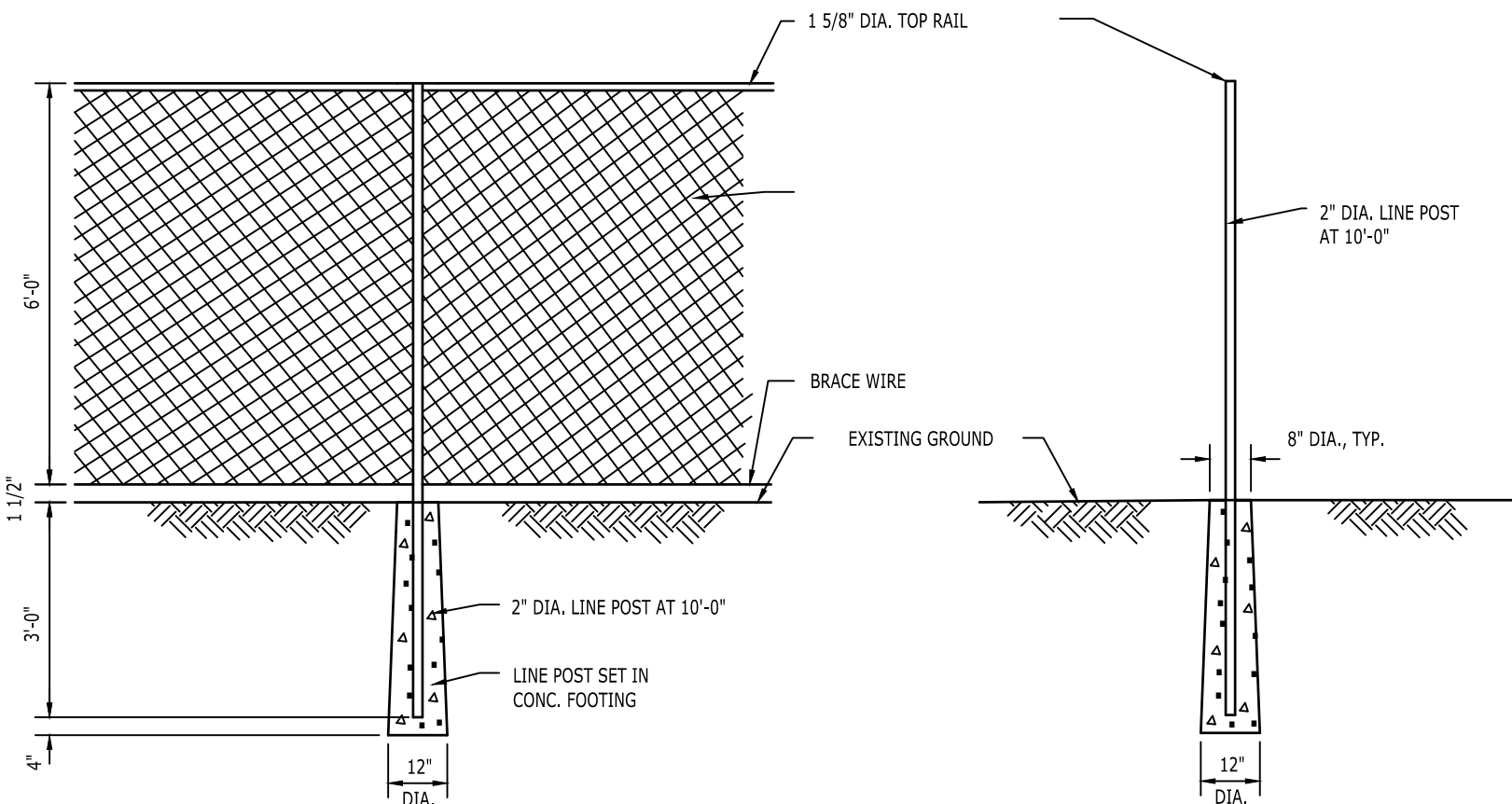
N.T.S.



CONCRETE DUMPSTER PAD AND CONCRETE PAVEMENT

N.T.S.

BLPC-002

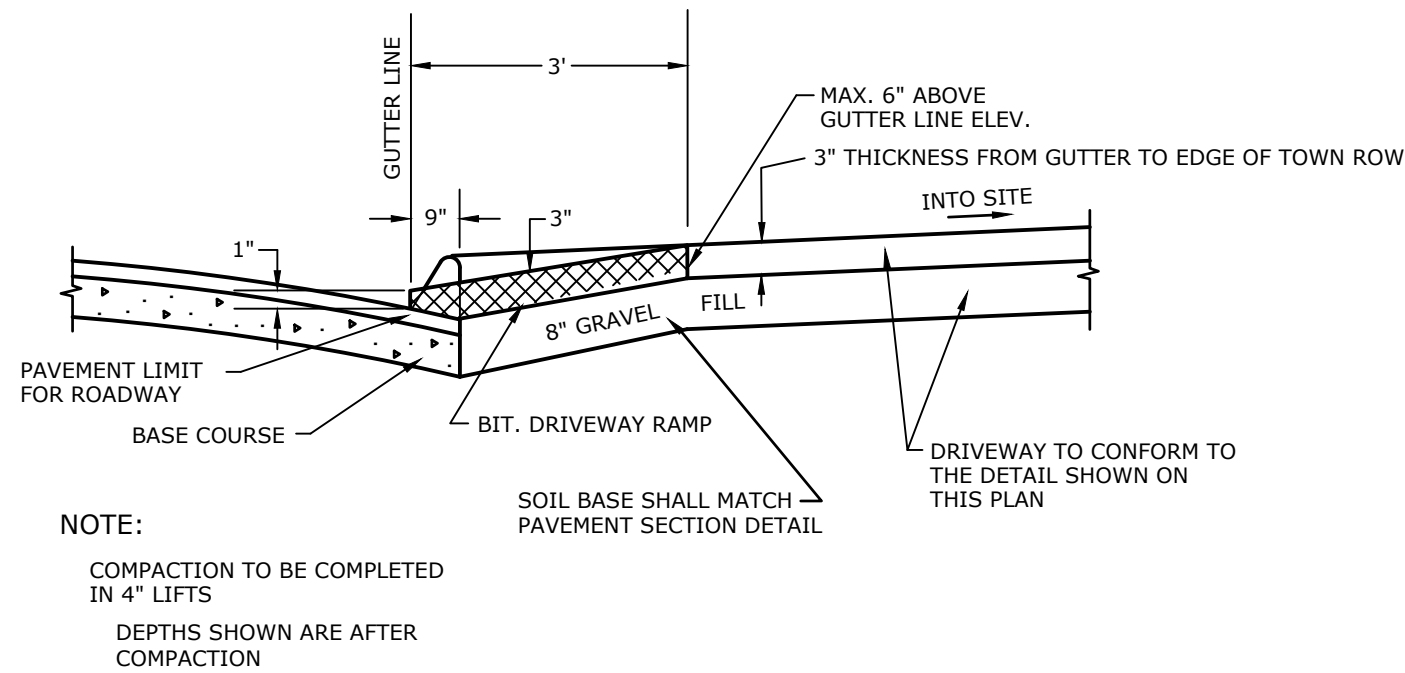


FRONT VIEW

SIDE VIEW

CHAIN LINK FENCE

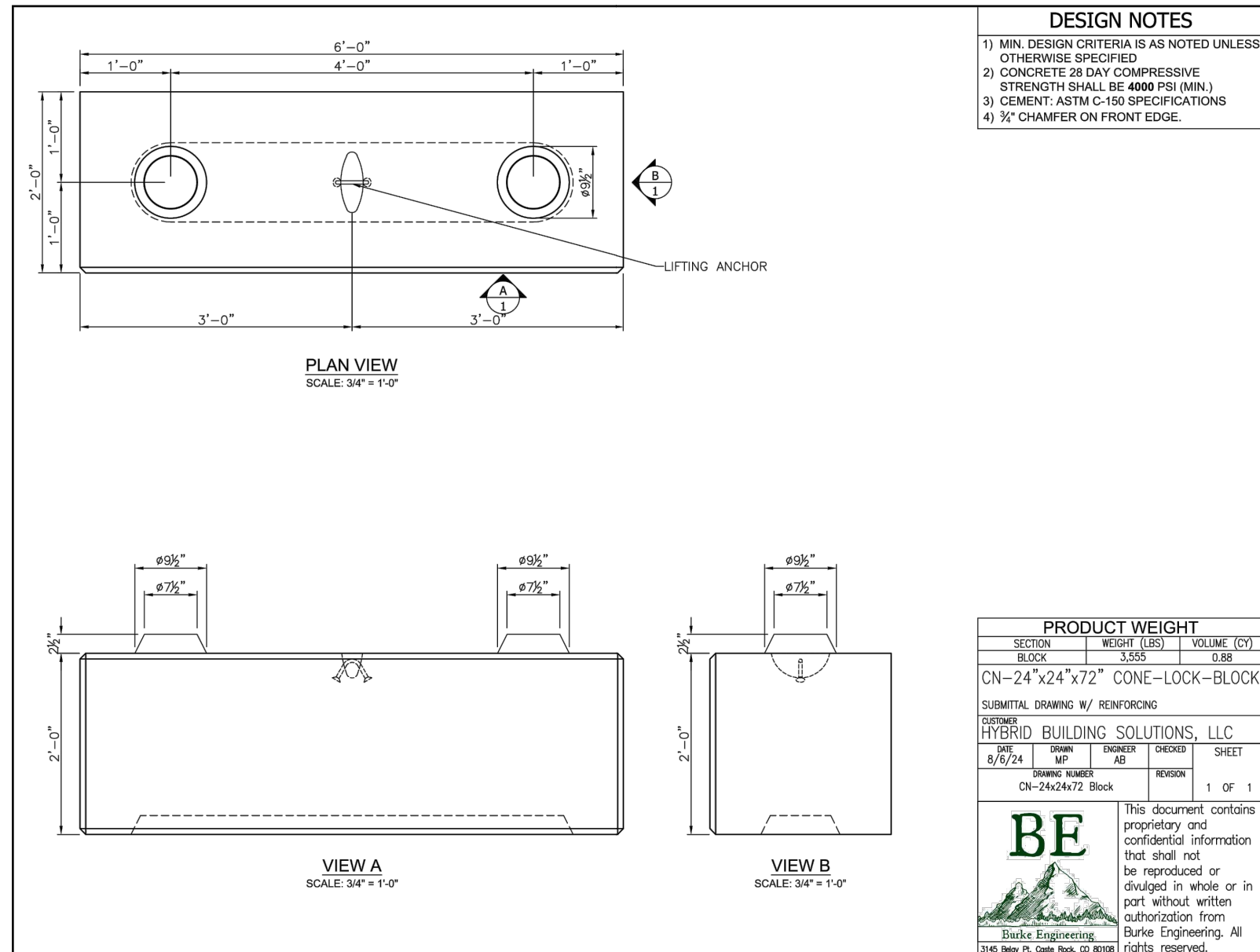
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BITUMINOUS CONCRETE DRIVEWAY APRON DETAIL

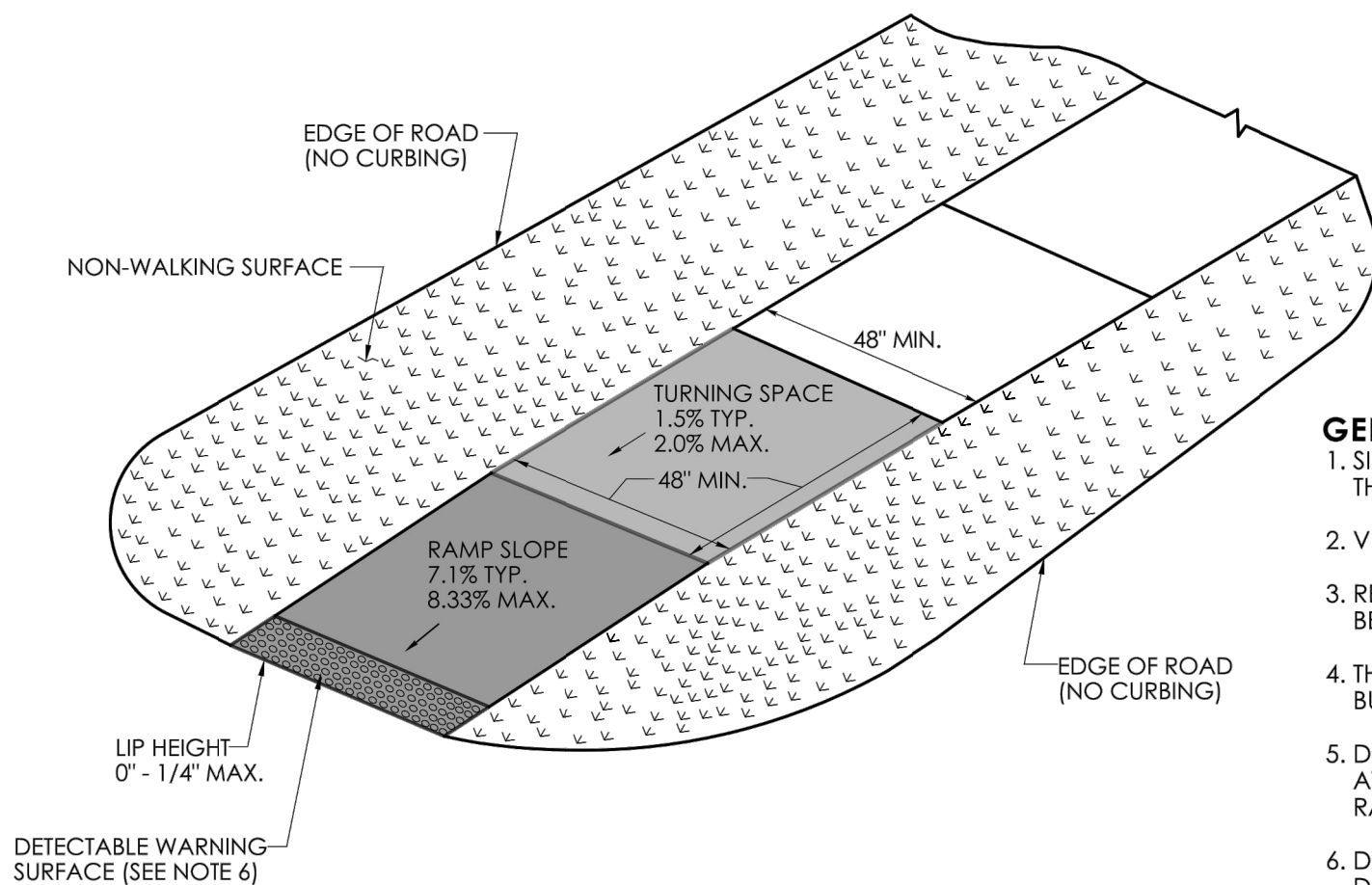
N.T.S.

ZPC-011



CONCRETE BLOCKS (OR APPROVED EQUAL)

N.T.S.

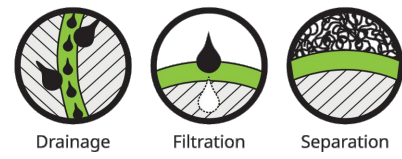


SINGLE DIRECTION PERPENDICULAR RAMP NO CURB WITH NON-WALKING SURFACE (TYPE 17)

CTDOT TYPE 17 CONCRETE SIDEWALK RAMP

N.T.S.

6



ADS 0801T NONWOVEN GEOTEXTILE SPECIFICATION

Scope

This specification describes ADS 0801T (8.0 oz) nonwoven geotextile.

Filter Fabric Requirements

ADS 0801T (8.0 oz) is a needle-punched nonwoven geotextile made of 100% polypropylene staple fibers, which are formed into a random network for dimensional stability. ADS 0801T (8.0 oz) resists ultraviolet deterioration, rotting, biological degradation, naturally encountered alkalis and acids. Polypropylene is stable within a pH range of 2 to 13. ADS 0801T (8.0 oz) conforms to the physical property values listed below:

Filter Fabric Properties

Property	Test Method	Unit	M.A.R.V. (Minimum Average Roll Value)
Grab Tensile	ASTM D4632	lbs (kN)	205 (0.911)
Grab Elongation	ASTM D4632	%	50
Trapezoid Tear Strength	ASTM D4533	lbs (kN)	80 (0.356)
CBR Puncture Resistance	ASTM D6241	lbs (kN)	500 (2.224)
Permittivity*	ASTM D4491	sec ⁻¹	1.4
Water Flow*	ASTM D4491	gpm/ft ² (l/min/m ²)	90 (3657)
AOS*	ASTM D4751	US Sieve (mm)	80 (0.180)
UV Resistance	ASTM D4355	%/hrs	70/500

Packaging

Roll Dimensions (W x L) - ft. (m)	12.5 x 360 / 15 x 300 (3.81 x 109.8 / 4.6 x 91.4)
Roll Square Yards (Square Meters)	500 (418)
Estimated Roll Weight - lbs (kg)	250 (113)

* At the time of manufacturing. Handling may change these properties.

ADS "Terms and Conditions of Sale" can be found on the ADS website, adsipge.com. The ADS logo is a registered trademark of Advanced Drainage Systems, Inc. #B701T 10/22 MH

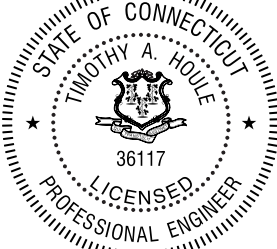


SEPARATION FABRIC FOR MILLINGS (OR APPROVED EQUAL)

N.T.S.



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



Timothy A. Hale

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS
No. 1 2 3 4 5 6
Date 7/8/2025 8/2/2025 10/26/2025 12/3/2025 12/8/2025
Desc. RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS

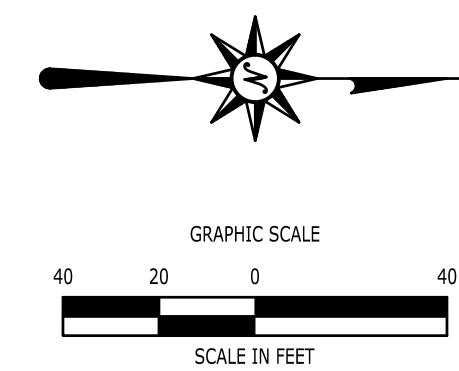
Designed
Drawn
Reviewed R.M.R.
Scale 1"=40'
Project No. 2302699
Date 2/10/2025

Title
SITE PLAN DETAILS

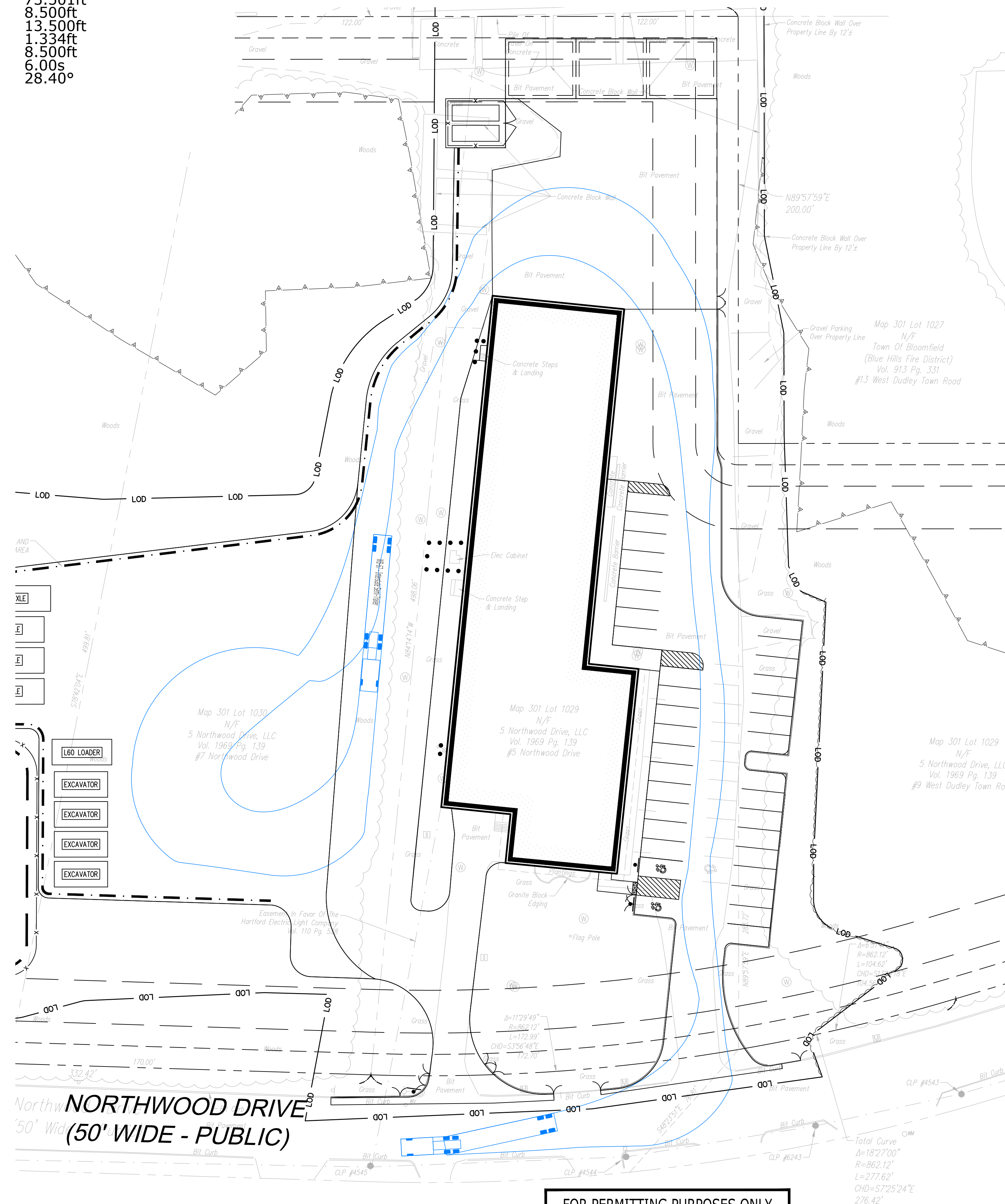
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C1.101

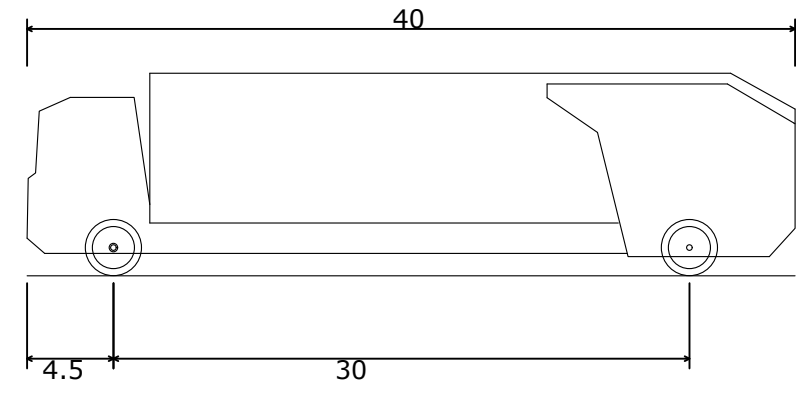
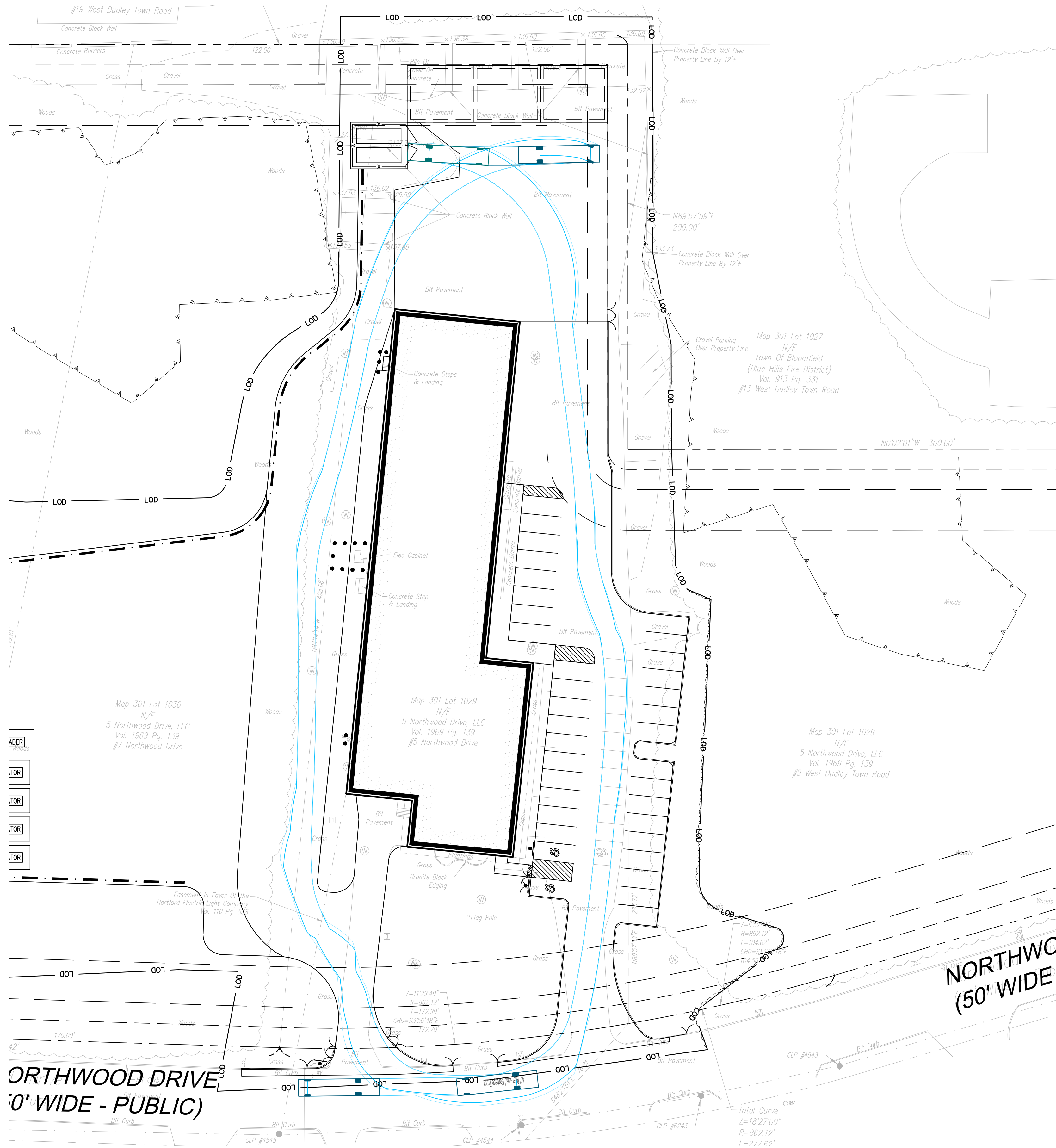
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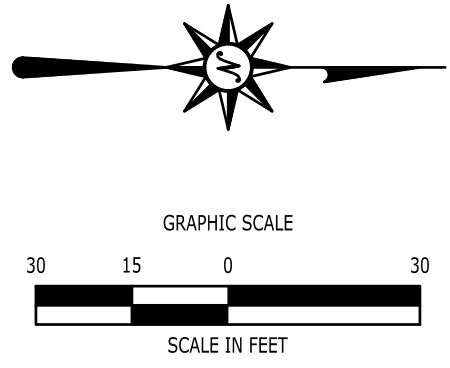
73.501ft
8.500ft
13.500ft
1.334ft
8.500ft
6.00s
28.40°



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



40' Rear-Load Garbage Truck
Overall Length 40.000ft
Overall Width 8.375ft
Overall Body Height 10.546ft
Min Body Ground Clearance 1.000ft
Track Width 8.375ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 34.300ft



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS	DATE	DESCRIPTION
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	9/2/2025	RESPONSE TO TOWN COMMENTS
4	10/26/2025	RESPONSE TO TOWN COMMENTS
5	12/3/2025	REVISED PER TOWN ENGINEER COMMENTS
6	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed	K.R.
Drawn	K.R.
Reviewed	R.M.R.
Scale	1"=30'
Project No.	2302699
Date	2/10/2025

CAD File:
C2302699-10

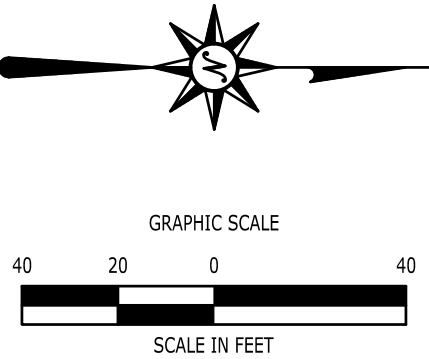
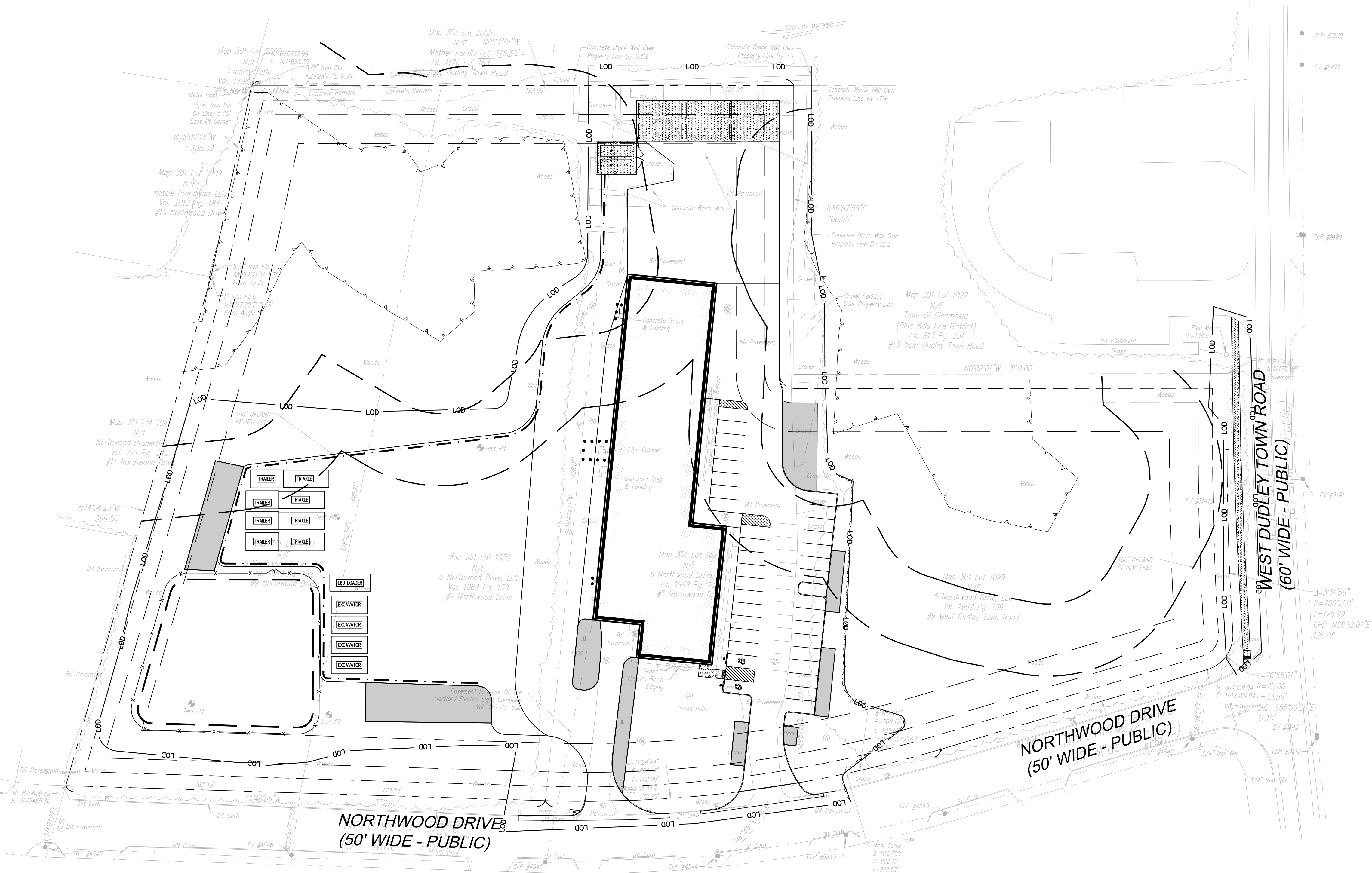
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TRUCK TURNING
PLAN - GARBAGE
TRUCK

Sheet No.

C1.21

SNOW STORAGE

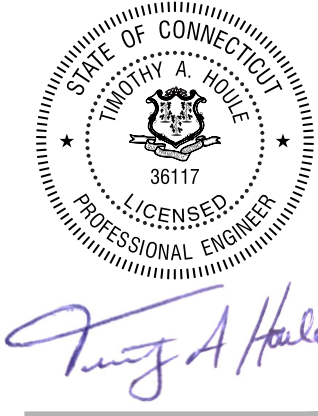
ITEM	AREA (S.F.)
PROPOSED PAVED AREA	80,300
PROPOSED SNOW STORAGE AREA	8,350



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100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

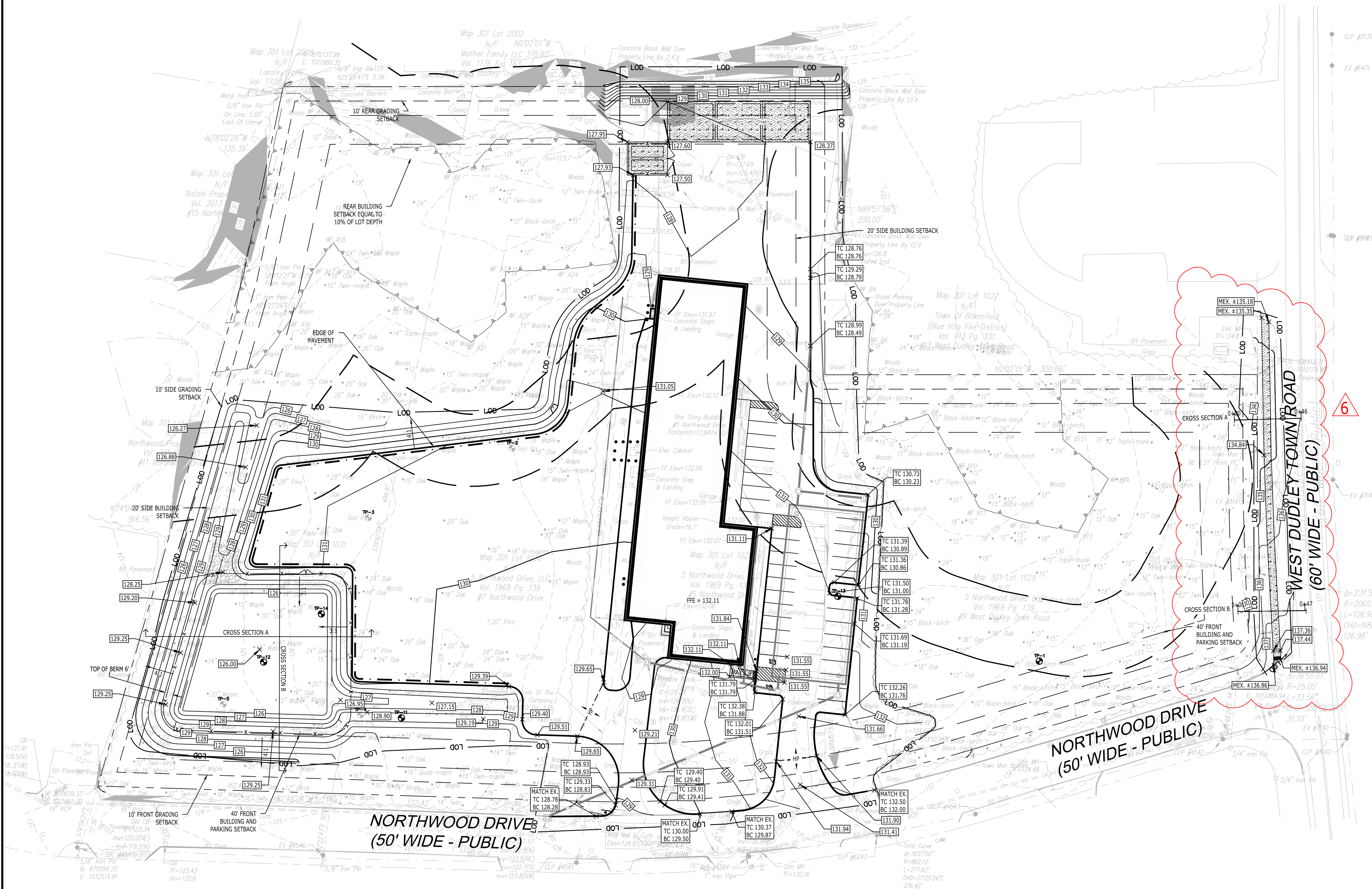
REVISIONS	DATE	DESCRIPTION
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	9/15/2025	RESPONSE TO TOWN COMMENTS
4	10/26/2025	RESPONSE TO TOWN COMMENTS
5	12/3/2025	REVISED PER TOWN ENGINEER COMMENTS
6	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed	J.N.B.
Drawn	J.N.B.
Reviewed	R.M.R.
Scale	1"=40'
Project No.	2302699
Date	2/10/2025
CAD File:	C2302699-10
Title	SNOW STORAGE PLAN

Sheet No.

C1.30

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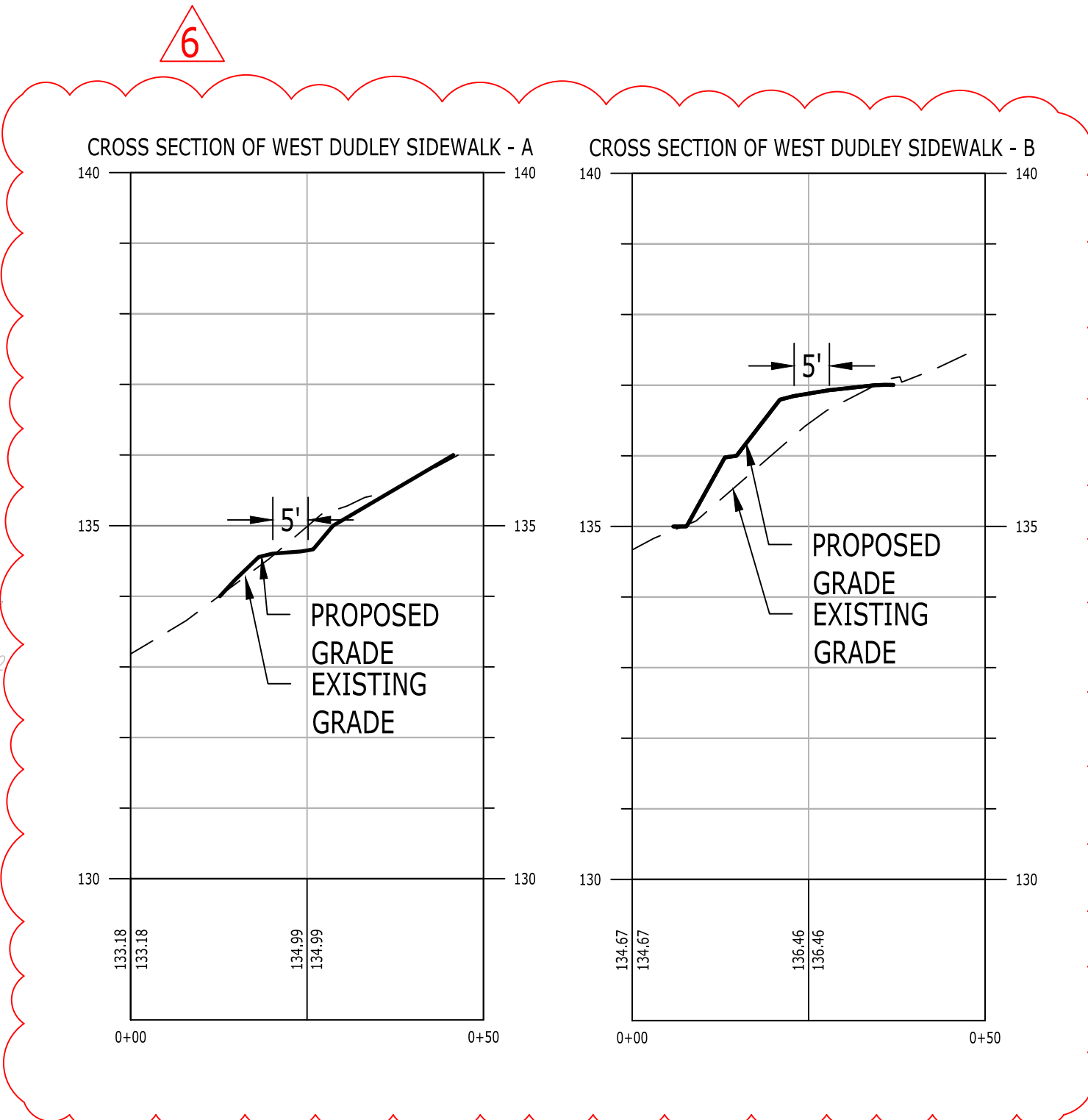
GRADING AND DRAINAGE LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITEMARK CONTRACT LIMIT LINE
- LIMITS OF CLEARING
- SAWCUT LINE
- PROVIDE AND INSTALL STORM LINE
- PROVIDE AND INSTALL TYPE C CATCH BASIN
- PROVIDE AND INSTALL TYPE C-4 CATCH BASIN
- PROVIDE AND INSTALL DRAINAGE MANHOLE OR OUTLET CONTROL STRUCTURE
- PROVIDE AND INSTALL FLARED END SECTION
- PROPOSED CONTOUR LINE
- EXISTING CONTOUR LINE
- PROPOSED SPOT GRADE
- SPOT GRADE ABBREVIATIONS:
 - BC BOTTOM OF CURB
 - TC TOP OF CURB
 - BW BOTTOM OF WALL
 - TW TOP OF WALL
 - MEX MEET EXISTING CONDITION

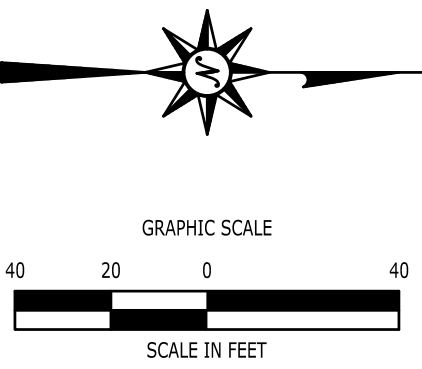
NOTE: ALL NEW CATCH BASINS SHALL BE PROVIDED WITH HOODED OUTLETS

EARTHWORK TABLE

CUT VOLUME (CY)	CHAMBER VOLUME (CY)	FILL VOLUME (CY)	NET VOLUME (CY)	OVERALL SITE TYPE
328	1,555	6,627	4,744	FILL



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Architecture
Engineering
Environmental
Land Surveying

BL Companies

100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200

STATE OF CONNECTICUT
JAMES A. HALE
36117
LICENSED PROFESSIONAL ENGINEER

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

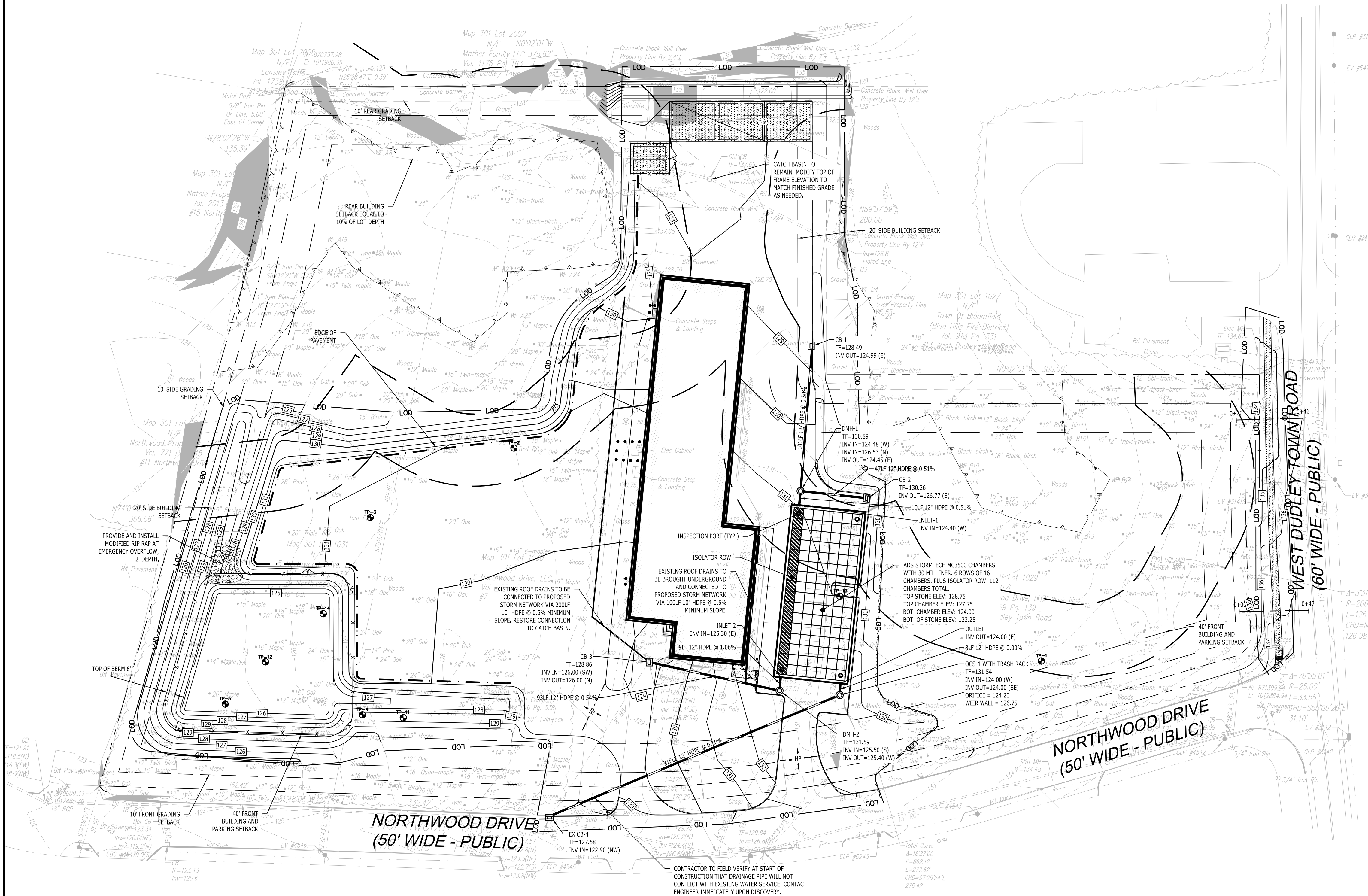
DESIGNED: J.N.B.
DRAWN: J.N.B.
REVIEWED: R.M.R.
SCALE: 1"=40'
PROJECT NO.: 2302699
DATE: 2/10/2025
CAD FILE: C2302699-20
TITLE: GRADING PLAN
SHEET NO.: C2.00

REVISIONS

No.	Date	Description
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	9/15/2025	RESPONSE TO TOWN COMMENTS
4	10/26/2025	RESPONSE TO TOWN COMMENTS
5	12/3/2025	REVISED PER TOWN ENGINEER COMMENTS
6	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

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GRADING AND DRAINAGE LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITEMWORK CONTRACT LIMIT LINE
	LIMITS OF CLEARING
	SAWCUT LINE
	PROVIDE AND INSTALL STORM LINE
	PROVIDE AND INSTALL TYPE C CATCH BASIN
	PROVIDE AND INSTALL TYPE C-4 CATCH BASIN
	PROVIDE AND INSTALL DRAINAGE MANHOLE OR OUTLET CONTROL STRUCTURE
	PROVIDE AND INSTALL FLARED END SECTION
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED SPOT GRADE

SPOT GRADE ABBREVIATIONS:
BC BOTTOM OF CURB
TC TOP OF CURB
BW BOTTOM OF WALL
TW TOP OF WALL
MEX MEET EXISTING CONDITION

NOTE: ALL NEW CATCH BASINS SHALL BE PROVIDED WITH HOODED OUTLETS

NOTES

DRAINAGE STRUCTURES SHALL BE MAINTAINED AS DESCRIBED IN THE STORMWATER SYSTEM OPERATIONS AND MAINTENANCE PLAN PREPARED BY BL COMPANIES, INC. REFER TO THE REPORT FOR MORE INFORMATION.

STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED PER THE FOLLOWING SCHEDULE:

SURFACE INFILTRATION BASIN AND SNALES: INSPECTED EVERY (6) MONTHS IN THE MONTHS OF APRIL AND OCTOBER

UNDERGROUND INFILTRATION SYSTEM: INSPECTED EVERY (6) MONTHS IN THE MONTHS OF APRIL AND OCTOBER

CATCH BASINS AND MANHOLES: INSPECTED EVERY (4) MONTHS WITH (1) INSPECTION OCCURRING DURING THE MONTH OF APRIL

REVISIONS	DATE	DESCRIPTION
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	10/24/2025	RESPONSE TO TOWN COMMENTS
4	12/2/2025	REVISED PER TOWN ENGINEER COMMENTS
5	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed	J.N.B.
Drawn	J.N.B.
Reviewed	R.M.R.
Scale	1"=40'
Project No.	2302699
Date	2/10/2025

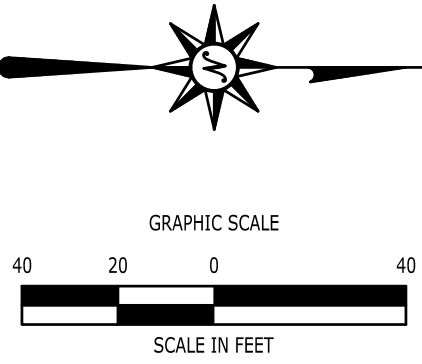
CAD File:
C2302699-25

Title:
DRAINAGE PLAN

Sheet No.

C2.50

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MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT², THE ASC IS DEFINED IN SECTION 6.2.6 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

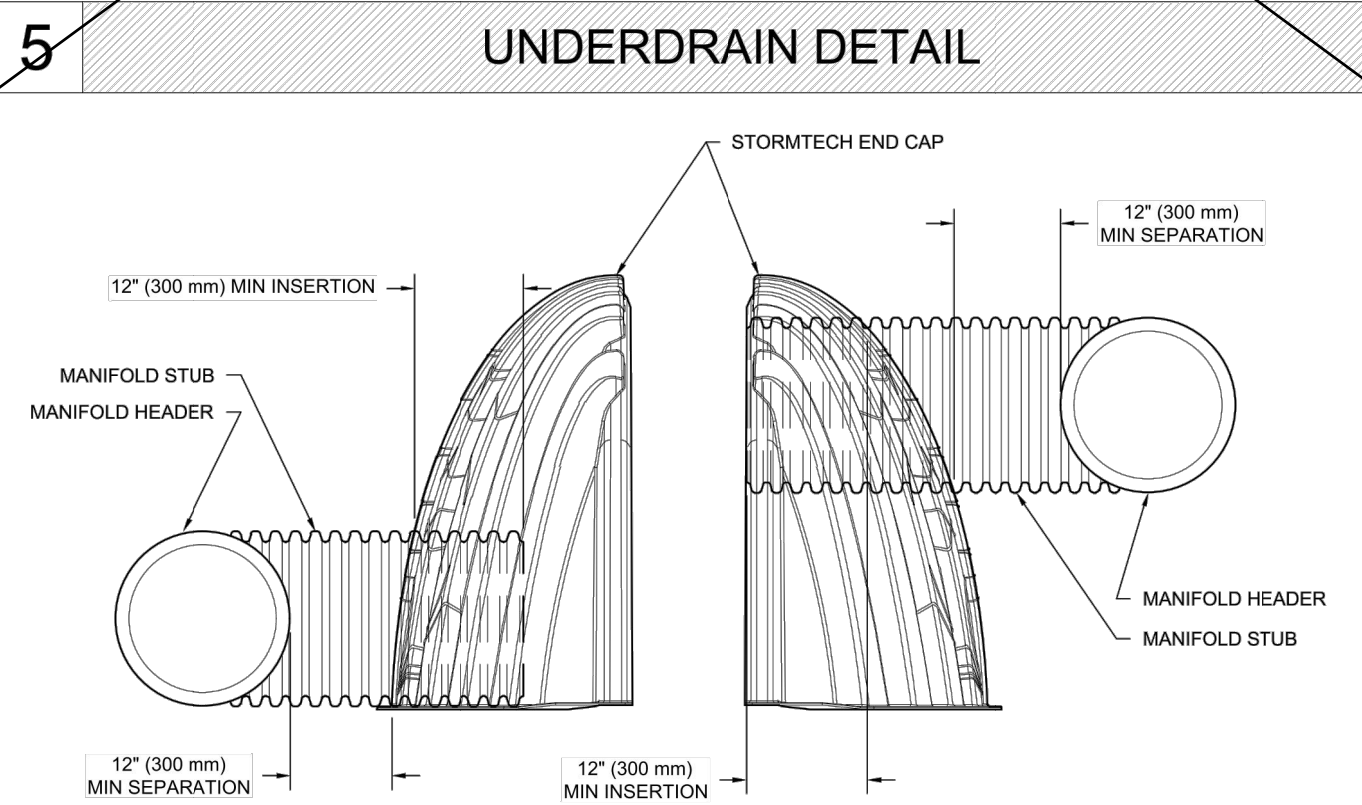
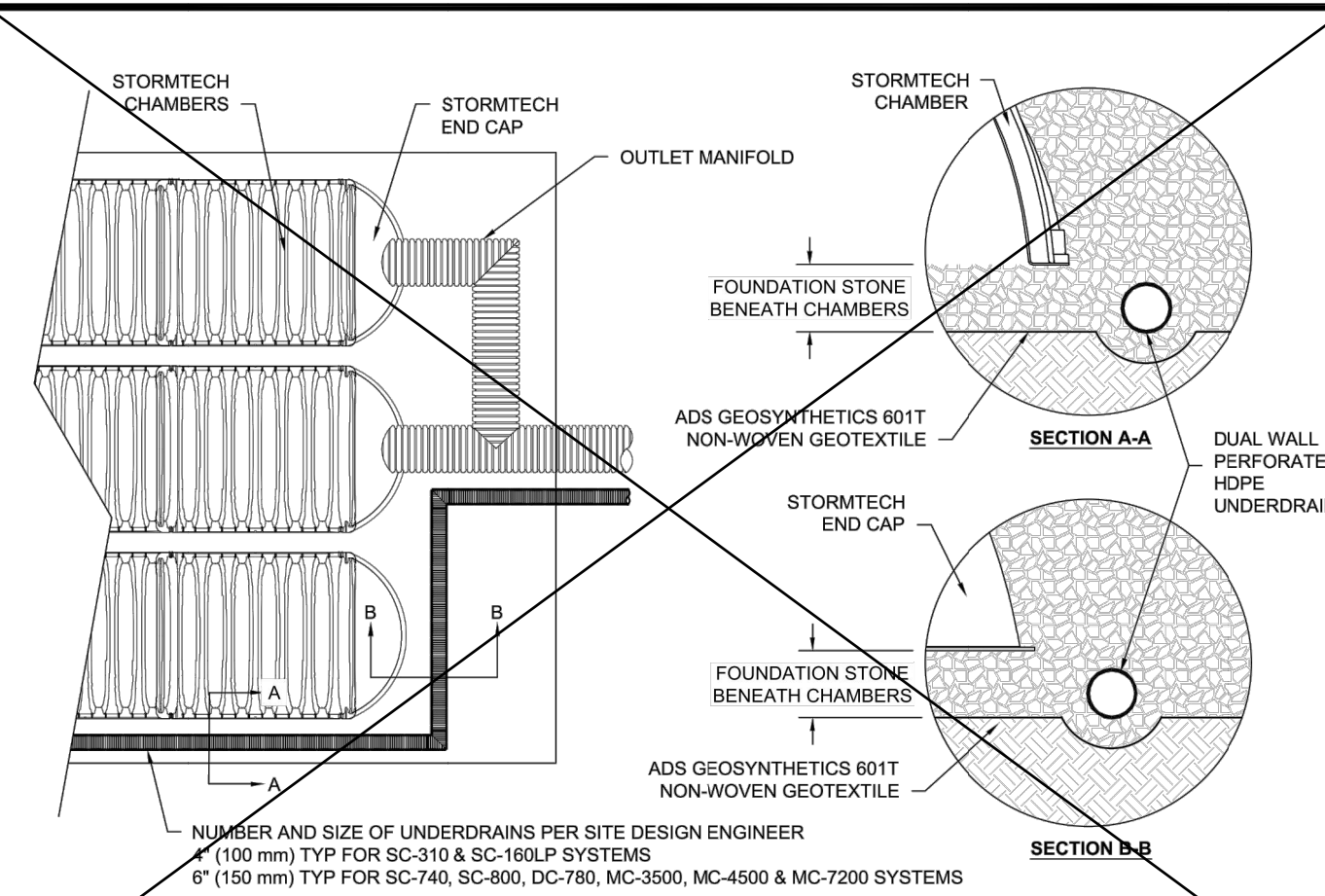
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONES/HOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG-BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTARCH CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

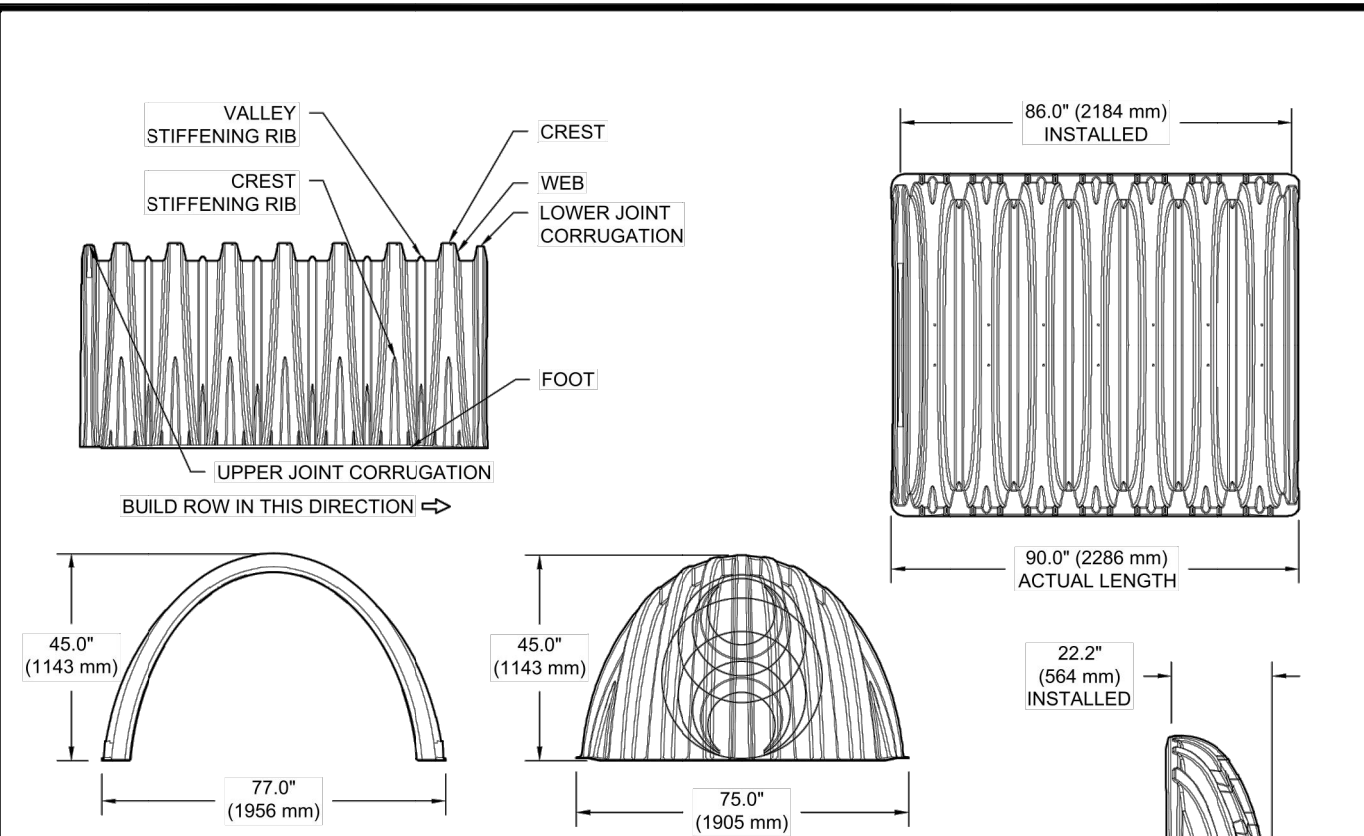
NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TIED LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/MC-4500 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



6 MC-SERIES END CAP INSERTION DETAIL



NOMINAL CHAMBER SPECIFICATIONS			
SIZE (W X H X INSTALLED LENGTH)	77.0" X 45.0" X 86.0" (3.11 m³)	109.9 CUBIC FEET (4.36 m³)	134 lbs. (60.8 kg)
CHAMBER STORAGE	77.0" X 45.0" X 86.0" (3.11 m³)	109.9 CUBIC FEET (4.36 m³)	134 lbs. (60.8 kg)
MINIMUM INSTALLED STORAGE*	77.0" X 45.0" X 86.0" (3.11 m³)	109.9 CUBIC FEET (4.36 m³)	134 lbs. (60.8 kg)
WEIGHT	77.0" X 45.0" X 86.0" (3.11 m³)	109.9 CUBIC FEET (4.36 m³)	134 lbs. (60.8 kg)
NOMINAL END CAP SPECIFICATIONS			
SIZE (W X H X INSTALLED LENGTH)	75.0" X 45.0" X 22.2" (0.42 m³)	45.1 CUBIC FEET (1.26 m³)	49 lbs. (22.2 kg)
CHAMBER STORAGE	75.0" X 45.0" X 22.2" (0.42 m³)	45.1 CUBIC FEET (1.26 m³)	49 lbs. (22.2 kg)
MINIMUM INSTALLED STORAGE*	75.0" X 45.0" X 22.2" (0.42 m³)	45.1 CUBIC FEET (1.26 m³)	49 lbs. (22.2 kg)
WEIGHT	75.0" X 45.0" X 22.2" (0.42 m³)	45.1 CUBIC FEET (1.26 m³)	49 lbs. (22.2 kg)
*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION, 6" (152 mm) STONE POROSITY.			
PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B" PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T" END CAPS WITH A PREFABRICATED WELDED STUB END WITH "W" END CAPS WITH A WELDED CROWN PLATE END WITH "C"			
PART #	STUB	B	C
MC3500IEPP08T	6" (150 mm)	33.21" (844 mm)	---
MC3500IEPP08B	---	---	0.66" (17 mm)
MC3500IEPP08T	8" (200 mm)	31.16" (791 mm)	0.81" (21 mm)
MC3500IEPP08B	---	---	---
MC3500IEPP10T	10" (250 mm)	29.04" (738 mm)	0.93" (24 mm)
MC3500IEPP10B	---	---	---
MC3500IEPP12T	12" (300 mm)	26.36" (670 mm)	1.35" (34 mm)
MC3500IEPP12B	---	---	---
MC3500IEPP15T	15" (375 mm)	23.39" (594 mm)	1.50" (38 mm)
MC3500IEPP15B	---	---	---
MC3500IEPP18T	18" (450 mm)	20.03" (509 mm)	---
MC3500IEPP18B	---	---	1.77" (45 mm)
MC3500IEPP24T	24" (600 mm)	14.48" (368 mm)	---
MC3500IEPP24B	---	---	2.06" (52 mm)
MC3500IEPP24W	---	---	2.75" (70 mm)
MC3500IEPP30B	30" (760 mm)	---	---

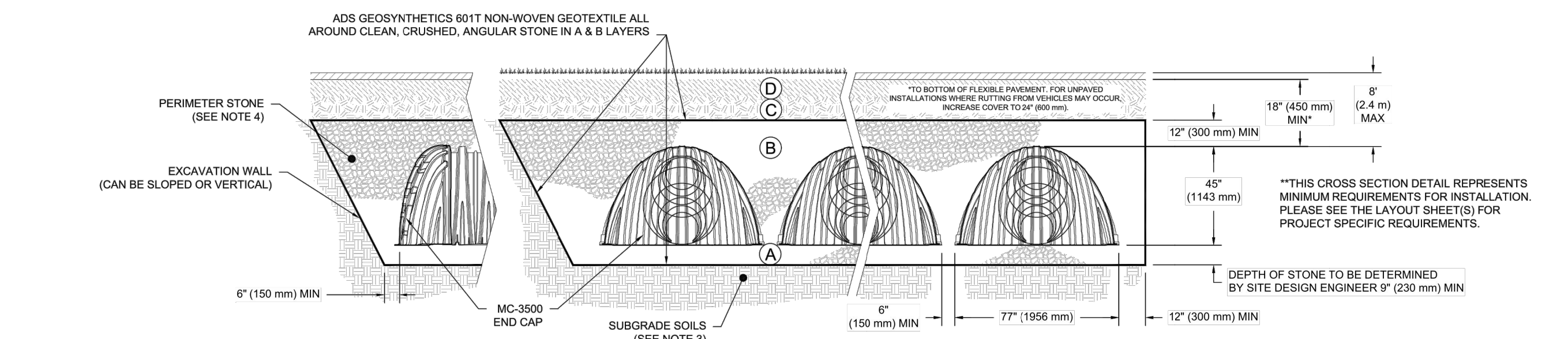
NOTE: ALL DIMENSIONS ARE NOMINAL

2 MC-3500 TECHNICAL SPECIFICATIONS

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2, A-4, A-3 OR AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 18" (450 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ¹ 3, 357, 4, 467, 5, 56, 57	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INVERT SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
5. WHERE RECYCLED CONCRETE AGGREGATE IS USED IN LAYERS 'A' OR 'B' THE MATERIAL SHOULD ALSO MEET THE ACCEPTABILITY CRITERIA OUTLINED IN TECHNICAL NOTE 6.20 "RECYCLED CONCRETE STRUCTURAL BACKFILL".

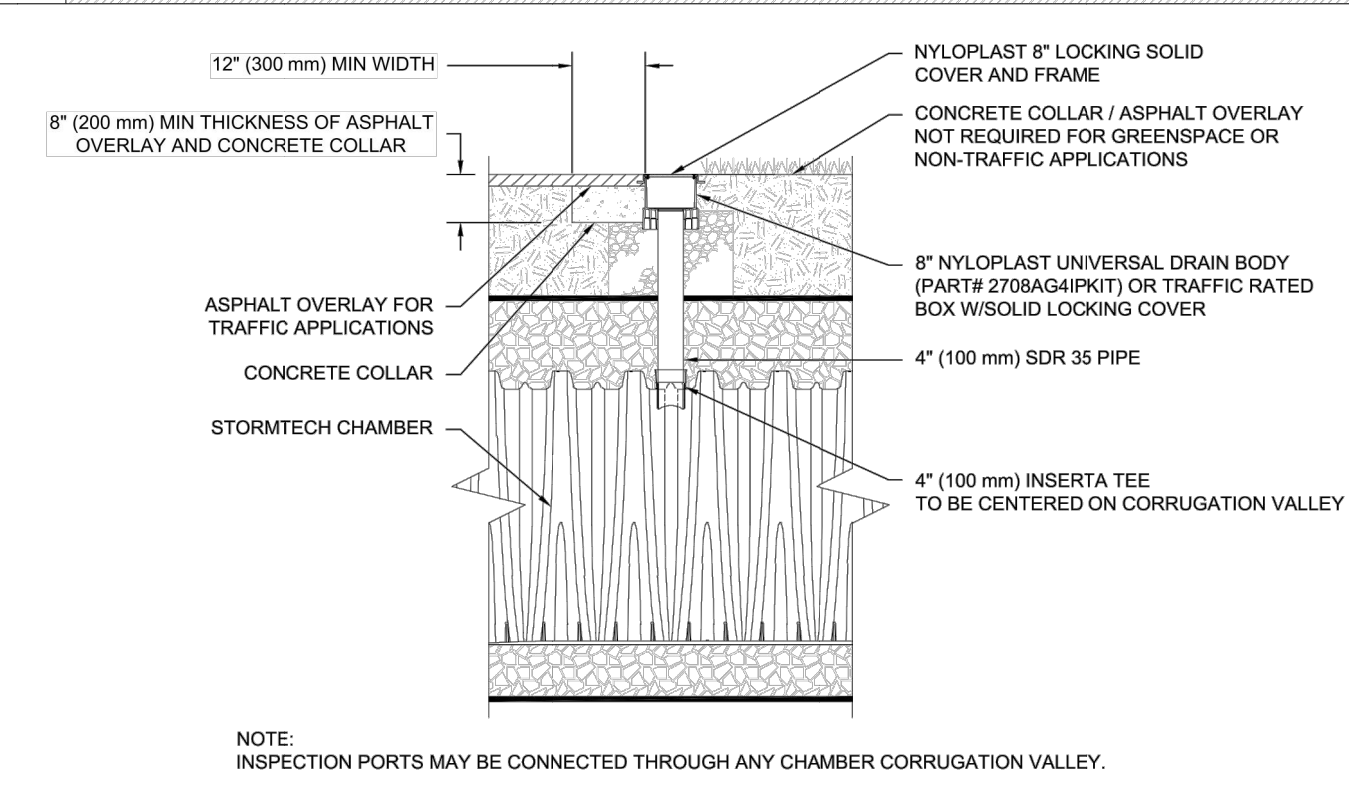


NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x76 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RAKE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 1".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.6 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT², AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

1 MC-3500 CROSS SECTION DETAIL

3 MC-3500 ISOLATOR ROW PLUS DETAIL



INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- A.1. REMOVE/OPEN LID ON NYLOPLAST IN-LINE DRAIN
- A.2. REMOVE AND CLEAN FLEXSTARCH FILTER IF INSTALLED
- A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- A.5. IF SEDIMENT IS AT OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR ROW PLUS ROWS
- B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
- B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
- i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- B.3. IF SEDIMENT IS AT OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
- B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

4 4" PVC INSPECTION PORT DETAIL (MC SERIES CHAMBER)

DRAWN: JLM
REVIEWED: JLM
REV: NOT TO SCALE

MC-3500 STANDARD DETAILS

StormTech®
Chamber System
888-892-2694 | WWW.STORMTECH.COM

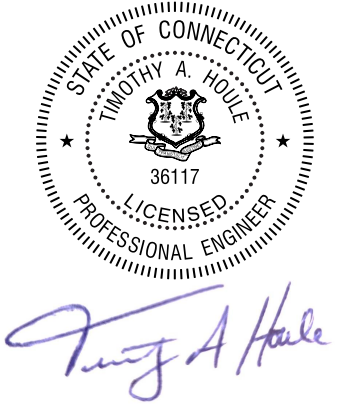
4640 TRUEMAN BLVD
HILLIARD, OH 43026



SHEET
1



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS	Desc.	Date
1	RESPONSE TO TOWN COMMENTS	7/7/2025
2	RESPONSE TO TOWN COMMENTS	8/22/2025
3	RESPONSE TO TOWN COMMENTS	10/26/2025
4	RESPONSE TO TOWN COMMENTS	12/23/2025
5	REVISED PER TOWN ENGINEER COMMENTS	12/26/2025

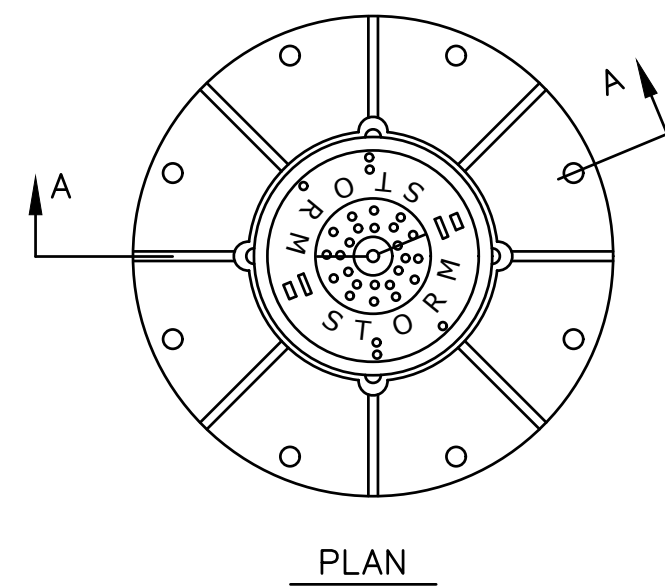
Designed: J.N.B.
Drawn: J.N.B.
Reviewed: R.M.R.
Scale: N.T.S.
Project No.: 2302699
Date: 2/10/2025
CAD File: C2302699-110

Title
GRADING AND DRAINAGE DETAILS

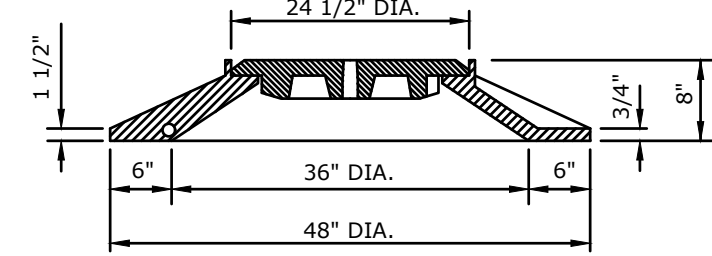
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C2.100

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PLAN

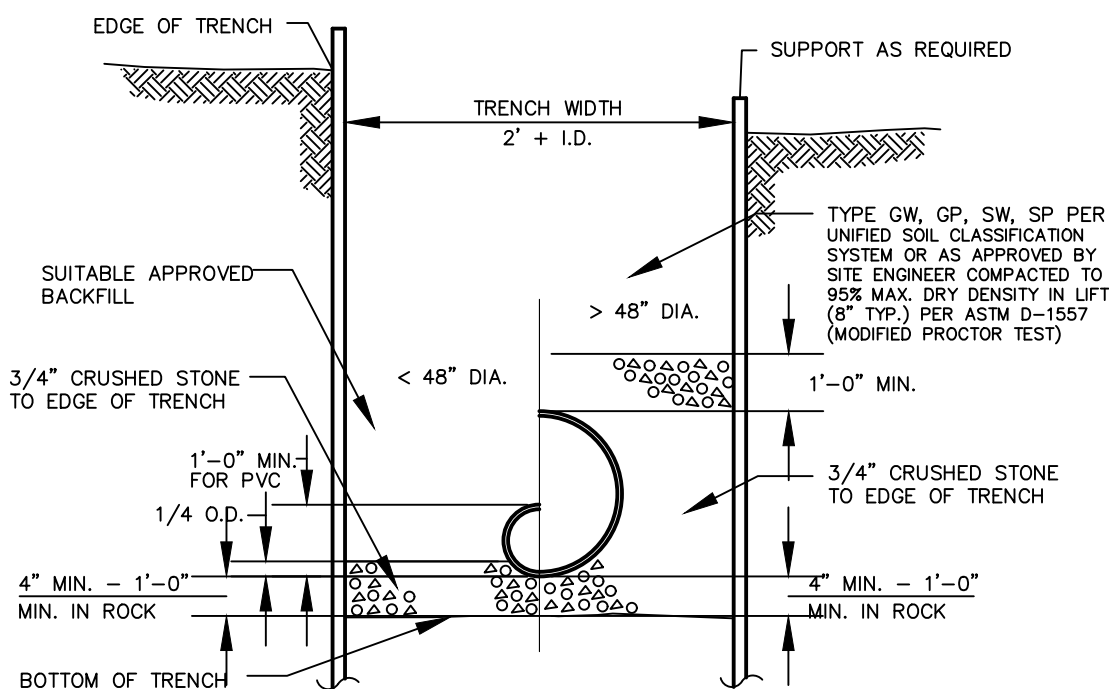


SECTION A-A

NOTE:
FRAME & GRATE TO BE CAMPBELL FOUNDRY
COMPANY-PATTERN NUMBER 1221

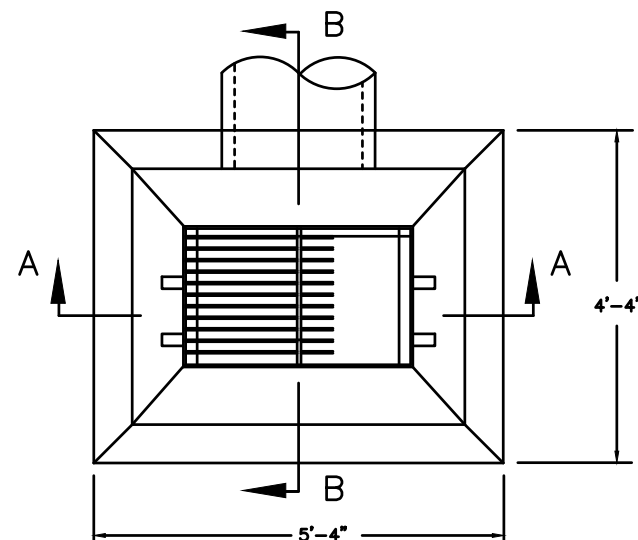
STANDARD MANHOLE FRAME AND COVER

N.T.S. ZDD-079



TYPICAL STORM SEWER TRENCH SECTION

N.T.S. BLDD-004



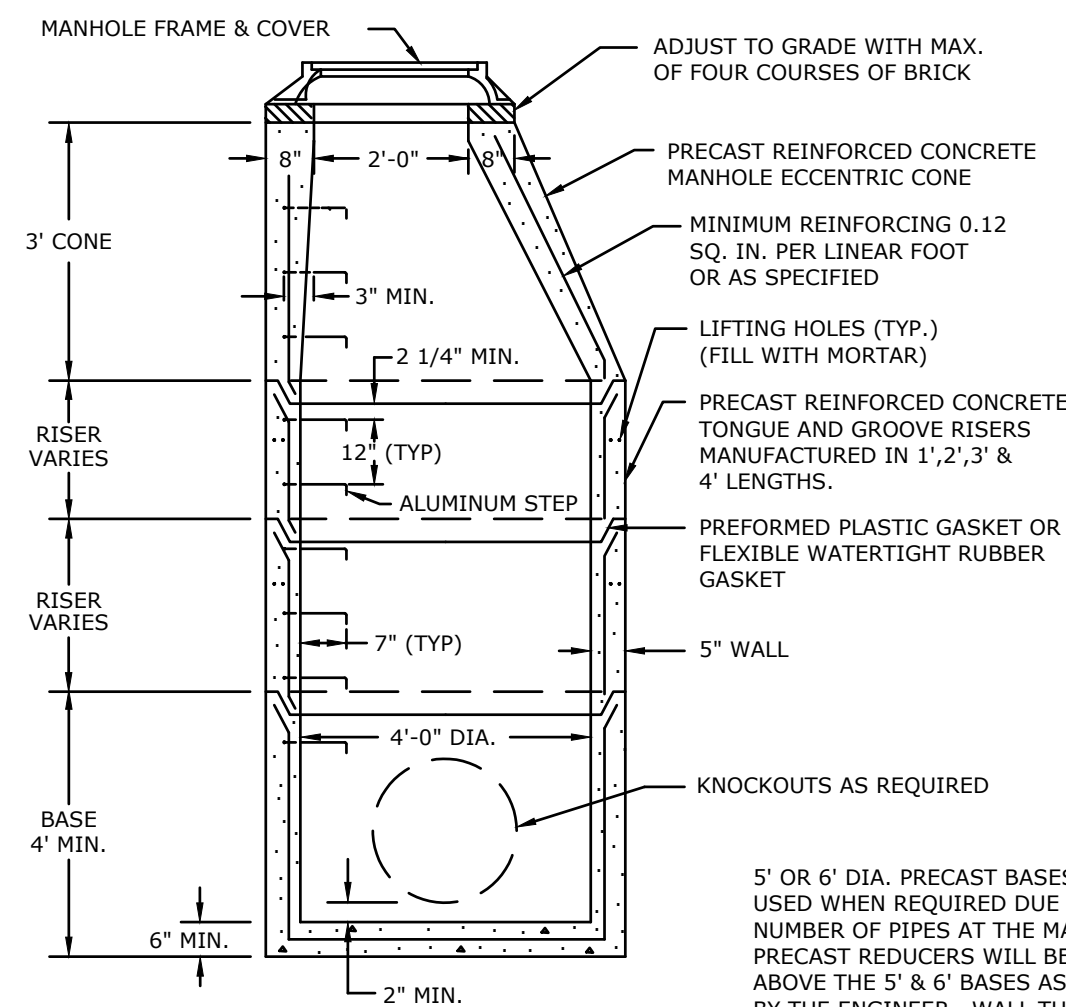
SECTION A-A

SECTION B-B

Connecticut Department of Transportation

TYPE "C-L" CATCH BASIN

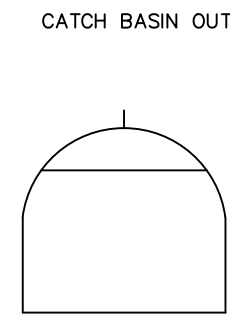
N.T.S. SW-004



PRECAST STORM MANHOLE DETAIL

N.T.S. ZDD-049

HOOD TO BE INSTALLED AT ALL OUTLET
PIPES AT ALL CATCH BASINS, UNLESS
OTHERWISE NOTED. PVC ELBOW MAY BE
USED IN PLACE OF CAST IRON
BELL TRAP.

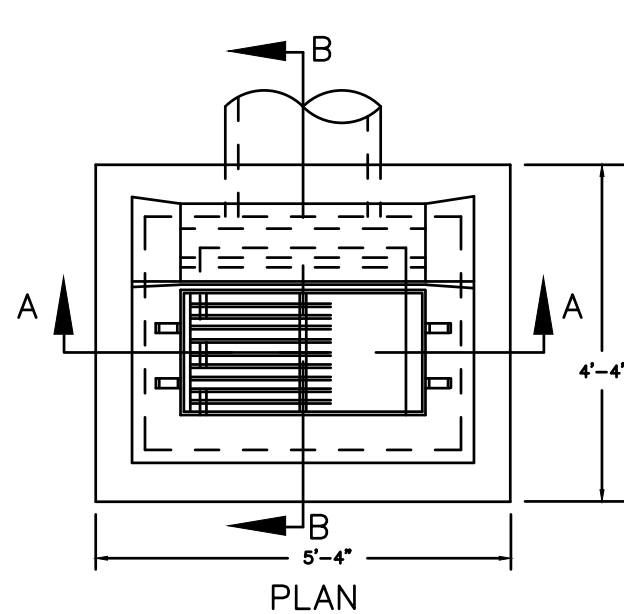


HOOD

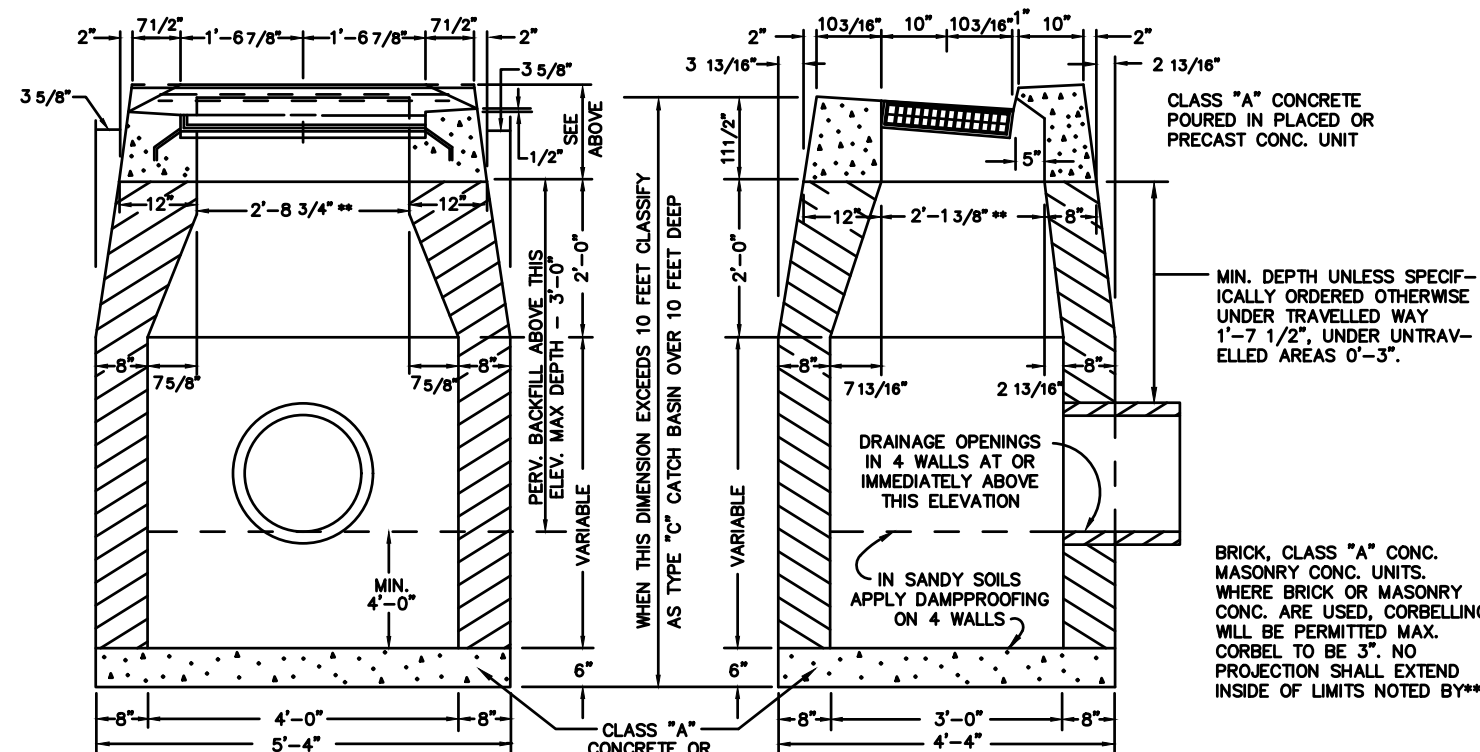
NOTE:
NEENAH - R-3711 OR EQUAL

HOODED OUTLET

N.T.S. CTDD-004



PLAN



SECTION A-A

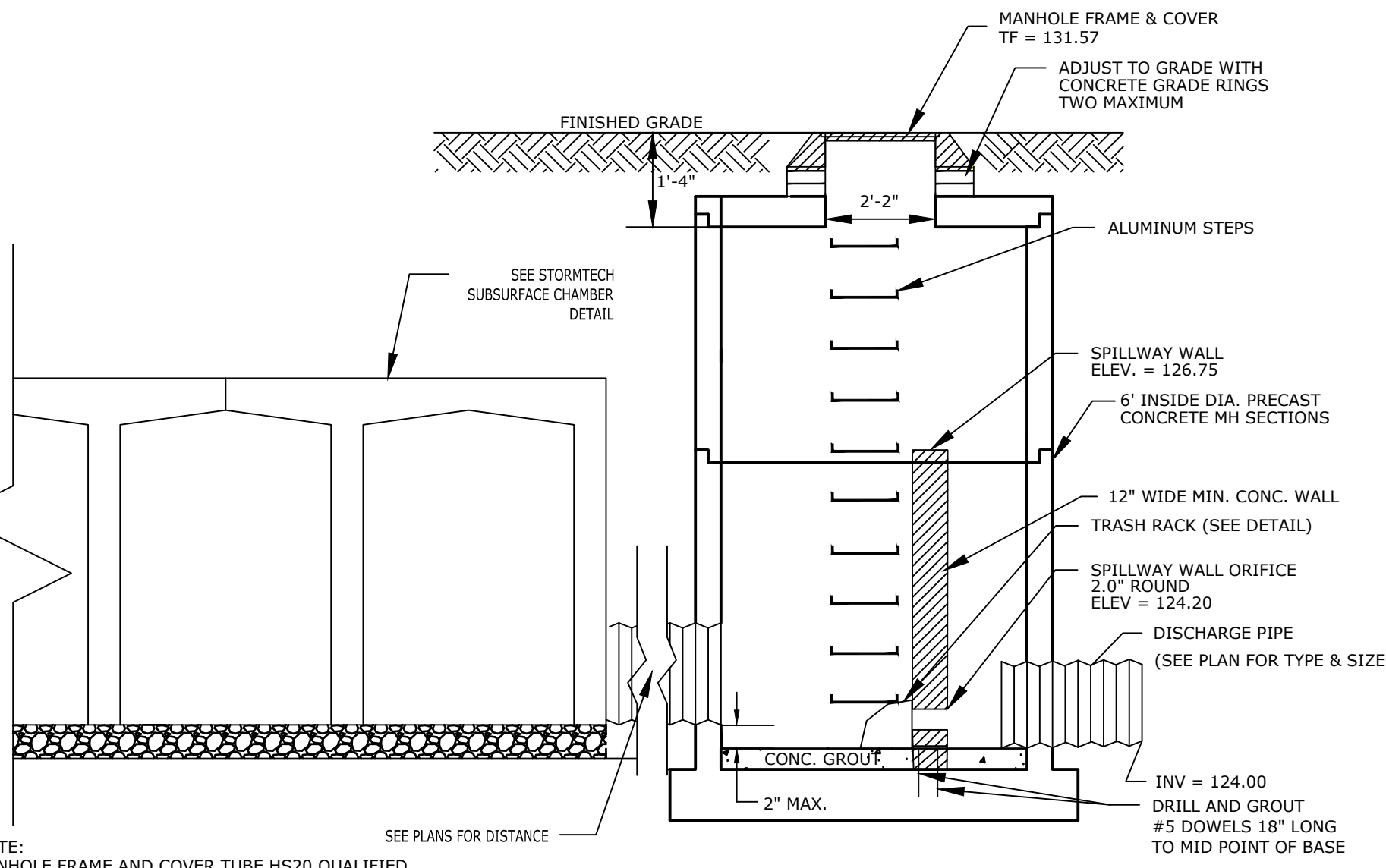
SECTION B-B

WHERE PRECAST CONC. UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT
LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN



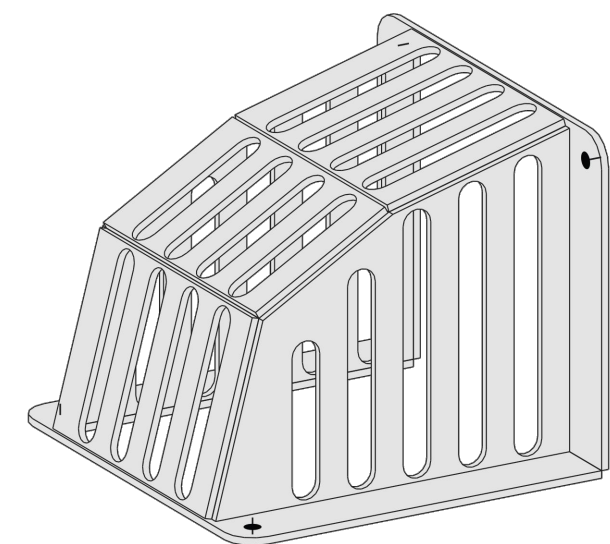
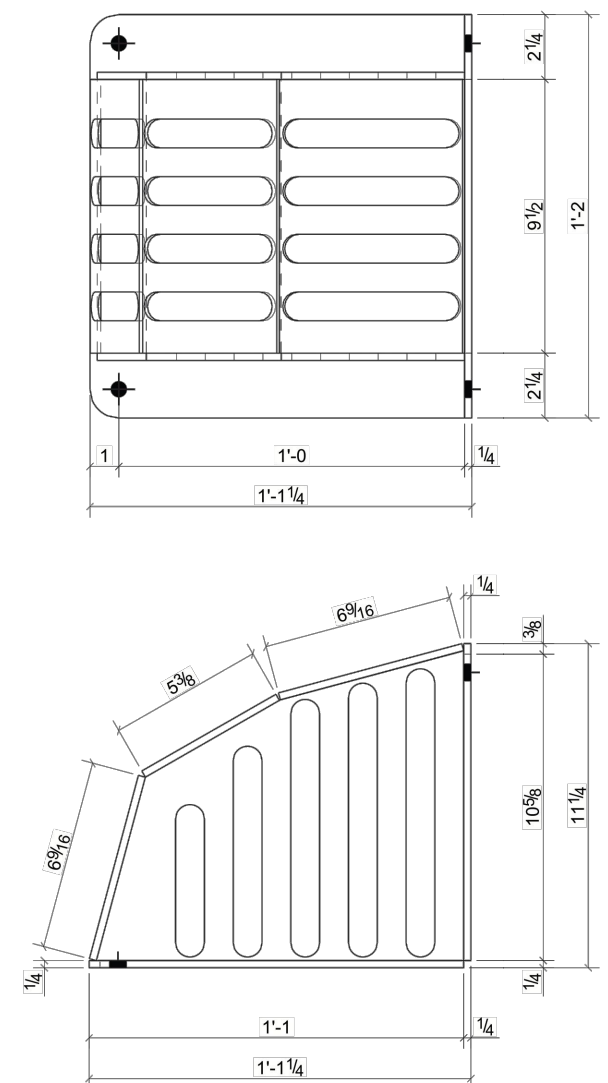
TYPE "C" CATCH BASIN WITH HOOD

N.T.S. ZDD-027



CHAMBER SYSTEM OUTLET CONTROL STRUCTURE

N.T.S

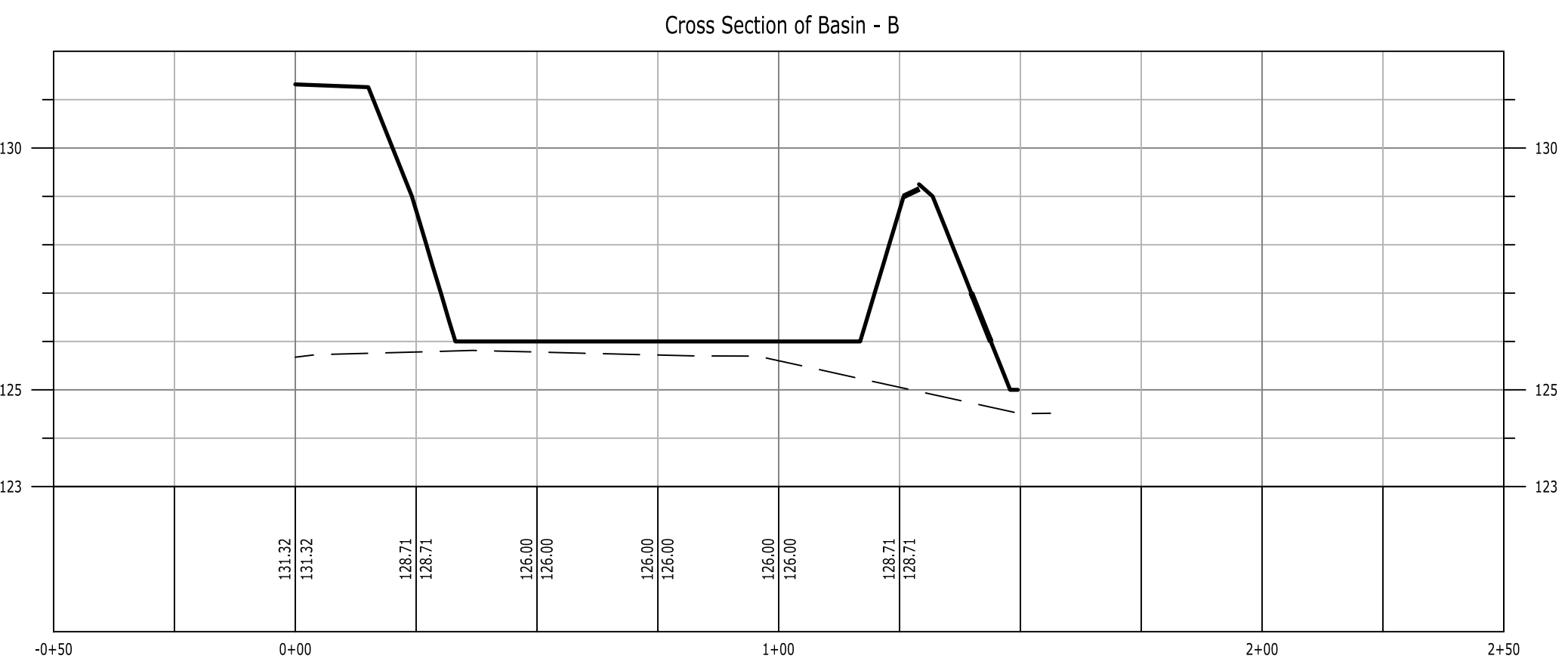
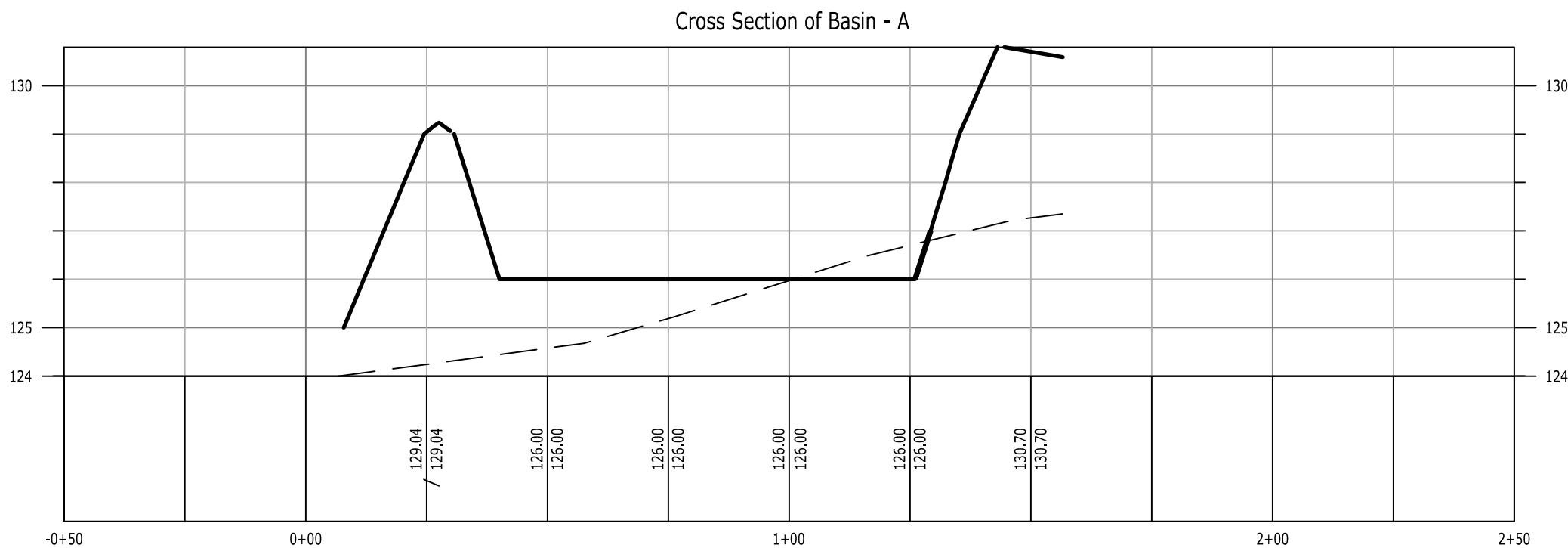


PRODUCT ID	MATERIAL	COATING	WEIGHT
LPG-10-P	ASTM A36 MILD STEEL	N/A	25 LBS.
LPG-10-G	ASTM A36 MILD STEEL	GALVANIZED	25 LBS.
LPG-10-S	ASTM A36 MILD STEEL	POWDER COAT	25 LBS.
LPG-10-SS	304 STAINLESS STEEL	N/A	25 LBS.
LPG-10-AL	6061-T6 ALUMINUM	N/A	9 LBS.

CUSTOM SIZES AVAILABLE
OPTIONS: HINGED ACCESS

TITLE:
TRASHRACKS.COM LPG-10
A DIVISION OF J.R.H.BE
10" PIPE GUARD GRATE
MADE IN THE U.S.A.

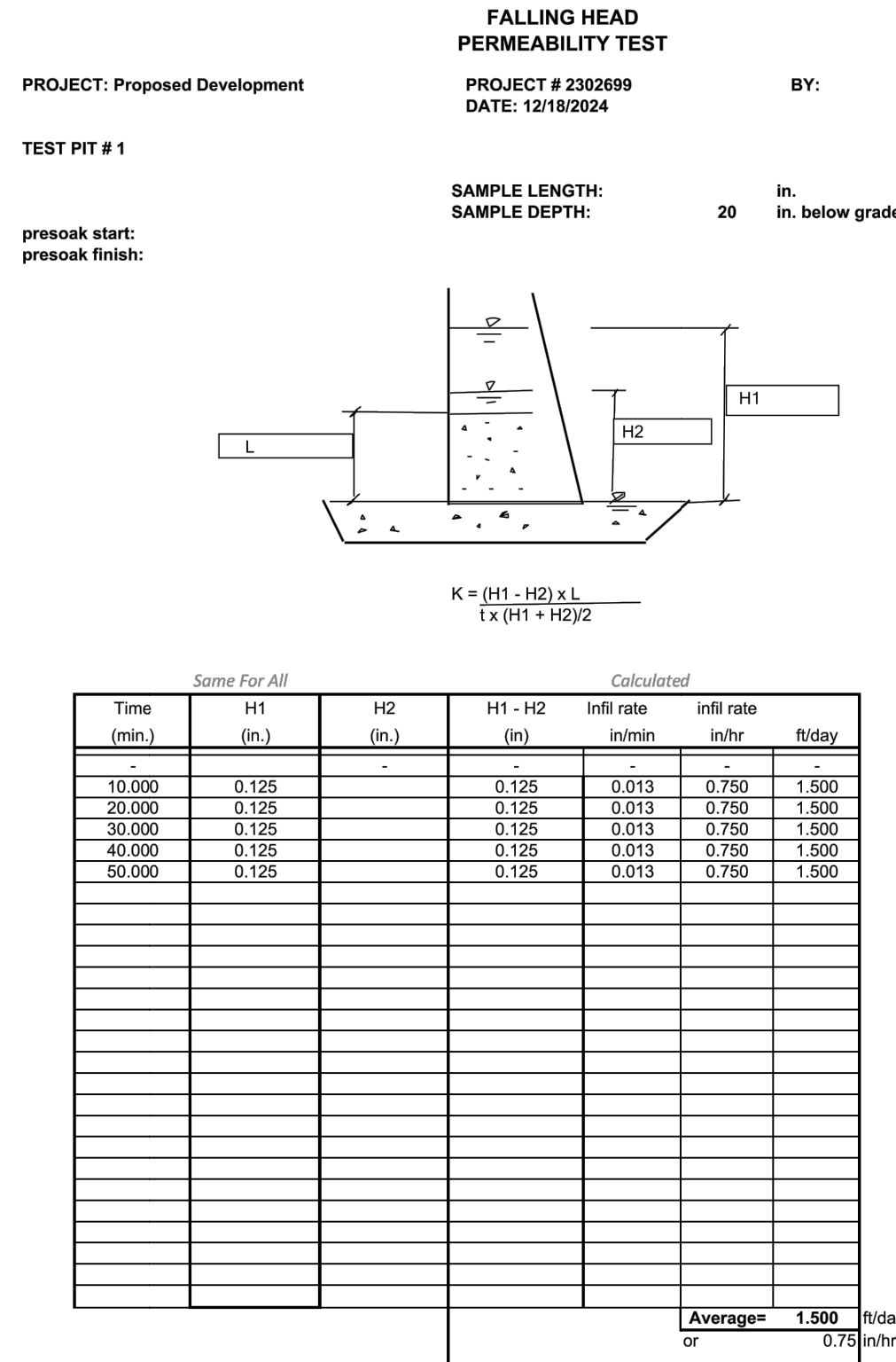
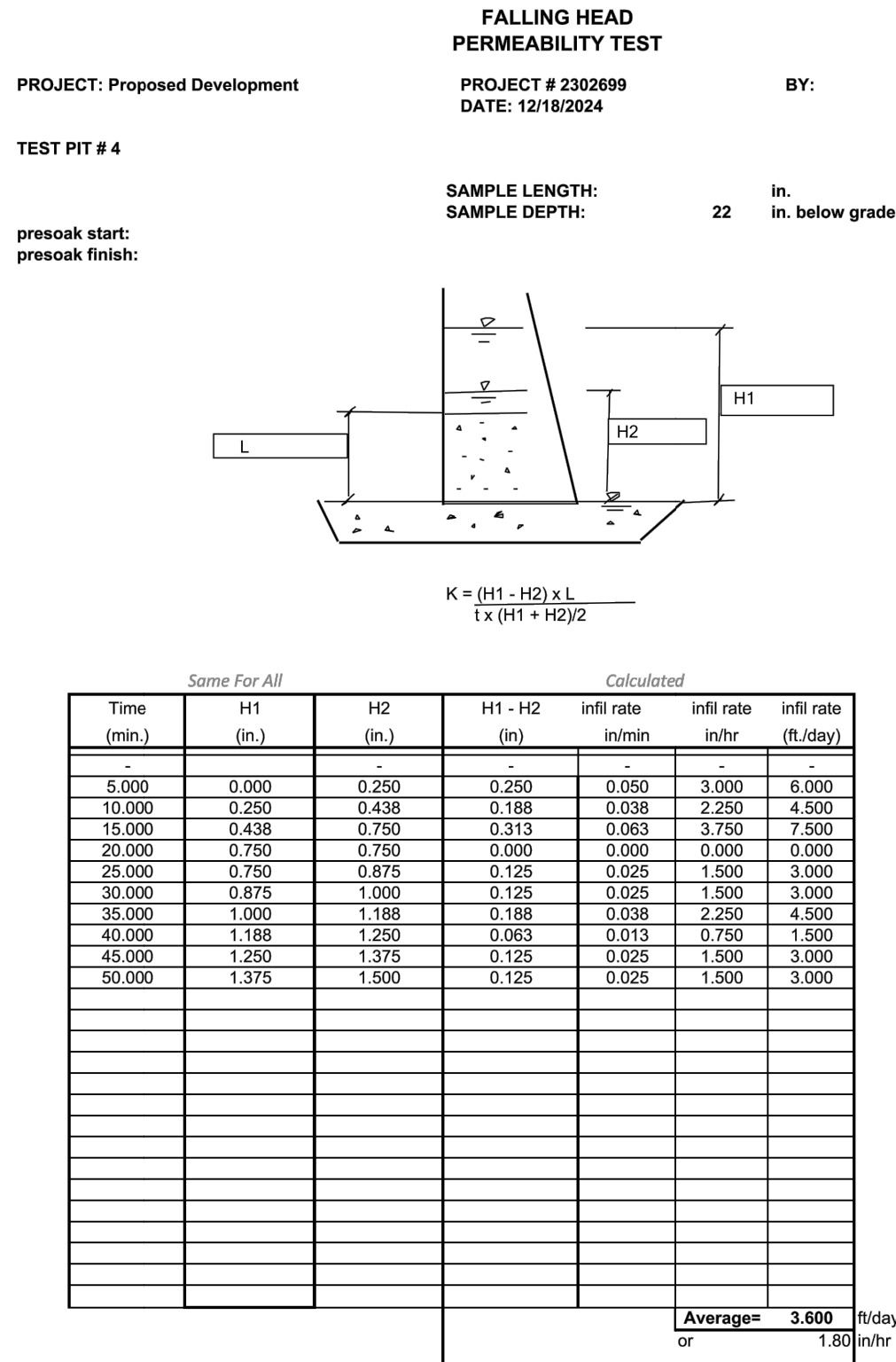
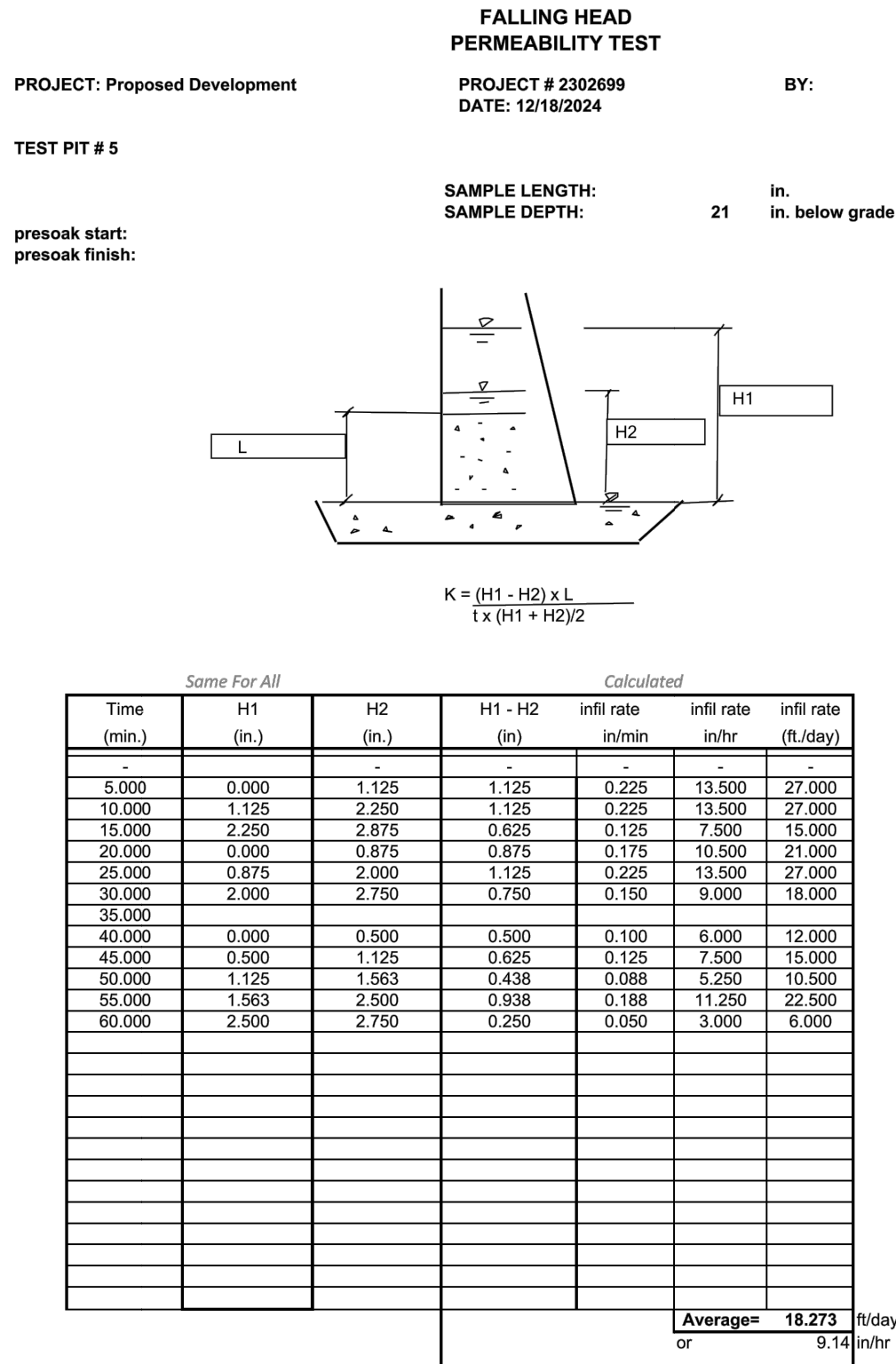
TRASH RACK DETAIL (OR APPROVED EQUAL)



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

12/9/2025 10:08:23 J:\08523\24022699\DWG\C2102.dwg C2102.dwg

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TEST PIT FIELD LOG

PERSONNEL PRESENT: XXXX - BL Companies

EXCAVATION EQUIPMENT: Contractor: XXXX - BL Companies, Operator: XXXX - BL Companies, Make: XXXX - BL Companies, Model: XXXX - BL Companies, Bucket Capacity: XXXX - BL Companies, Reach: XXXX - BL Companies

Ground Surface Elevation: NAVD 88

Datum: NAVD 88

Temperature: XXXX

Weather: XXXX

Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	Remark No.
0 to 12	Layer A	Dark Brown	Fine Sand	Slightly moist	E	TR	1. was not
12 to 25	Layer C1	Orange/Tan	Fine Sand and Silt	Moist	E	TR	1. was
25 to 51	Layer C2	Gray/Brown	Silt and Sand	Moist to Wet	E	TR	2. was

Bottom of Test Pit at 51 inches below ground elevation

REMARKS:

1. Mottling was/was not observed

2. Groundwater was/was not observed

3. Bedrock/Restrictive layer was/was not observed

Depth to weeping: 40"

Depth to ESHKW: 36"

Depth to standing water: 43"

TEST PIT PLAN

COBBLES AND BOULDERS: Size Range: 3" - 12" (Small (S)), 12" - 24" (Medium (M)), 24" - 36" (Large (L)), 36" and Larger (Large (L)). Letter Designation: Cobble (C), Small (S), Medium (M), Large (L).

PROPORTIONS USED (QUANTITATIVE TERMS): TRACE (TR) 0-10%, LITTLE (L) 10-20%, SOME (SO) 20-35%, FREQUENT (F) 35-50%, NUMEROUS (N) 50-100%.

LEGEND: E - Easy, M - Moderate, D - Difficult.

EXCAVATION EFFORT: 43" Observed Depth to Groundwater

355 Research Parkway Meriden, CT 06450 Tel:(203) 630-1406 Fax (203) 630-2615

Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences

TEST PIT FIELD LOG

PERSONNEL PRESENT: XXXX - BL Companies

EXCAVATION EQUIPMENT: Contractor: XXXX - BL Companies, Operator: XXXX - BL Companies, Make: XXXX - BL Companies, Model: XXXX - BL Companies, Bucket Capacity: XXXX - BL Companies, Reach: XXXX - BL Companies

Ground Surface Elevation: NAVD 88

Datum: NAVD 88

Temperature: XXXX

Weather: XXXX

Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	Remark No.
0 to 7	Layer A	Dark Brown	Fine Sand	Slightly moist	E	TR	1. was not
7 to 17	Layer C1	Tan/brown	Fine Sand and Silt	Moist	E	TR	1. was
17 to 48	Layer C2	Gray/Brown	Silt and Sand	Moist to Wet	E	TR	2. was

Bottom of Test Pit at 48 inches below ground elevation

REMARKS:

1. Mottling was/was not observed

2. Groundwater was/was not observed

3. Bedrock/Restrictive layer was/was not observed

depth to weeping: 36"

estimated seasonal high groundwater: 26"

TEST PIT PLAN

COBBLES AND BOULDERS: Size Range: 3" - 12" (Small (S)), 12" - 24" (Medium (M)), 24" - 36" (Large (L)), 36" and Larger (Large (L)). Letter Designation: Cobble (C), Small (S), Medium (M), Large (L).

PROPORTIONS USED (QUANTITATIVE TERMS): TRACE (TR) 0-10%, LITTLE (L) 10-20%, SOME (SO) 20-35%, FREQUENT (F) 35-50%, NUMEROUS (N) 50-100%.

LEGEND: E - Easy, M - Moderate, D - Difficult.

EXCAVATION EFFORT: 43" Observed Depth to Groundwater

355 Research Parkway Meriden, CT 06450 Tel:(203) 630-1406 Fax (203) 630-2615

Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences

TEST PIT FIELD LOG

PERSONNEL PRESENT: XXXX - BL Companies

EXCAVATION EQUIPMENT: Contractor: XXXX - BL Companies, Operator: XXXX - BL Companies, Make: XXXX - BL Companies, Model: XXXX - BL Companies, Bucket Capacity: XXXX - BL Companies, Reach: XXXX - BL Companies

Ground Surface Elevation: NAVD 88

Datum: NAVD 88

Temperature: XXXX

Weather: XXXX

Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	Remark No.
0 to 12	Layer A	Dark Brown	Fine Sand	Slightly moist	E	TR	1. was not
12 to 22	Layer C1	Tan/brown	Fine Sand and Silt	Moist	E	TR	1. was
22 to 53	Layer C2	Gray/Brown	Silt and Sand	Moist to Wet	E	TR	2. was

Bottom of Test Pit at 53 inches below ground elevation

REMARKS:

1. Mottling was/was not observed

2. Groundwater was/was not observed

3. Bedrock/Restrictive layer was/was not observed

Depth to weeping: 35"

Depth to standing water: 48"

TEST PIT PLAN

COBBLES AND BOULDERS: Size Range: 3" - 12" (Small (S)), 12" - 24" (Medium (M)), 24" - 36" (Large (L)), 36" and Larger (Large (L)). Letter Designation: Cobble (C), Small (S), Medium (M), Large (L).

PROPORTIONS USED (QUANTITATIVE TERMS): TRACE (TR) 0-10%, LITTLE (L) 10-20%, SOME (SO) 20-35%, FREQUENT (F) 35-50%, NUMEROUS (N) 50-100%.

LEGEND: E - Easy, M - Moderate, D - Difficult.

EXCAVATION EFFORT: 43" Observed Depth to Groundwater

355 Research Parkway Meriden, CT 06450 Tel:(203) 630-1406 Fax (203) 630-2615

Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences

TEST PIT FIELD LOG

PERSONNEL PRESENT: XXXX - BL Companies

EXCAVATION EQUIPMENT: Contractor: XXXX - BL Companies, Operator: XXXX - BL Companies, Make: XXXX - BL Companies, Model: XXXX - BL Companies, Bucket Capacity: XXXX - BL Companies, Reach: XXXX - BL Companies

Ground Surface Elevation: NAVD 88

Datum: NAVD 88

Temperature: XXXX

Weather: XXXX

Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	Remark No.
0 to 12	Layer A	Dark Brown	Fine Sand	Slightly moist	E	TR	1. was not
12 to 22	Layer C1	Tan/brown	Fine Sand and Silt	Moist	E	TR	1. was
22 to 42	Layer C2	Gray/Brown	Silt and Sand	Moist to Wet	E	TR	2. was

Bottom of Test Pit at 42 inches below ground elevation

REMARKS:

1. Mottling was/was not observed

2. Groundwater was/was not observed

3. Bedrock/Restrictive layer was/was not observed

Depth to weeping: 3'

Depth to standing water: 42"

TEST PIT PLAN

COBBLES AND BOULDERS: Size Range: 3" - 12" (Small (S)), 12" - 24" (Medium (M)), 24" - 36" (Large (L)), 36" and Larger (Large (L)). Letter Designation: Cobble (C), Small (S), Medium (M), Large (L).

PROPORTIONS USED (QUANTITATIVE TERMS): TRACE (TR) 0-10%, LITTLE (L) 10-20%, SOME (SO) 20-35%, FREQUENT (F) 35-50%, NUMEROUS (N) 50-100%.

LEGEND: E - Easy, M - Moderate, D - Difficult.

EXCAVATION EFFORT: 42" Observed Depth to Groundwater

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Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences

TEST PIT FIELD LOG

PERSONNEL PRESENT: XXXX - BL Companies

EXCAVATION EQUIPMENT: Contractor: XXXX - BL Companies, Operator: XXXX - BL Companies, Make: XXXX - BL Companies, Model: XXXX - BL Companies, Bucket Capacity: XXXX - BL Companies, Reach: XXXX - BL Companies

Ground Surface Elevation: NAVD 88

Datum: NAVD 88

Temperature: XXXX

Weather: XXXX

Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	Remark No.
0 to 11	Layer A	Dark Brown	Fine Sand	Slightly moist	E	TR	1. was not
11 to 24	Layer C1	Orange/Tan	Fine Sand and Silt	Moist	E	TR	1. was
24 to 48	Layer C2	Gray/Brown	Silt and Sand	Moist to Wet	E	TR	2. was

Bottom of Test Pit at 52 inches below ground elevation

REMARKS:

1. Mottling was/was not observed

2. Groundwater was/was not observed

3. Bedrock/Restrictive layer was/was not observed

depth to groundwater: 48"

TEST PIT PLAN

COBBLES AND BOULDERS: Size Range: 3" - 12" (Small (S)), 12" - 24" (Medium (M)), 24" - 36" (Large (L)), 36" and Larger (Large (L)). Letter Designation: Cobble (C), Small (S), Medium (M), Large (L).

PROPORTIONS USED (QUANTITATIVE TERMS): TRACE (TR) 0-10%, LITTLE (L) 10-20%, SOME (SO) 20-35%, FREQUENT (F) 35-50%, NUMEROUS (N) 50-100%.

LEGEND: E - Easy, M - Moderate, D - Difficult.

EXCAVATION EFFORT: 48" Observed Depth to Groundwater

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Architecture
Engineering
Environmental
Land Surveying

100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200

36117
LICENSED PROFESSIONAL ENGINEER

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS

No.	Date	Description
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/2/2025	RESPONSE TO TOWN COMMENTS
3	10/26/2025	RESPONSE TO TOWN COMMENTS
4	12/2/2025	RESPONSE TO TOWN COMMENTS
5	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed: J.N.B.
Drawn: J.N.B.
Reviewed: R.M.R.
Scale: N.T.S.
Project No.: 2302699
Date: 2/10/2025
CAD File: C2302699-110

Title: GRADING AND DRAINAGE DETAILS

Sheet No.

C2.102



Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-14
BL Project # 2302699
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum	NAVD 88	
		Operator					
		Make	Komatsu	Model		Temperature	70°
		Bucket Capacity		Reach		Weather	Cloudy and Drizzly
Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	
0 to 11	Dark Brown Topsoil				E	NONE	
11 to 30	Tan/Brown Loom and Silt				E	NONE	
30 to 63	Gray Very fine sand little Silt				E	NONE	
Bottom of Test Pit at 63 inches below ground elevation							
REMARKS: 1. Mottling was observed at 40 in. 2. Groundwater was not observed 3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED		LEGEND		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		QUANTITATIVE TERMS TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
Observed Depth to Groundwater							

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Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences



Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-13
BL Project # 2302699
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum	NAVD 88	
		Operator					
		Make	Komatsu	Model		Temperature	70°
		Bucket Capacity		Reach		Weather	Cloudy and Drizzly
Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	
0 to 24	Dark Brown Topsoil				E	NONE	
24 to 48	Tan/Brown Sand and Silt				E	NONE	
48 to 96	Gray Very fine Silt and Sand				E	NONE	
Bottom of Test Pit at 96 inches below ground elevation							
REMARKS: 1. Mottling was observed at 72 in. 2. Groundwater was observed at 96 in. 3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED		LEGEND		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		QUANTITATIVE TERMS TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
Observed Depth to Groundwater							

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Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences



Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-12
BL Project # 2302699
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum	NAVD 88	
		Operator					
		Make	Komatsu	Model		Temperature	70°
		Bucket Capacity		Reach		Weather	Cloudy and Drizzly
Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	
0 to 12	Dark Brown Topsoil				E	NONE	
12 to 40	Light Tan/Brown Sand little Silt				E	NONE	
40 to 84	Gray Very fine sand little Silt				E	NONE	
Bottom of Test Pit at 84 inches below ground elevation							
REMARKS: 1. Mottling was observed at 25 in. 2. Groundwater was observed at 84 in. seeping in 3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED		LEGEND		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		QUANTITATIVE TERMS TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
Observed Depth to Groundwater							

355 Research Parkway Meriden, CT 06450 Tel.(203) 630-1406 Fax (203) 630-2615
Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences



Project Location: 5 Northwood Drive, Bloomfield, Connecticut

Test Pit Name: TP-11
BL Project # 2302699
Date: 06/26/2025

TEST PIT FIELD LOG							
PERSONNEL PRESENT		EXCAVATION EQUIPMENT			Ground Surface Elevation		
Sarah Costagliola and Kevin Rogalski - BL Companies		Contractor	Burns		Datum	NAVD 88	
		Operator					
		Make	Komatsu	Model		Temperature	70°
		Bucket Capacity		Reach		Weather	Cloudy and Drizzly
Depth (in.)	SOIL DESCRIPTION				Excav. Effort	Cobble and Boulder Data	
0 to 12	Dark Brown Topsoil				E	NONE	
12 to 36	Tan/Brown Fine Sand and Silt				E	NONE	
36 to 60	Gray/Brown Sand with some Silt				E	NONE	
Bottom of Test Pit at 60 inches below ground elevation							
REMARKS: 1. Mottling was observed at 12 in. 2. Groundwater was not observed 3. Bedrock/Restrictive layer was not observed							
TEST PIT PLAN							
COBBLES AND BOULDERS		PROPORTIONS USED		LEGEND		EXCAVATION EFFORT	
Size Range Classification 3" - 12" 12" - 24" 24" - 36" 36" and Larger		Letter Designation Cobble (C) Small (S) Medium (M) Large (L)		QUANTITATIVE TERMS TRACE (TR) 0-10% LITTLE (L) 10-20% SOME (SO) 20-35% AND 35-50% OCCASIONAL FEW FREQUENT NUMEROUS		E - Easy M - Moderate D - Difficult	
Observed Depth to Groundwater							

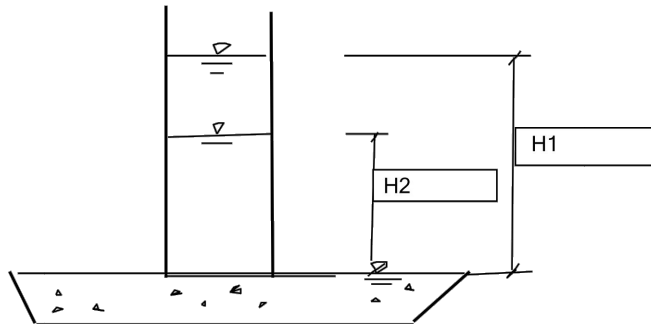
355 Research Parkway Meriden, CT 06450 Tel.(203) 630-1406 Fax (203) 630-2615
Architecture & Engineering & Planning & Landscape Architecture & Land Surveying & Environmental Sciences

FALLING HEAD PERMEABILITY TEST

PROJECT: Burns Contractor Yard PROJECT # 2302699 BY: K.R., S.E.C.
DATE: 6/26/2025

TEST PIT # 12

presoak start: 10:04 AM
presoak finish: 10:56 AM
SAMPLE DEPTH: 12 in below grade



Same For All			Calculated			
Time (min.)	H1 (in.)	H2 (in.)	H1 - H2 (in)	K (in/min.)	K (in/hr)	K (ft./day)
-	-	-	-	-	-	-
0.000	0.000	-	-	-	-	-
5.000	0.000	0.188	0.188	0.038	2.250	4.500
10.000	0.188	0.375	0.188	0.038	2.250	4.500
15.000	0.375	0.625	0.250	0.050	3.000	6.000
20.000	0.625	0.875	0.250	0.050	3.000	6.000
25.000	0.875	1.063	0.188	0.038	2.250	4.500
30.000	1.063	1.250	0.188	0.038	2.250	4.500
35.000	1.250	1.438	0.188	0.038	2.250	4.500
40.000	1.438	1.625	0.188	0.038	2.250	4.500
45.000	1.625	1.813	0.188	0.038	2.250	4.500
50.000	1.813	2.063	0.250	0.050	3.000	6.000
55.000	2.063	2.250	0.188	0.038	2.250	4.500
60.000	2.250	2.438	0.188	0.038	2.250	4.500

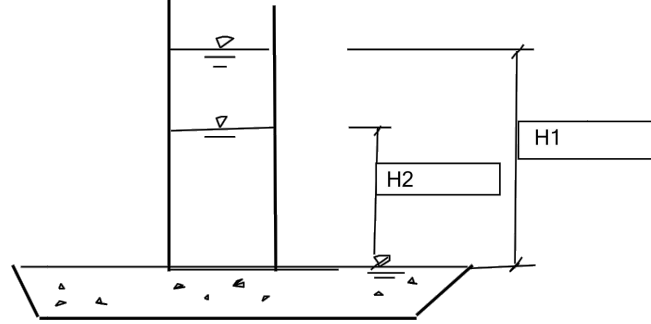
Average= 4.875 ft/day
or 2.44 in/hr

FALLING HEAD PERMEABILITY TEST

PROJECT: Burns Contractor Yard PROJECT # 2302699 BY: K.R., S.E.C.
DATE: 6/26/2025

TEST PIT # 14

presoak start: 12:21 PM
presoak finish: 12:37 PM
SAMPLE DEPTH: 10 in below grade



Same For All			Calculated			
Time (min.)	H1 (in.)	H2 (in.)	H1 - H2 (in)	K (in/min.)	K (in/hr)	K (ft./day)
-	-	-	-	-	-	-
0.000	0.000	-	-	-	-	-
5.000	0.000	0.125	0.125	0.025	1.500	3.000
10.000	0.125	0.250	0.125	0.025	1.500	3.000
15.000	0.250	0.375	0.125	0.025	1.500	3.000
20.000	0.375	0.500	0.125	0.025	1.500	3.000
25.000	0.500	0.625	0.125	0.025	1.500	3.000
30.000	0.625	0.750	0.125	0.025	1.500	3.000
35.000	0.750	0.813	0.063	0.013	0.750	1.500
40.000	0.813	0.938	0.125	0.025	1.500	3.000
45.000	0.938	1.063	0.125	0.025	1.500	3.000
50.000	1.063	1.125	0.063	0.013	0.750	1.500
55.000	1.125	1.250	0.125	0.025	1.500	3.000
60.000	1.250	1.375	0.125	0.025	1.500	3.000

Average= 2.750 ft/day
or 1.38 in/hr

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100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200



PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS
No. 1 2 3 4 5 6
Date 7/2/2025 8/2/2025 9/2/2025 10/26/2025 12/3/2025 12/8/2025
Desc. RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS RESPONSE TO TOWN COMMENTS

Designed J.N.B.
Drawn J.N.B.
Reviewed R.M.R.
Scale N.T.S.
Project No. 2302699
Date 2/10/2025

CAD File: C2302699-110

Title

GRADING AND DRAINAGE DETAILS

Sheet No.

C2.103



PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

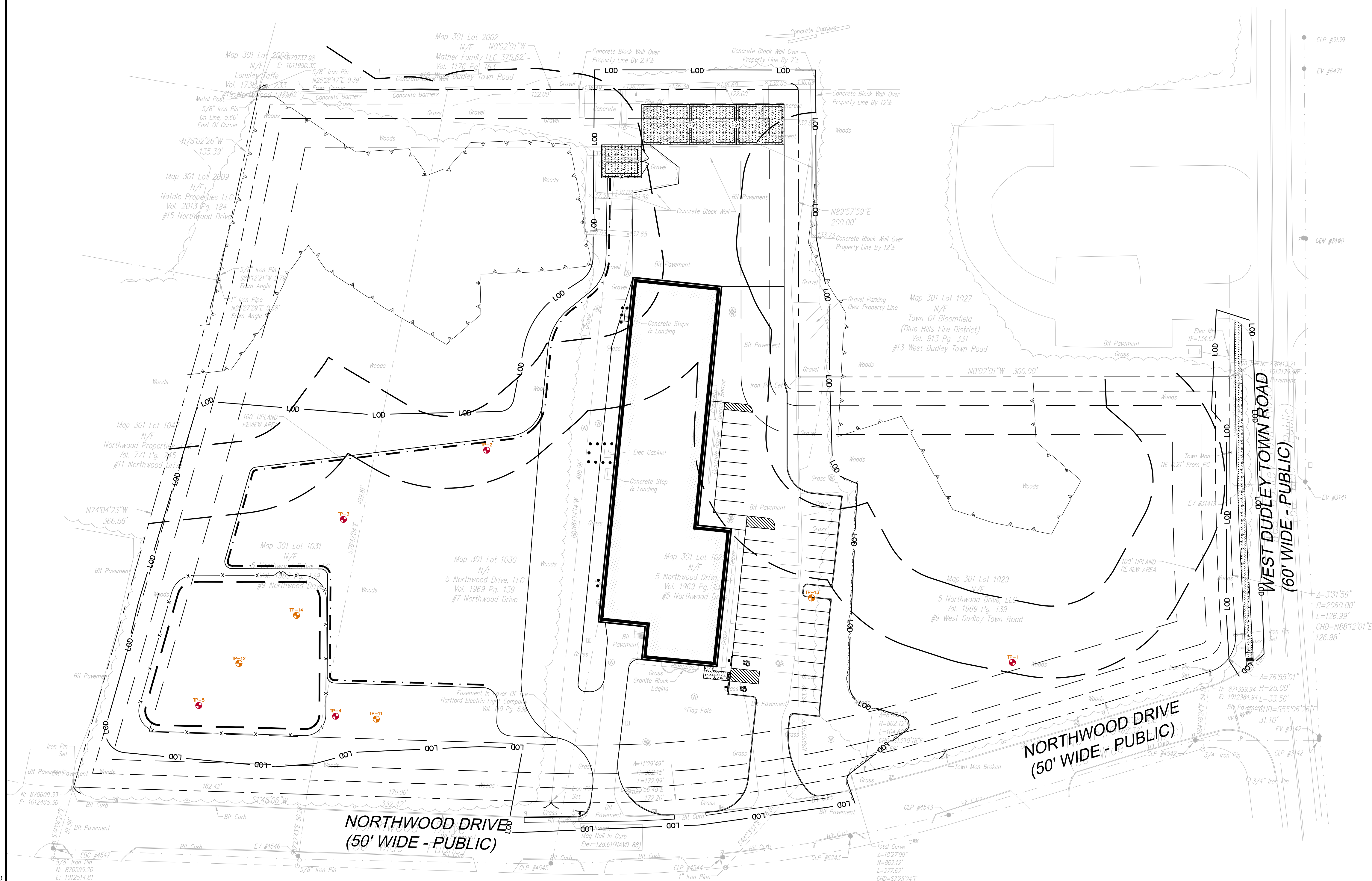
REVISIONS		
No.	Date	Desc.
1	7/3/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	9/23/2025	RESPONSE TO TOWN COMMENTS
4	10/26/2025	RESPONSE TO TOWN COMMENTS
5	12/3/2025	RESPONSE TO TOWN ENGINEERING COMMENTS
6	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed	J.N.B.
Drawn	J.N.B.
Reviewed	R.M.R.
Scale	1"=40'
Project No.	2302699
Date	2/10/2025
CAD File:	
C2302699-10	

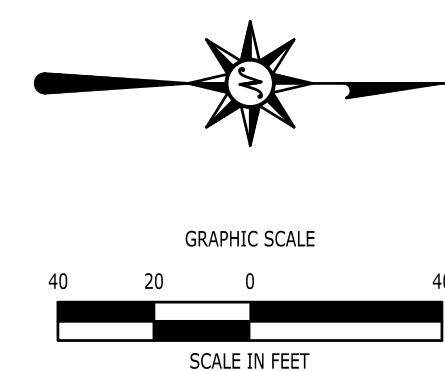
Title
TEST PIT LOCATION
MAP

Sheet No.

C2.104

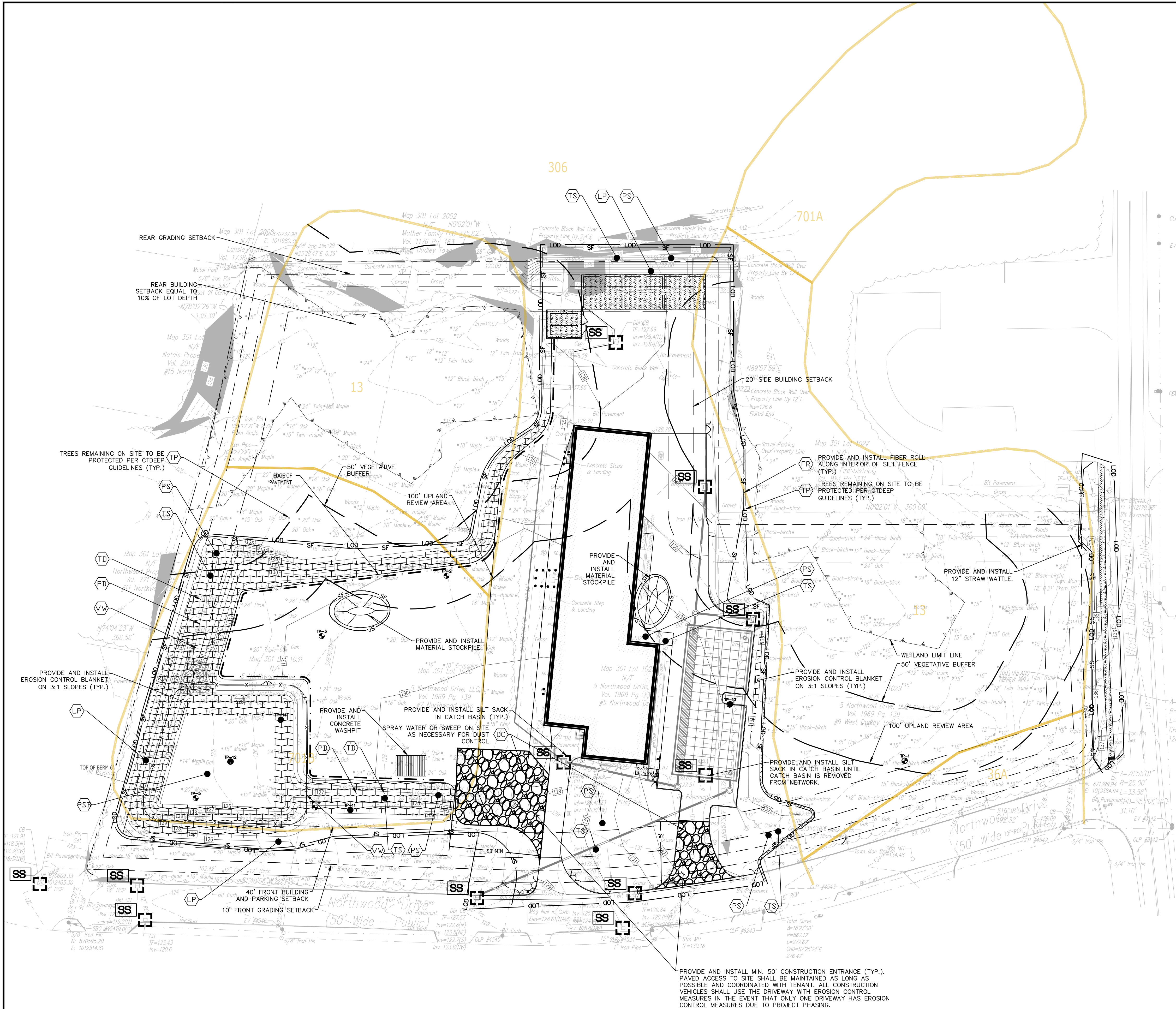


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12/2/2025, 10:56:12 AM, J:\PROJECTS\2025\20250699-01\20250699-01.dwg, 24X36, 405C

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EROSION CONTROL LEGEND

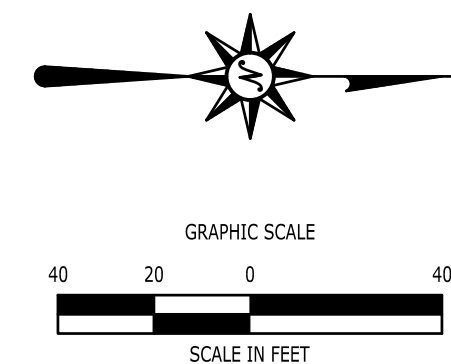
---	PROPERTY LINE
---	LIMIT OF DISTURBANCE AND SITEWORK CONTRACT LIMIT LINE
SF	SILT FENCE BARRIER
SF	NRCS SOIL BOUNDARY
SS	SILT SACK INLET PROTECTION
CP	CONCRETE WASH PIT
ECB	EROSION CONTROL BLANKET
CE	CONSTRUCTION ENTRANCE
TP	TREE PROTECTION
DC	DUST CONTROL
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
LP	LANDSCAPE PLANTING
FR	FIBER ROLL
VW	VEGETATED WATERWAY
TD	TEMPORARY DIVERSION
PD	PERMANENT DIVERSION
SP	PUMP SETTLING BASIN

SOIL TYPE LEGEND

9	SCITCO, SHAKER, AND MAYBID SOILS
13	WALPOLE SANDY LOAM
36A	WINDSOR LOAMY SAND
306	UDORTHENTS-URBAN LAND COMPLEX
701A	NINIGRET FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES
701B	NINIGRET FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES

I, the undersigned, do hereby certify that this plan has been prepared in accordance with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, DEEP Bulletin 34, as amended, and in accordance with The Town of Bloomfield Inland Wetlands and Watercourses Commission Regulations Section 7, and the Town of Bloomfield Design and Construction Standards, as applicable.

(Signature of the preparer) _____ Date _____



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NOT RELEASED FOR CONSTRUCTION

REVISIONS	DATE	DESCRIPTION
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	10/2/2025	RESPONSE TO TOWN COMMENTS
4	12/2/2025	RESPONSE TO TOWN COMMENTS
5	12/2/2025	REVISED PER TOWN ENGINEER COMMENTS
6	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed	J.N.B.
Drawn	J.N.B.
Reviewed	R.M.R.
Scale	1"=40'
Project No.	2302699
Date	2/10/2025
CAD File:	C2302699-40

Title
EROSION AND
SEDIMENT CONTROL
PLAN

Sheet No.

C4.00

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL NOTES - CONNECTICUT

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT LADEN SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF EROSION CONTROLS PRIOR TO THE BEGINNING OF PROJECT DEMOLITION AND/OR CONSTRUCTION.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS SUMMER 2025 WITH COMPLETION ANTICIPATED WINTER 2025. APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES AS DESCRIBED HEREIN SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL DEMOLITION OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS COMMISSION AND/OR CIVIL ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT BLOOMFIELD INLAND WETLANDS AND WATERCOURSES COMMISSION AGENT FORTY- EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS COMMISSION AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE.
- CONSTRUCT STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS AT CONSTRUCTION ENTRANCES/EXITS AND INSTALL FILTER FABRIC AROUND GRATES OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AND OTHER EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT BASINS AND SEDIMENT TRAPS IF REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER AS AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE. STOCKPILE CHIPS. STOCKPILE TOPSOIL. INSTALL SEDIMENT AND EROSION CONTROLS AT STOCKPILES.
- BUILDING AND SITE DEMOLITION AND REMOVAL, PAVEMENT REMOVAL, REFER TO DEMOLITION PLAN.
- INSTALL SILT FENCE. COMMENCE INSTALLATION OF STORM DRAINAGE SYSTEM.
- COMMENCE EARTHWORK. INSTALL ADDITIONAL SEDIMENT AND EROSION CONTROLS AS WORK PROGRESSES AND CONTINUE STORM DRAINAGE SYSTEM CONSTRUCTION, TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAGING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING AND FILLING OF SUBGRADES AND SLOPES.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE CONTRACTOR MUST PROVIDE EVIDENCE THAT EACH SPOIL OR BORROW AREA HAS A SEDIMENT AND EROSION CONTROL PLAN APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION AND WHICH IS BEING IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL ALSO NOTIFY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION IN WRITING OF ALL RECEIVING SPOIL AND BORROW AREAS WHEN THEY HAVE BEEN IDENTIFIED.
- CONTINUE INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
- THROUGHOUT CONSTRUCTION SEQUENCE, REMOVE SEDIMENT FROM BEHIND SILT FENCES, HAY BALES AND OTHER EROSION CONTROL DEVICES, AND FROM SEDIMENT BASINS AND SEDIMENT TRAPS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL OF 0.25 INCH OR GREATER). INSPECTION OF SEDIMENT AND EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.25 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL UTILITIES. COMPLETE STORM DRAINAGE SYSTEM.
- INSTALL SITE LIGHTING AND TRASH ENCLOSURE.
- COMPLETE GRADING TO SUBGRADES AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT CURBS, PAVEMENT STRUCTURE AND SIDEWALKS.
- CONDUCT FINE GRADING.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL FINE GRADING OF SLOPE AND NON-PAVED AREAS.
- PLACE "C" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED AUGUST 15-OCTOBER 1. USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1 AND AS SHOWN ON LANDSCAPE PLANS OR EROSION CONTROL PLANS. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- LANDSCAPE ISLANDS, INTERIOR NON-PAVED AREAS, AND PERIMETER AREAS.
- INSTALL SIGNING AND PAVEMENT MARKINGS
- CLEAN STORM DRAINAGE PIPE STRUCTURES, DETENTION SYSTEMS AND WATER QUALITY DEVICES OF DEBRIS AND SEDIMENT.
- UPON DIRECTION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION AGENT, SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

OPERATION REQUIREMENTS

CLEARING AND GRUBBING OPERATIONS

- ALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF TEMPORARY SEDIMENTATION BASINS AND STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENT AND EROSION CONTROL DEVICES.
- FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEEDING OR CRUSHED STONE AS SOON AS PRACTICAL.

ROUGH GRADING OPERATIONS

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

FILLING OPERATIONS

- PRIOR TO FILLING, ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THIS PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS, IF APPLICABLE TO THIS PROJECT, SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN). SHALL BE PLACED IN LIFT THICKNESSES NOT GREATER THAN THAT SPECIFIED IN PROJECT SPECIFICATIONS AND/OR THE PROJECT GEOTECHNICAL REPORT. LIFTS SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN THE CONTRACT SPECIFICATIONS OR IN THE GEOTECHNICAL REPORT.
- AS GENERAL GRADING OPERATIONS PROGRESS, ANY TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE SEDIMENT BASINS OR SEDIMENT TRAPS.

PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION OPERATIONS.

- SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, MUD PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES/STRAW BALES MAY BE USED IF SHOWN ON THE SEDIMENT AND EROSION CONTROL PLANS OR IF DIRECTED BY THE CIVIL ENGINEER.

FINAL GRADING AND PAVING OPERATIONS

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON SEDIMENT AND EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, OR JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND ANY ROAD OR DRIVEWAY SHOULDER AND BANKS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT SUB-BASE AND BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
- AFTER CONSTRUCTION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING, REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE IS STABLE AND HAS BEEN INSPECTED AND APPROVED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION.

INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
- POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
- LAY THE BOTTOM SIX INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
- BACKFILL THE TRENCH AND COMPACT.
- HAY BALES/STRAW BALES
 - BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE, ORIENTED PARALLEL TO THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.
 - BALES SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF FOUR INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER.
 - EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO (2) STAKES.
 - THE GAPS BETWEEN BALES SHALL BE WEDGED WITH STRAW TO PREVENT WATER LEAKAGE.

- THE BARRIER SHALL BE EXTENDED TO SUCH A LENGTH THAT THE BOTTOMS OF THE END BALES ARE HIGHER IN ELEVATION THAN THE TOP OF THE LOWEST MIDDLE BALE, TO ENSURE THAT RUN-OFF WILL FLOW EITHER THROUGH OR OVER THE BARRIER, BUT NOT AROUND IT.

OPERATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THIS PLAN.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT.
 - HAY BALES/STRAW BALES
 - ALL HAY BALE/STRAW BALE RINGS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY MADE AS NEEDED.
 - DEPOSITS SHALL BE REMOVED AND CLEANED-OUT IF ONE HALF OF THE ORIGINAL HEIGHT OF THE BALES BECOMES FILLED WITH SEDIMENT.
 - SEDIMENT BASINS/SEDIMENT TRAPS
 - CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP LOCAL AUTHORITIES OR ENGINEER.
 - ALL SEDIMENT BASINS AND/OR SEDIMENT TRAPS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM SEDIMENT BASINS AND/OR SEDIMENT TRAPS WHEN THEY REACH A MAXIMUM HEIGHT OF ONE FOOT UNLESS OTHERWISE INDICATED ON THE EROSION CONTROL PLANS AND DETAILS TO BE AT A SPECIFIC ELEVATION PER CLEAN OUT MARKERS.
 - SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS. SEE SEDIMENT AND EROSION CONTROL NOTES HEREIN REGARDING DISPOSAL REQUIREMENTS FOR OFF SITE SPOIL DISPOSAL.

SEDIMENT AND EROSION CONTROL PLAN

- HAY BALE/STRAW BALE FILTERS WILL BE INSTALLED AT ALL CULVERT OUTLETS IF CULVERT OUTLETS ARE APPLICABLE TO THIS PROJECT AND SILTATION FENCE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CULVERT DISCHARGE AREAS WILL BE PROTECTED WITH RIP RAP CHANNELS. ENERGY DISSIPATORS WILL BE INSTALLED AS SHOWN ON THESE PLANS AND AS NECESSARY.
- CATCH BASINS WILL BE PROTECTED WITH HAY BALE/STRAW BALE FILTERS, SILT SACKS, SILTATION FENCE, OR OTHER INLET PROTECTION DEVICES PER DETAILS, THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT SOIL AND EROSION CONTROL GUIDELINES LATEST EDITION.
- SEDIMENT AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO DEMOLITION AND/OR CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE DEMOLITION AND CONSTRUCTION PERIOD UNTIL THE SITE IS DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED OR AS DIRECTED BY THE CIVIL ENGINEER OR BY THE AUTHORITY HAVING JURISDICTION.
- SEDIMENT REMOVED FROM EROSION CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT AND REQUIREMENTS OF THE SEDIMENT AND EROSION CONTROL PLANS, NOTES, AND DETAILS.
- OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION OFFICE OR AUTHORITY HAVING JURISDICTION OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

SEDIMENT AND EROSION CONTROL NOTES

- THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER CONTRACT PLANS FOR APPROPRIATE INFORMATION.
- OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN, INFORMING THE AUTHORITY HAVING JURISDICTION OR COUNTY SOILS CONSERVATION DISTRICT OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- AN EROSION CONTROL BOND MAY BE REQUIRED TO BE POSTED WITH AUTHORITY HAVING JURISDICTION TO ENSURE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS BOND AND FOR INQUIRIES TO THE AUTHORITY HAVING JURISDICTION FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE DIRECTED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT OF 0.25 INCHES OR GREATER BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEDIMENT AND EROSION CONTROL, TO ASCERTAIN THAT THE SEDIMENT AND EROSION CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING EROSION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
 - A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
 - THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION
 - TURBIDITY TESTING AS REQUIRED BY THE GENERAL PERMIT (NPDES).
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH CT SOIL AND EROSION CONTROL GUIDELINES LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, MUNICIPALITY AND/OR COUNTY SOILS CONSERVATION DISTRICT AND/OR INLAND WETLANDS COMMISSION, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL INSPECT ALL SEDIMENT AND EROSION CONTROLS BEFORE AND AFTER EACH STORM (0.25 INCHES OR GREATER RAINFALL), OR AT LEAST WEEKLY, TO VERIFY THAT THE CONTROLS ARE OPERATING PROPERLY AND MAKE REPAIRS WHERE NECESSARY.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF SEDIMENT AND EROSION CONTROL MATERIAL (HAY BALES, SILT FENCE, JUTE MESH, RIP RAP, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE, ORANGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- INSTALL PERIMETER SEDIMENT AND EROSION CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, HAY BALES, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE HAY BALES OR SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN ONE (1) MONTH.
- SEDIMENT BASINS AND SEDIMENT TRAPS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE CONTRIBUTING TO THE BASIN, PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- COMPLY WITH REQUIREMENTS OF [CGS SECTION 22A 430B](#) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
- STONE CONSTRUCTION ENTRANCE ANTI-TRACKING PADS SHALL BE INSTALLED PRIOR TO ANY ON SITE EXCAVATION AND SHALL BE MAINTAINED DURING ALL DEMOLITION, EXCAVATION AND CONSTRUCTION ACTIVITIES.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (ONE WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- MAINTAIN EXISTING PAVED AREAS FOR CONSTRUCTION STAGING FOR AS LONG AS POSSIBLE.
- SILT FENCE AND OTHER SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CONTRACT DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SILT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION. PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE TENCATE ENVIROFENCE, PROPEX GEOTEX OR EQUIVALENT APPROVED BY THE CIVIL ENGINEER. FILTER FABRIC USED SHALL BE TENCATE 140N OR 170N, OR APPROVED EQUIVALENT. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- WHERE INDICATED ON SEDIMENT AND EROSION CONTROL PLANS USE NEW HAY/STRAW BALES AND REPLACE THEM WHENEVER THEIR CONDITION DETERIORATES BEYOND REASONABLE USABILITY. STAKE BALES SECURELY INTO GROUND AND BUTT TIGHTLY TOGETHER TO PREVENT UNDERCUTTING AND BYPASSING.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS, CONCRETE WASH PITS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION UNTIL CONTROL RUNOFF UNTIL UPHILL AREAS ARE DETERMINED TO BE STABILIZED BY THE AUTHORITY HAVING JURISDICTION. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE CIVIL ENGINEER AND AUTHORITY HAVING JURISDICTION.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT TRAP, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM DRAINAGE SYSTEM OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION, OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDE WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT BASINS AND SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED OR PER SPECIFIC CLEANOUT MARKER ELEVATION. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SLUMPS AS NECESSARY AND AS DIRECTED BY THE CIVIL ENGINEER OR OWNER'S CONSTRUCTION REPRESENTATIVE. REMOVE ACCUMULATED SEDIMENT FROM BEHIND HAY/STRAW BALES AND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE BALE OR ONE FOOT AT SILT FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON OR OFF SITE.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LADEN RUNOFF.
- CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, DISTURBED TRENCHING.

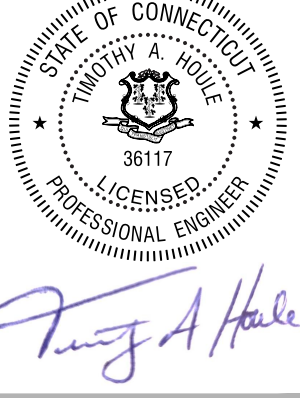
- ANY STOCKPILES OF STRIPPED MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR A CRUSTING AGENT TO STABILIZE POTENTIALLY WIND-BLOWN MATERIAL. HAUL ROADS BOTH INTO AND AROUND THE SITE ARE TO BE SPRAYED AS NEEDED TO SUPPRESS DUST. TRUCKS HAULING IMPORT FILL MATERIAL ARE TO BE TARPED TO AID IN THE CONTROL OF AIRBORNE DUST. DURING HIGH WIND EVENTS (20 TO 30 MPH SUSTAINED) CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS UNLESS OTHERWISE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
- MAINTAIN ALL PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROLS WHEN AUTHORIZED BY AUTHORITY HAVING JURISDICTION. FILE NOT (NOTICE OF TERMINATION) WITH AUTHORITY HAVING JURISDICTION RESPONSIBLE FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.

NARRATIVE:

THE PROPOSED CONTRACTOR'S YARD DEVELOPMENT AT 5 NORTHWOOD DRIVE WILL CONSIST OF AN EXPANDED PARKING AREA ON THE NORTH SIDE OF THE EXISTING BUILDING AND A PAVED CONTRACTOR'S YARD FOR OUTDOOR STORAGE ON THE SOUTH SIDE OF THE BUILDING WITH ASSOCIATED GRADING, DRAINAGE, AND LANDSCAPING. THE TOTAL SITE IS APPROXIMATELY 6.62 ACRES WITH THE LIMIT OF DISTURBANCE AROUND 4 ACRES. THE PROJECT SITE IS LOCATED IN THE TOWN OF BLOOMFIELD, HARTFORD COUNTY, CONNECTICUT. THE SITE IS LOCATED IN FEMA FLOOD ZONE V, AREA OF MINIMAL FLOODING. THE OVERALL SITE HAS AN AVERAGE RUNOFF COEFFICIENT OF APPROXIMATELY .75. THE PROJECT IS WITHIN THE NORTH BRANCH OF THE PARK RIVER DRAINAGE BASIN. A PORTION OF THE STORMWATER DRAINAGE DRAINS TO THE MUNICIPAL STORMWATER NETWORK IN NORTHWOOD DRIVE. THE OTHER PORTION OF THE STORMWATER DRAINAGE DISCHARGES TO THE WETLANDS ON THE WEST SIDE OF THE SITE. AT OR BELOW EXISTING RUNOFF FLOW RATE AND VOLUME. IF OR WHEN THE WETLAND FLOODS, IT DISCHARGES TO NORTHWOOD DRIVE. ULTIMATELY ALL RUNOFF FROM THE SITE ENTERS THE NORTHWOOD DRIVE STORMWATER DRAINAGE NETWORK. FURTHER DETAILS REGARDING THE EXISTING AND PROPOSED DRAINAGE ON SITE CAN BE FOUND IN THE STORMWATER MANAGEMENT REPORT SUBMITTED TO THE TOWN OF BLOOMFIELD. ONE OF THE MAIN EROSION CONTROL CONCERNS AT THIS SITE IS THE GRADING AND PROXIMITY TO WETLANDS. EROSION CONTROL BLANKETS WILL BE DEPLOYED AT DISTURBED SLOPES GREATER THAN 3:1 THAT ARE NOT ACTIVELY BEING WORKED ON. ADDITIONALLY, SILT FENCE AT THE TOE OF STEEP SLOPES AND AROUND THE LIMIT OF DISTURBANCE, STONE CONSTRUCTION ENTRANCES, AND SILT SACKS IN INLETS SHALL BE USED TO MITIGATE EROSION.



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PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

No.	Date	Revisions	Desc.
1	7/2/2025	1	RESPONSE TO TOWN COMMENTS
2	8/8/2025	2	RESPONSE TO TOWN COMMENTS
3	9/15/2025	3	RESPONSE TO TOWN COMMENTS
4	10/26/2025	4	RESPONSE TO TOWN COMMENTS
5	12/3/2025	5	RESPONSE TO TOWN ENGINEERING COMMENTS
6	12/8/2025	6	REVISED PER TOWN ENGINEER COMMENTS

Designed K.R.
Drawn K.R.
Reviewed R.M.R.
Scale N.T.S.
Project No. 2302699
Date 2/10/2025
CAD File: C2302699-410

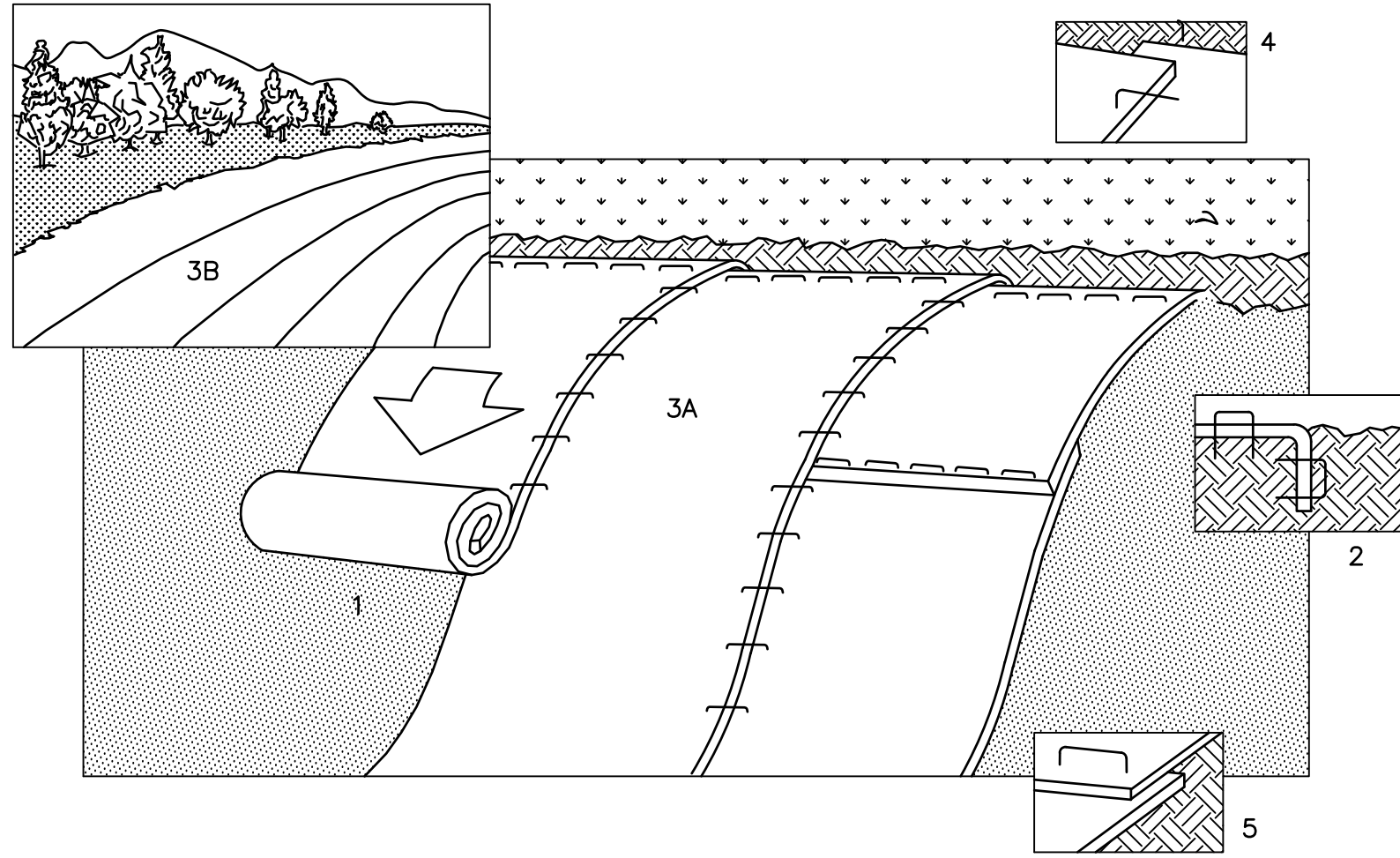
Title

EROSION AND
SEDIMENT CONTROL
NOTES

Sheet No.

C4.100

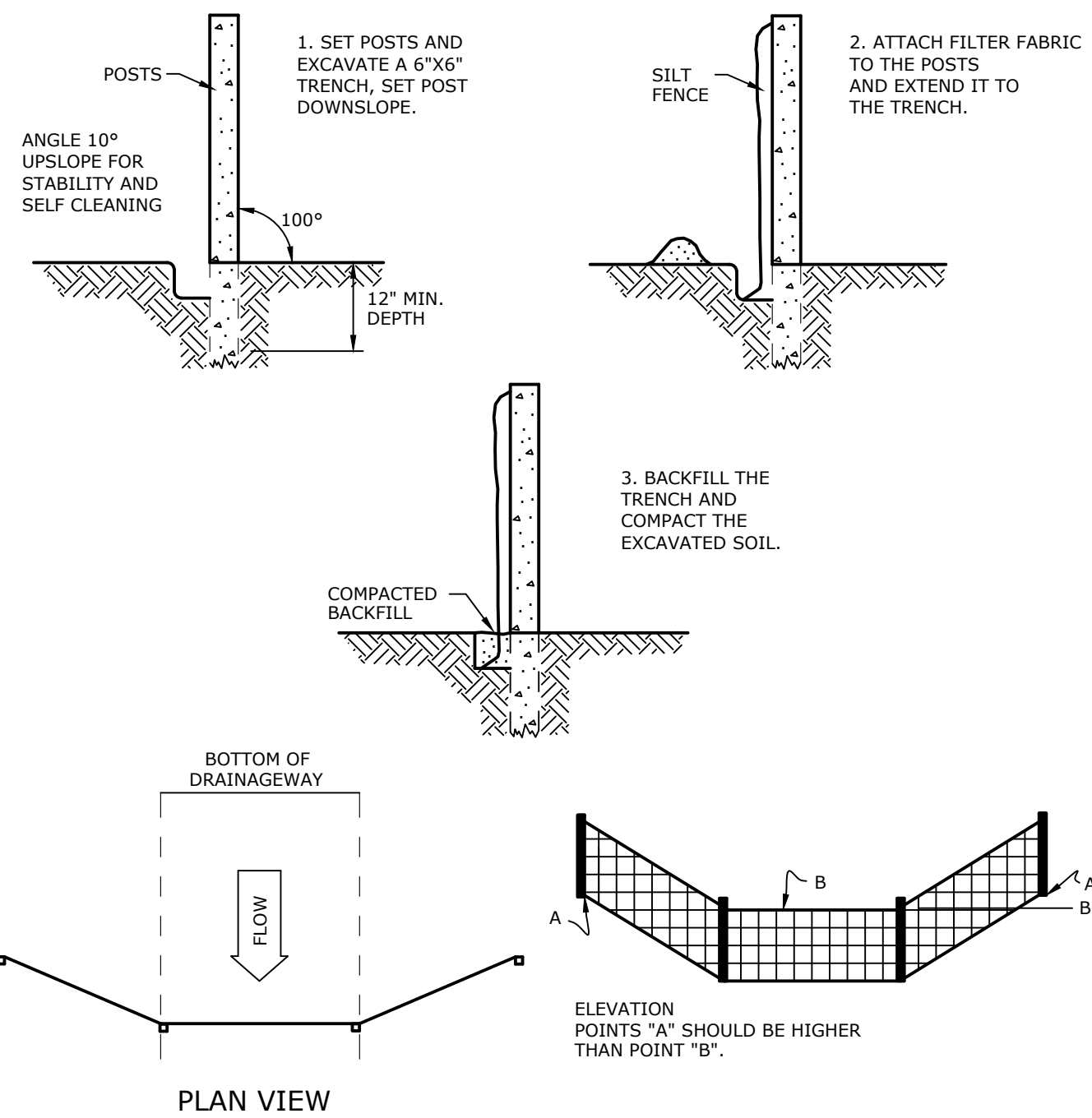
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1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. BLANKET SHALL BE NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL.

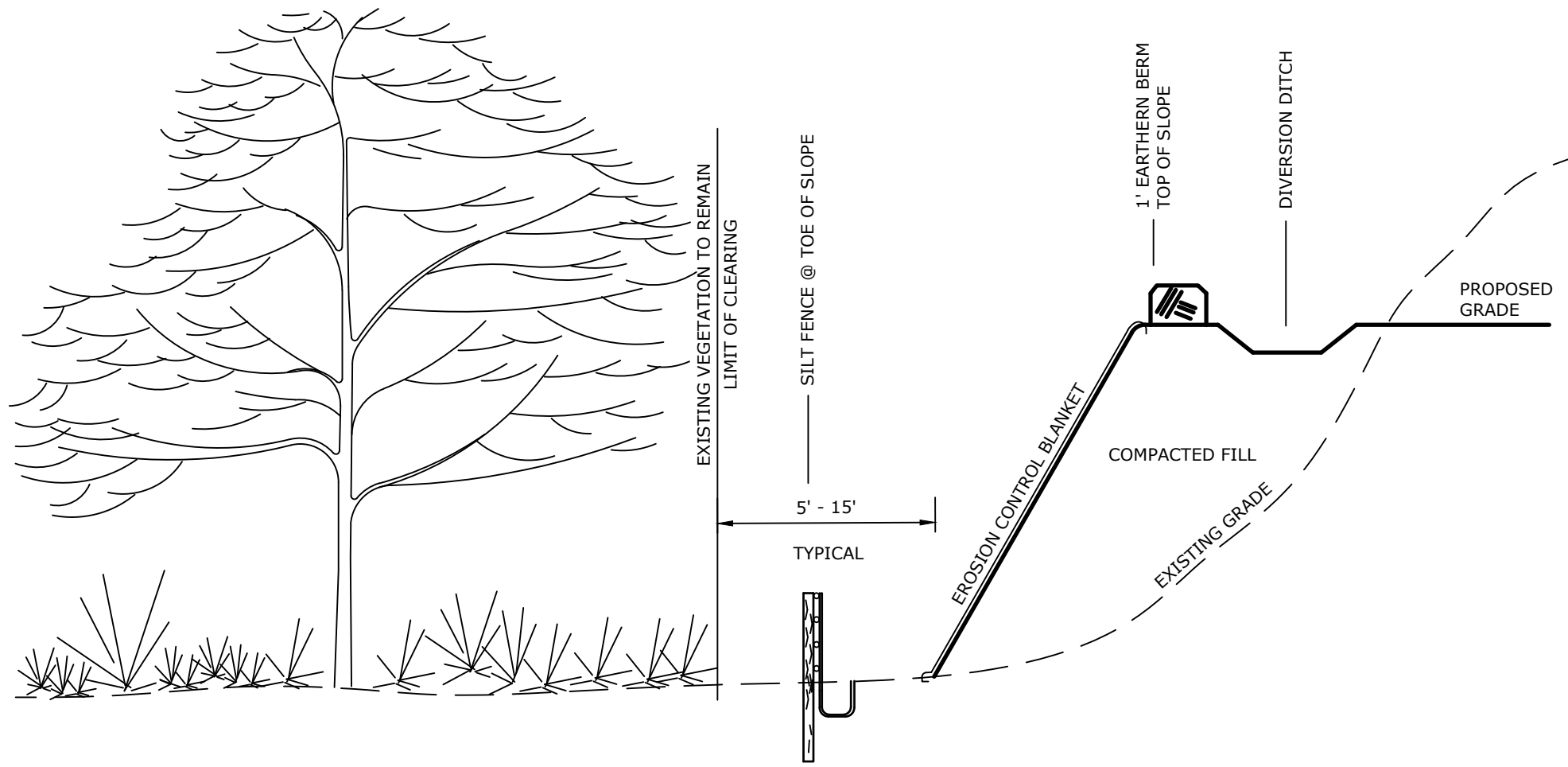
SLOPE STABILIZATION DETAIL

N.T.S. BLEC-010



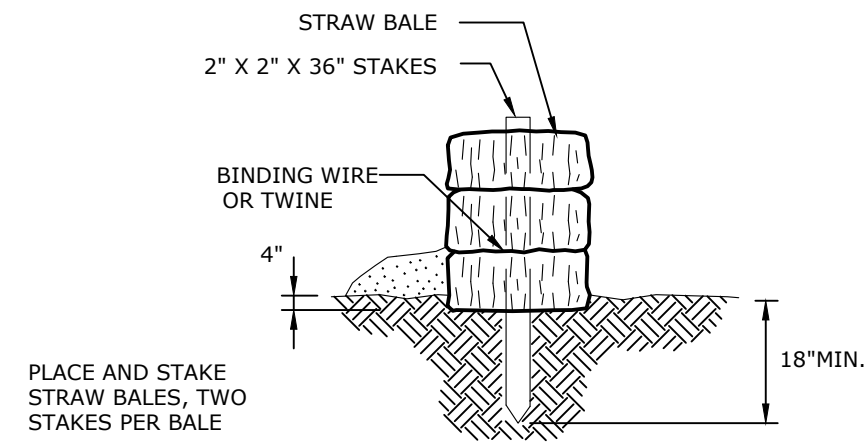
SILT FENCE BARRIER

N.T.S. CTEC-003



TYPICAL EROSION CONTROL ON SLOPES

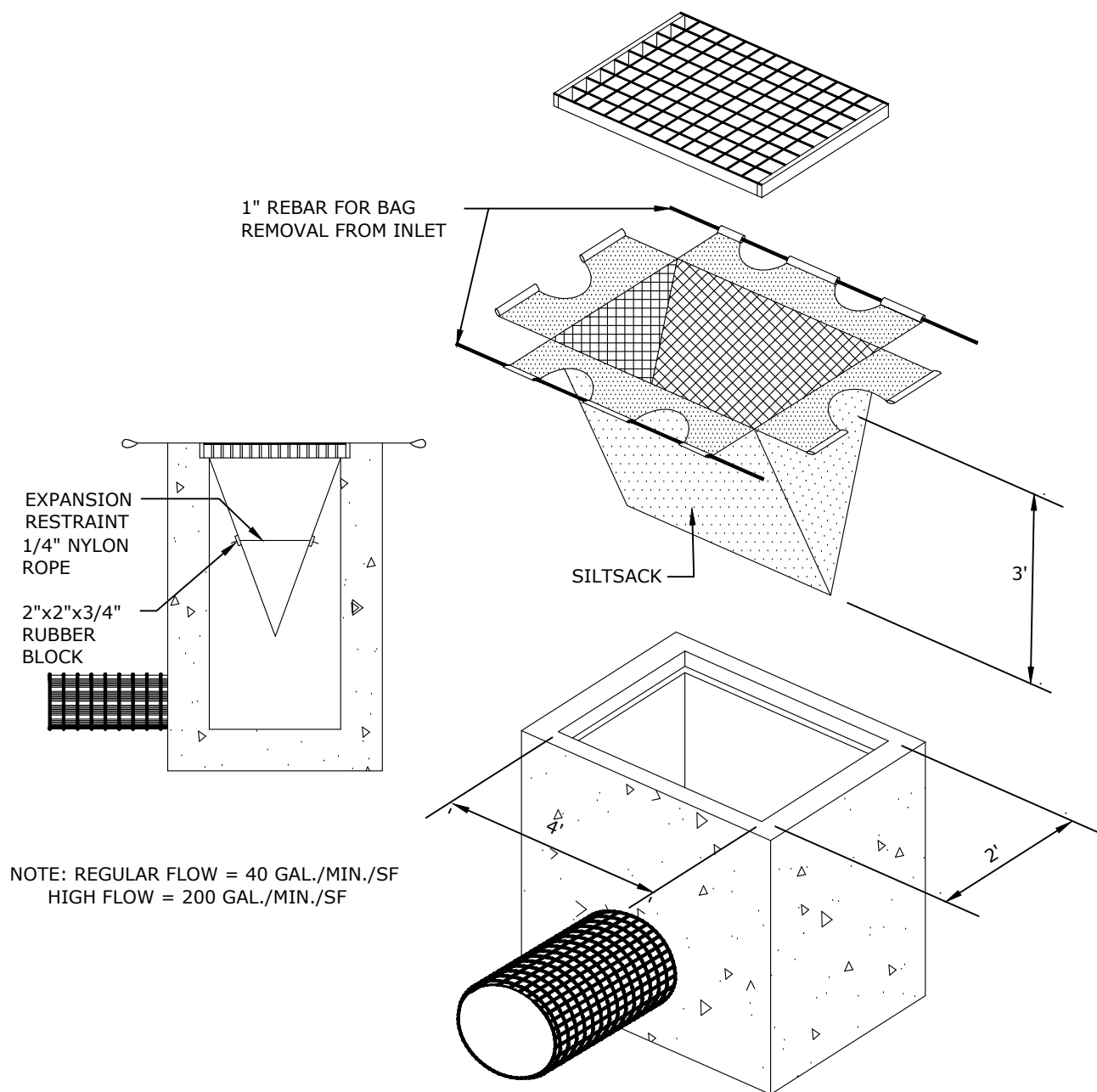
N.T.S. BLEC-011



STRAW BALE BARRIERS SHOULD NOT BE USED FOR MORE THAN 3 MONTHS
SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE ABOVE GROUND HEIGHT OF THE BARRIER.
ANY SECTION OF STRAW BALE BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

STRAW BALE DETAIL

N.T.S. BLEC-007



MATERIALS STOCKPILE DETAIL

N.T.S. BLEC-006

SILTSACK DETAIL

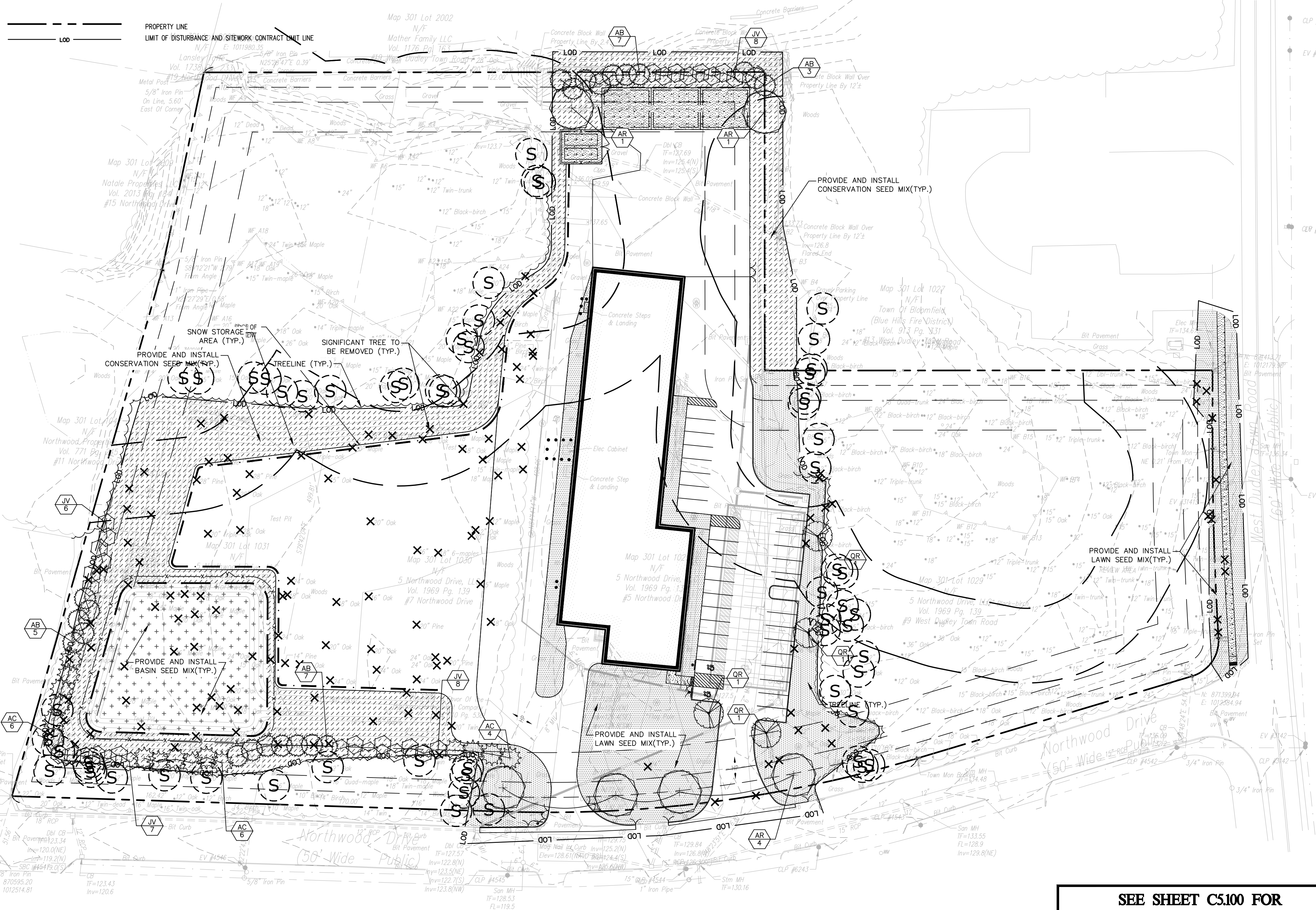
N.T.S. BLEC-005

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	AR	6	ACER RUBRUM 'OCTOBER GLORY' CT NATIVE	OCTOBER GLORY RED MAPLE	2.5" CAL (8FT HT MIN)	B&B
	QR	4	QUERCUS RUBRA CT NATIVE	NORTHERN RED OAK	4" CAL. MIN	B&B
EVERGREEN TREES						
	AB	22	ABIES BALSAMEA CT NATIVE	BALSAM FIR	7'-8' HT.	B&B
	AC	16	ABIES CONCOLOR CT NATIVE	WHITE FIR	7'-8' HT.	B&B
	JV	29	JUNIPERUS VIRGINIANA CT NATIVE	EASTERN REDCEDAR	7'-8' HT.	B&B

NOTES:

- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.



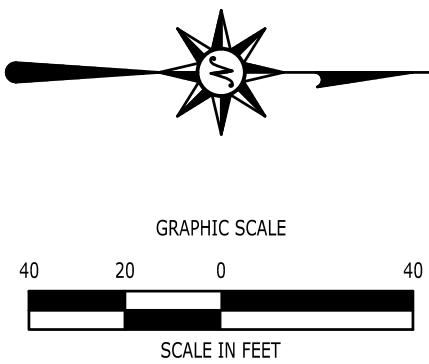
LOCATION: BLOOMFIELD, HARTFORD COUNTY				
ZONE: IND-2 (INDUSTRIAL)				
USE: CONTRACTOR YARD				
ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BLOOMFIELD ZONING REGULATIONS 4.4.E.6. BUFFERS	THERE SHALL BE NO REQUIREMENT FOR A BUFFER ON AN I-2 PARCEL WHERE THE PARCEL ABUTS A BUSINESS ZONE.	NO BUFFER REQ.	NO
2	BLOOMFIELD ZONING REGULATIONS 6.1.B LANDSCAPING BASIC STANDARDS	a. ANY LOT WHICH CONTAINS PARKING FACILITIES FOR MORE THAN FIFTEEN VEHICLES SHALL PROVIDE LANDSCAPED AREAS WITHIN THE PARKING LOT. LARGE PARKING LOTS THAT HAVE A HALF-ACRE OR MORE OF SURFACE AREA SHALL PROVIDE, AT MINIMUM, LANDSCAPED END ISLANDS AND LANDSCAPED CENTER ISLANDS FOR EVERY TWO PARKING ACCESS WAYS OR EVERY FOUR ROWS OF PARKING.	LANDSCAPED END ISLANDS PROP.	NO
		d. MUST DEMONSTRATE THE EFFECTIVENESS OF DESIGN FOR SNOW REMOVAL AND STORAGE	SNOW STORAGE AREA PROP.	NO
		f. PARKING AREAS SHALL BE PLANTED WITH TREES A MINIMUM OF 4" IN CALIPER SO THAT THERE IS AT LEAST ONE TREE PER TEN PARKING SPACES AND STAKED. A MINIMUM PLANTING AREA EQUIVALENT TO 150 SF PER TREE SHALL BE PROVIDED.	36 P.K. SPACES = 4 TREES REQ. 4 TREES PROP. WITHIN PARKING LOT	NO
		i. REQUIRED PARKING AREAS SHALL HAVE A LANDSCAPED ISLAND FOR EVERY 15 PARKING SPACES. SUCH PLANTING ISLANDS SHALL NOT BE LESS THAN 9' WIDE IN DIRECTION PARALLEL TO THE ROW AND NO LESS THAN 18' LONG IN DIRECTION PERPENDICULAR TO ROW. ISLANDS WILL BE PLANTED WITH GRASS	36 P.K. SPACES = 3 ISLANDS PROP.	NO
3	BLOOMFIELD ZONING REGULATIONS 6.1.C EXISTING VEGETATION	SIGNIFICANT TREES*, AS DEFINED IN THESE REGULATIONS, SHALL BE PRESERVED TO THE EXTENT FEASIBLE AND ANY SIGNIFICANT TREE WHICH IS PROPOSED FOR REMOVAL SHALL BE CLEARLY DESIGNATED ON THE SITE PLAN AND ANY SIGNIFICANT TREE DESIGNATED FOR PRESERVATION WHICH IS REMOVED OR DAMAGED BEYOND SATISFACTORY REPAIR SHALL BE REPLACED.	COMPLIES, SEE PLAN FOR DETAIL, TOTAL 126 SIGNIFICANT TREES TO BE REMOVED	TBD.
4	BLOOMFIELD ZONING REGULATIONS 6.1.D BUFFERS	BUFFER YARD PLANTING MATERIALS SHALL CONFORM TO THE FOLLOWING STANDARDS: CANOPY TREES AT 3" CAL. MIN., UNDERSTORY TREES SHOULD BE 2" CAL. MIN., EVERGREENS SHALL BE CONIFEROUS AT 6' HEIGHT MIN., SHRUBS SHOULD BE EITHER DECIDUOUS SPECIES PLANTED AT 2.5' HT. MINIMUM WITH A MATURE HEIGHT OF 6' OR CONIFEROUS SPECIES PLANTED AT 2.5' SPREAD MIN.	COMPLIES	NO
		ALL UNPAVED AREAS NOT USED FOR PARKING AND STORAGE SHALL BE LANDSCAPED WITH GROUND COVER AND/OR SHRUB AND TREE MATERIAL. UNDEVELOPED AREAS PROPOSED FOR FUTURE EXPANSION MAY BE MAINTAINED IN A NATURAL VEGETATIVE STATE BUT NEED NOT BE LANDSCAPED.	COMPLIES	NO
5	BLOOMFIELD ZONING REGULATIONS 6.1.E OTHER LANDSCAPING PROVISIONS	PLANTING MATERIALS USED FOR LANDSCAPING AND SCREENING SHALL BE APPROPRIATE FOR CONNECTICUT; NATIVE SPECIES ARE PREFERRED.	COMPLIES MAJORITY OF THE PLANTING MATERIALS ARE CONNECTICUT NATIVE	NO
6	BLOOMFIELD ZONING REGULATIONS 7.15.B SCREENING	THE OUTSIDE STORAGE SHALL BE SUITABLY SCREENED FROM THE ROAD AND ADJACENT LOTS OR ZONES (EXCEPT FOR ACCESS DRIVEWAYS) BY SHRUBS AND/OR TREES SO THAT WITHIN FIVE YEARS THERE WILL EXIST A MINIMUM TWELVE FOOT HIGH FOLIAGE SCREEN	EXISTING DENSE VEGETATION TO REMAIN TO FULFILL SCREENING REQUIREMENT FOR OUTDOOR STORAGE AREA, EXTRA EVERGREEN PROP. ALONG STREET FRONTAGE.	NO

NOTE:

- * SIGNIFICANT TREE: A DECIDUOUS TREE 14 INCHES OR GREATER IN DIAMETER MEASURED AT DBH, AN EVERGREEN TREE 10 INCHES OR GREATER IN DIAMETER MEASURED AT DBH.

LANDSCAPE PLAN LEGEND

	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITework CONTRACT LIMIT LINE
	PROVIDE AND INSTALL LAWN SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
	PROVIDE AND INSTALL CONSERVATION SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
	PROVIDE AND INSTALL BASIN SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
	SIGNIFICANT TREES TO BE REMOVED



SEE SHEET C5.100 FOR
LANDSCAPE NOTES AND DETAILS

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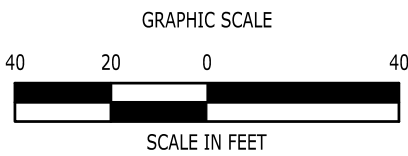
PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	QP	40	QUERCUS PALUSTRIS	PIN OAK	25 GAL.	CONT.
SHRUBS						
	CA	27	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	7 GAL.	POT
	IV	11	ILEX VERTICILLATA	WINTERBERRY	7 GAL.	POT
	LB	15	LINDERA BENZOIN	NORTHERN SPICEBUSH	7 GAL.	POT
	VC	7	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	5 GAL.	POT
	VD	15	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	7 GAL.	POT

- NOTES:
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.



SEE SHEET C5100 FOR
LANDSCAPE NOTES AND DETAILS

FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



PROPOSED CONTRACTOR YARD

5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS		DESIGNED	DRAWN	DATE	RESPONSE TO TOWN COMMENTS
No.	1	7/2/2025	8/8/2025	8/8/2025	RESPONSE TO TOWN COMMENTS
2	9/2/2025	9/2/2025	9/2/2025	9/2/2025	RESPONSE TO TOWN COMMENTS
3	10/2/2025	10/2/2025	10/2/2025	10/2/2025	RESPONSE TO TOWN COMMENTS
4	11/2/2025	11/2/2025	11/2/2025	11/2/2025	RESPONSE TO TOWN COMMENTS
5	12/2/2025	12/2/2025	12/2/2025	12/2/2025	RESPONSE TO TOWN COMMENTS
6	1/2/2026	1/2/2026	1/2/2026	1/2/2026	RESPONSE TO TOWN COMMENTS

Project No.	2302699	S.S.
Date	2/10/2025	N.Y.Y.
CAD File:	C2302699-50	J.C.W.
Scale	1"=40'	
Project No.	2302699	
Date	2/10/2025	
CAD File:	C2302699-50	
Scale	1"=40'	
Project No.	2302699	
Date	2/10/2025	
CAD File:	C2302699-50	
Scale	1"=40'	

Title: WETLAND BUFFER PLANTINGS PLAN

Sheet No.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	AR	20	ACER RUBRUM	RED MAPLE	15 GAL.	CONT.
	AS	20	ACER SACCHARUM	SUGAR MAPLE	15 GAL.	CONT.
	QB	20	QUERCUS BICOLOR	SWAMP WHITE OAK	15 GAL.	CONT.
	QP	20	QUERCUS PALUSTRIS	PIN OAK	15 GAL.	CONT.
	QR	20	QUERCUS RUBRA	NORTHERN RED OAK	15 GAL.	CONT.
EVERGREEN TREES						
	JE	4	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	4'-5' HT.	B&B / CONT.
	PS	4	PINUS STROBUS	WHITE PINE	4'-5' HT.	B&B / CONT.

NOTES:

- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

GENERAL REFORESTATION NOTES:

- 1) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THIS PLAN AND RELEVANT LOCAL, STATE, AND FEDERAL REGULATIONS.
- 2) THE REFORESTATION AREA MUST BE CLEARLY DELINEATED AND PROTECTED FROM ALL CONSTRUCTION ACTIVITIES AND EQUIPMENT.
- 3) CONTRACTOR MUST VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE ANY WORK BEGINS.
- 4) THE PROJECT ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE ALL PLANT MATERIALS BEFORE THEY ARE INSTALLED.
- 5) IF ANY CONFLICTS ARISE BETWEEN THE PLANS AND THE SITE, CONTACT THE LANDSCAPE ARCHITECT/OWNER FOR CLARIFICATION BEFORE PROCEEDING.
- 6) SITE PREPARATION
 - ALL SITE PREPARATION WORK WILL NEED TO BE COORDINATED WITH THE TOWN OF BLOOMFIELD. ACTUAL PREPARATION WORK WILL BE DEPENDENT ON WHAT STAGE OF CONSTRUCTION THE PROJECT IS IN AT TIME OF REFORESTATION.
 - DECOMPACTION: IN AREAS AFFECTED BY CONSTRUCTION, TILL AND DECOMPACT THE SOIL TO A DEPTH OF AT LEAST 12 INCHES TO IMPROVE DRAINAGE AND ROOT GROWTH.
 - INVASIVE SPECIES CONTROL: ALL EXISTING INVASIVE PLANTS IF PRESENT WITHIN THE REFORESTATION AREA MUST BE REMOVED AND PROPERLY DISPOSED OF.
 - SOIL AMENDMENT: BASED ON THE RESULTS OF THE SITE'S SOIL ANALYSIS, INCORPORATE ORGANIC COMPOST AND OTHER SPECIFIED AMENDMENTS INTO THE TOP 12 INCHES OF SOIL.
- 7) PLANT MATERIAL: USE HEALTHY, VIGOROUS PLANT STOCK FROM A QUALIFIED NURSERY. SPECIFY THE USE OF NATIVE, LOCALLY ADAPTED PLANT SPECIES TO MAXIMIZE BIODIVERSITY AND RESILIENCE.
- 8) PLANT TREES AT THE PROPER DEPTH, WITH THE ROOT FLARE AT OR SLIGHTLY ABOVE THE FINISHED SOIL GRADE.
- 9) CONTAINER-GROWN PLANTS MUST HAVE THEIR ROOTS SCARIFIED OR LOOSENED TO PREVENT GIRDLING.
- 10) ENSURE PROPER SPACING BETWEEN PLANTS TO ALLOW FOR FUTURE GROWTH.
- 11) MULCHING: APPLY A 3-INCH LAYER OF SHREDED HARDWOOD MULCH IN A 4' DIAMETER RING AROUND THE BASE OF EACH NEW PLANT, KEEPING IT AWAY FROM THE TREE'S TRUNK.
- 12) WATERING: PROVIDE INITIAL DEEP WATERING AFTER PLANTING AND SET UP A TEMPORARY IRRIGATION PLAN TO BE FOLLOWED DURING THE ESTABLISHMENT PERIOD.
- 13) PROTECTION FROM WILDLIFE: INSTALL DEER CAGES OR SHELTERS AROUND NEWLY PLANTED TREES IF BROWSING IS A CONCERN.
- 14) MAINTENANCE:
- 15) YEAR ONE: MONITOR THE SITE QUARTERLY, IMPLEMENT A RIGOROUS WATERING AND WEED CONTROL PROGRAM TO ENSURE PLANT SURVIVAL.



REFORESTATION PLAN LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITEWORK CONTRACT LIMIT LINE
- PROVIDE AND INSTALL LAWN SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)
- PROVIDE AND INSTALL CONSERVATION SEED MIX (SEE SHEET C5.100 FOR SEED MIX DETAILS)

Architecture
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Environmental
Land Surveying

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STATE OF CONNECTICUT
THOMAS A. HALE
36117
LICENSED PROFESSIONAL ENGINEER

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

REVISIONS

No.	Date	Desc.
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	10/24/2025	RESPONSE TO TOWN COMMENTS
4	12/3/2025	REVISED PER TOWN ENGINEERING COMMENTS
5	12/8/2025	REVISED PER TOWN ENGINEERING COMMENTS

Designed
Drawn
Reviewed
Scale
Project No.
Date
CAD File:

R.M.R.
1"=40'
2302699
2/10/2025
C2302699-50

Title
REFORESTATION
PLAN

Sheet No.

C5.02

LANDSCAPE NOTES

1. THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE SITE PLAN, GRADING AND DRAINAGE PLAN, SITE UTILITIES PLAN, LIGHTING PLAN AND DEMOLITION PLAN FOR ALL OTHER INFORMATION.
2. COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
3. THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
4. THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
5. THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
6. PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW OF OWNER OR LANDSCAPE ARCHITECT.
7. NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
8. FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
9. ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
10. IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
11. LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
12. PLANTING SOIL:
- DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDED AREAS.

TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Pb,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.

CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:

- A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.
- B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- ORGANIC CONTENT 3% - 6% FOR LAWN OR GRASS AREAS.
4% - 8% FOR TREE AND SHRUB PLANTERS.
8%-16% FOR RETENTION OR DETENTION BASINS.
(BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)
- PH 6.0 - 7.3
- C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.
- D. SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75-125 LBS/SQ.IN.
- E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION, OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. APPLICATIONS MUST BE IN ACCORDANCE WITH THE STATE OF CONNECTICUT, AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING AND IN EXCESS OF STATE AND FEDERAL REGULATIONS.
- F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:
- LOAM
- SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.
- SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.
- G. BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:
- SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.
- SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.
- H. MODIFICATION TO THE PLANTING SOILS CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.

12. PLANTING AMENDMENTS:
APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.

13. PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1 (LATEST EDITION). ALL PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.

14. INSPECTION AND REVIEW:
ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.

15. PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)

PLANTINGS	SPRING	FALL
SEED MIXES	APRIL 1 TO JUNE 15	SEPTEMBER 1 TO OCTOBER 15
	PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES	

16. SEEDING MIXTURES: REFER TO SEED MIX NOTES.
SEEDED AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.

17. ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.

18. UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TREELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.

19. ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDED WITH THE LAWN SEED MIX.

SEED MIX NOTES

- A. LAWN SEEDING MIX:
- 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)
60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)
SEEDING RATE: 5 LBS/1,000 S.F.
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

- B. CONSERVATION SEED MIX -
- NEW ENGLAND CONSERVATION/WILDLIFE MIX
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

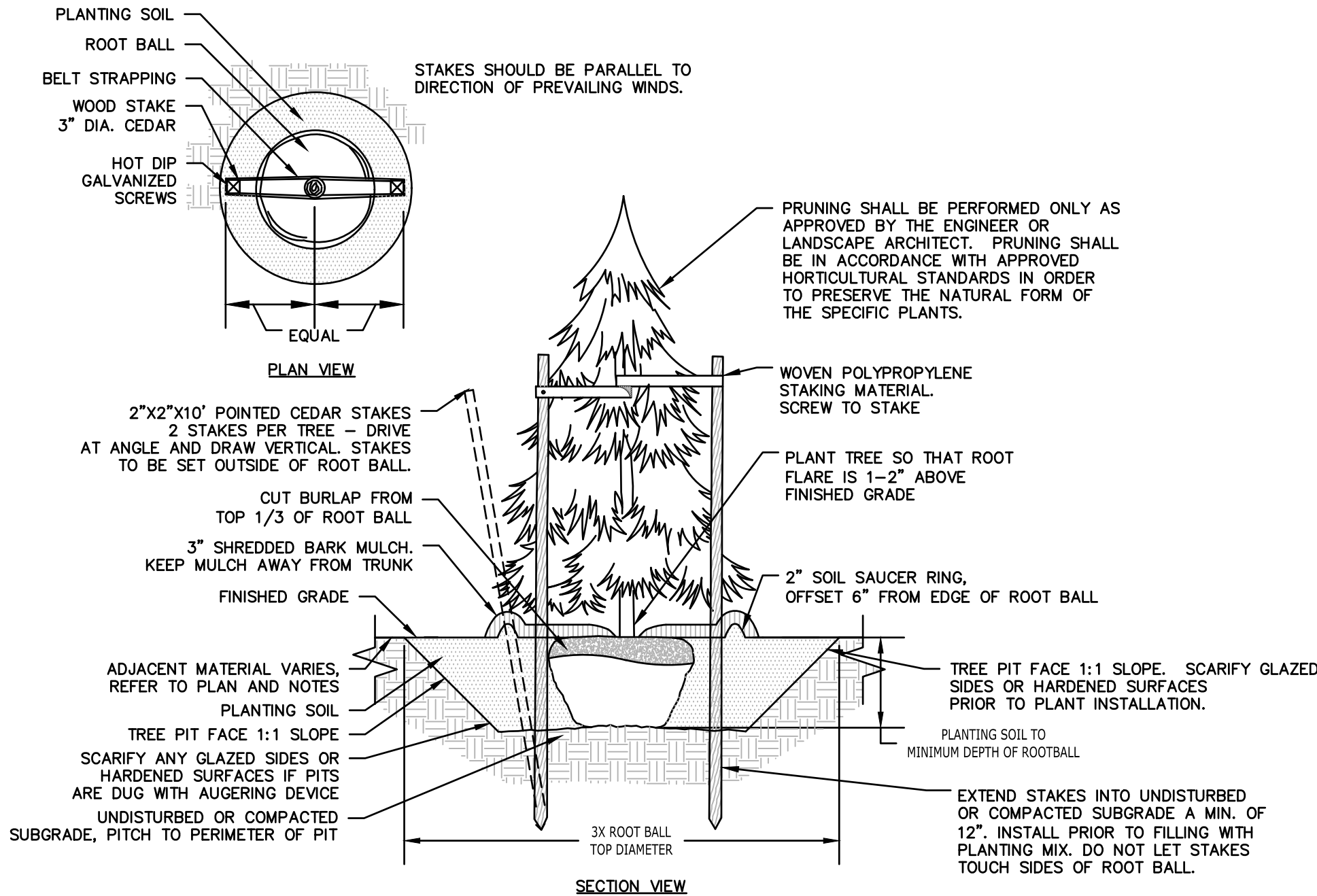
SPECIES: VIRGINIA WILD RYE (Elymus virginicus), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), CREEPING RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLED LEAD TICK TREFOL (DESMODIUM PANICULATUM), INDIAN GRASS, (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYE SUSAN (RUDBECKIA HIRTA), COMMON SNEEZEWEED (HELENIUM AUTUMNALE), HEATH ASTER (ASTERILOPUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).

APPLICATION RATE: 25 LBS/ ACRE (1 LB PER 1,750 SF)
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

- C. BASIN SEED MIX -
- NEW ENGLAND WETMIX (WETLAND SEED MIX)
NEW ENGLAND WETLAND PLANTS INC. OR APPROVED EQUAL

SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SORPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), MONKEY FLOWER (MIMULUS RINGENS).

APPLICATION RATE: 20 LBS/ACRE AT STORMWATER PONDS
SEEDING DATES: AUGUST 15 - OCTOBER 1 AND APRIL 15 - JUNE 30
UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

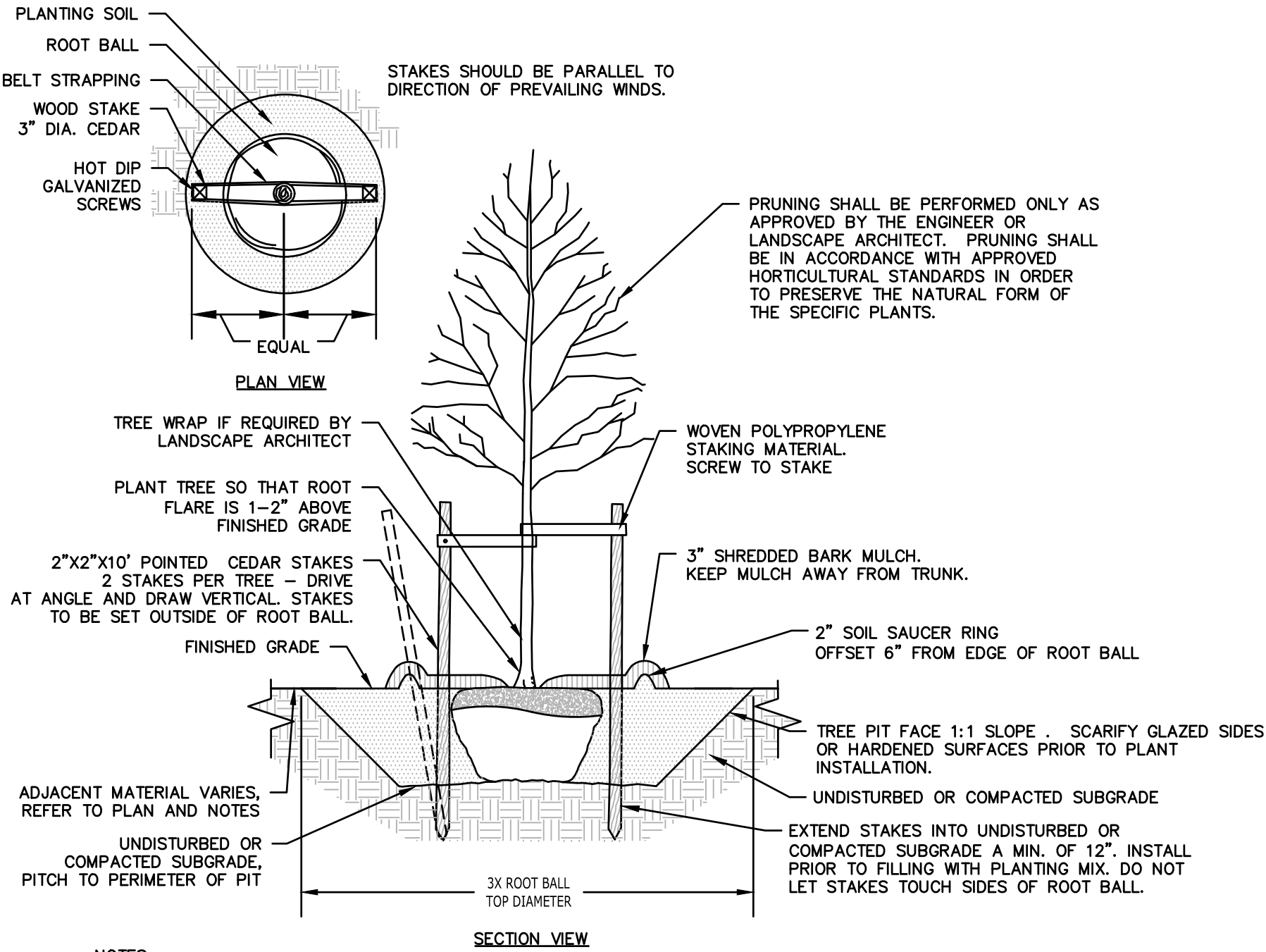


NOTES:

1. STAKING FOR TREES ON 4:1 SLOPES OR LESS TO BE PERFORMED AT CONTRACTOR'S DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ABORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESICCANT, COMPLETELY REMOVE IT FROM ROOT BALL.

EVERGREEN TREE PLANTING

N.T.S



NOTES:

1. STAKING FOR TREES ON 4:1 SLOPES OR LESS THAN 3" CALIPER TO BE PERFORMED AT CONTRACTORS DISCRETION.
2. WOVEN POLYPROPYLENE STAKING MATERIAL SHALL BE DEEPROOT ABORTIE (GREEN) OR APPROVED EQUIVALENT. MATERIAL SHALL BE LOOPED AROUND TREE THROUGH EACH OTHER, TWISTED, AND SECURED TO THE STAKE. INSTALL SPECIFIED MATERIAL IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS.
3. BEFORE IN HOLE, REMOVE BOTTOM OF CAGE. ONCE IN HOLE, REMOVE REST OF CAGE FROM ROOT BALL. REMOVE TWINE AND BURLAP FROM TOP 1/3 OF ROOT BALL - SCORE REMAINING 2/3 OF BURLAP. IF BURLAP IS SYNTHETIC OR HAS BEEN TREATED WITH ANTI-DESICCANT, COMPLETELY REMOVE IT FROM ROOT BALL.

DECIDUOUS TREE PLANTING

N.T.S

REVISIONS	Disc.	RESPONSE TO TOWN COMMENTS
No.	Date	
1	7/9/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	10/26/2025	RESPONSE TO TOWN COMMENTS
4	12/3/2025	RESPONSE TO TOWN COMMENTS
5	12/8/2025	REVISED PER TOWN ENGINEER COMMENTS

Designed	N.Y.Y.
Drawn	N.Y.Y.
Reviewed	J.C.W.
Scale	NONE
Project No.	2302699
Date	2/10/2025

CAD File:
C2302699-50

Title:
LANDSCAPE NOTES
AND DETAILS

Sheet No.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Landscaping	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Off-Site Spill	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Paved	+	0.0 fc	3.4 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	QTY	Description	Number Lamps	Lumens per Lamp	LLF Wattage
	A	3	KONLITE KWPT LED WALL PACK LIGHT - 63W/8,850 LUMENS	1	8300	1 63.4871

LIGHTING NOTES

THIS LIGHTING EXHIBIT IS AN ESTIMATE OF THE EXISTING LIGHTING EQUIPMENT AND ON-SITE LIGHT LEVELS. THIS EXHIBIT SHALL BE CONSIDERED AN ESTIMATE ONLY. NO NEW LIGHTING IS PROPOSED AS PART OF THIS PROJECT AND THE EXISTING LIGHTING IS TO REMAIN AS IS.

REVISIONS		Desc.
No.	Date	RESPONSE TO TOWN COMMENTS
1	7/2/2025	RESPONSE TO TOWN COMMENTS
2	8/8/2025	RESPONSE TO TOWN COMMENTS
3	10/26/2025	RESPONSE TO TOWN COMMENTS
4	12/3/2025	RESPONSE TO TOWN ENGINEERING COMMENTS
5	12/8/2025	REVISED PER TOWN COMMENTS

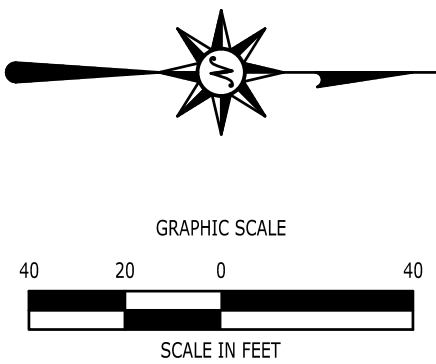
Designed	J.N.B.
Drawn	J.N.B.
Reviewed	R.M.R.
Scale	1"=40'
Project No.	2302699
Date	2/10/2025

CAD File:
C2302699-60

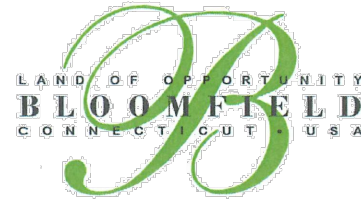
Title
EXISTING LIGHTING
EXHIBIT

Sheet No.

C6.00



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION



Burns Construction Company, Inc.
300 Sperry Avenue
Stratford, CT 06615

RE: **Approval of Wetlands Permit Application for 5, 7 & 9 Northwood Drive and 9 West Dudley Town Road, Unique ID's 5085, 5084, 5086 and 5087**

Wetlands File #75-2025-14

Dear Sir or Madame,

Please be advised that at their July 21, 2025 regular meeting the Inland Wetlands and Watercourses Commission voted to approve the above referenced application subject to the attached list of **twenty-six (26)** conditions.

These conditions must be incorporated into revised site plans, and otherwise complied with, before the Wetlands Permit will be issued. Any conditions of approval from the Town Plan and Zoning Commission must also be incorporated into one final set of plans. Please have your engineer or surveyor make the appropriate changes and submit one set of plans for review.

When the final plans are approved by Staff three stamped and sealed sets, on 24" x 36" sized sheets must be submitted, along with any required fixed-lined mylars, for signing by the Commission. One paper set will be returned with your Wetland Permit. Additional final sets may be submitted if you want more than one set returned to you.

The filing fee must be submitted with the mylars and when they are signed they will be filed for you on the Land Records at the Town Clerks Office. The present filing fees for maps is \$20.00 per sheet.

If you have any questions, please contact the Wetlands Agent, David Peter Castaldi, at 860-769-3526 or by e-mail at pcastaldi@bloomfieldct.gov.

Sincerely,

Alan Budkofsky
Alan Budkofsky, Chairman
Inland Wetlands and Watercourses Commission
AB/dpc

Attachment – conditions of approval



July 22, 2025

At their July 21, 2025 meeting the Wetlands Commission approved the application of Burns Construction, Inc. for a Wetlands Permit at 5, 7 and 9 Northwood Drive and 9 West Dudley Town Road, based on the site plans prepared by BL Companies, at 1" = 30' scale, dated 2/10/2025 and revised to 7/3/2025, the supporting documentation submitted for this application and the applicant's presentations and subject to the following conditions of approval:

Conditions to be complied with prior to the issuance of the Wetlands Permit:

1. Final plans, revised for compliance with the final conditions of approval, and all technical review revisions, shall be submitted for review within 60 days of the Wetlands Commission approval, or within 60 days of the date of the Town Plan and Zoning Commission approval, whichever is later, and are subject to the approval of the Wetlands Agent. The final conditions of approval shall be added to the plans verbatim.
2. Three paper copies of the final plan set, signed and sealed, shall be submitted for signing by the Wetlands Commission. Mylar copies of certain plan sheets shall also be submitted, on 24" x 36" sheets, for signing and filing on the Land Records. The filing fee shall be submitted with the mylars. Final plans shall also be submitted in digital format compatible with the Town GIS.
3. The two Soil Erosion and Sediment Control signature blocks from Section 8.8 and 8.9 of the Wetlands Regulations shall be added to the plans and signed by the preparer of the plans and the permittee.

Conditions to be complied with prior to the start of any construction activities including tree clearing:

4. In accordance with Section 11.22 of the Wetlands Regulations the permittee shall file a copy of the Wetlands Permit, including these conditions of approval, on the Town of Bloomfield Land Records.
5. In accordance with Sections 11.9 and 13 of the Wetlands Regulations the permittee shall post a bond, separate from the developmental bond, for the duration of the project, in the amount of **\$5,000** per acre of development or portion thereof. This bond shall be posted prior to any site disturbance, including tree clearing, to correct or prevent impacts to on-site and off-site wetlands or watercourses and to guarantee that soil erosion and sediment control measures are properly installed and maintained; that disturbed areas are stabilized; that all conditions of approval are complied with; and that mitigation areas, landscaping and other site work are completed. This project includes 3.92 acres of disturbance and a **\$20,000** bond shall be posted. The form of the bond shall be either a certified check or a letter of credit.
6. The permittee shall schedule a preconstruction meeting with the Wetlands Agent, developer general contractor, site work contractor and utility companies prior to the start of any construction activities.
7. The permittee shall notify the Wetlands Agent prior to clearing of any existing vegetation to schedule an inspection of the limits of clearing and to identify any trees

to be saved and protected. All specimen trees located in or adjacent to the proposed development and a general clearing line shall be flagged. Trees identified to be saved shall be protected from damage due to construction equipment. Tree protection measures shall be maintained for the duration of the project.

8. All construction phase soil erosion and sediment control measures shall be installed prior to the start of any earthwork including tree stump removal or topsoil stripping, and maintained for the duration of the construction activities on the project.

Conditions to be complied with prior to the approval of a final Certificate of Occupancy or Completion:

9. An as-built site improvement and grading plan, prepared by a licensed Land Surveyor, shall be submitted after all site work has been completed and is subject to the approval of the Wetlands Agent. The as-built plan shall contain a certification by a Professional Engineer that they have inspected the site improvements and that they have been installed in accordance with the approved plans. Any deviations or omissions must be noted.
10. The permittee shall schedule an inspection of the completed project with the Wetlands Agent, at least two weeks prior to the anticipated date of the final Certificate of Occupancy approval to review all parts of the project covered by the Wetlands Permit.
11. Permanent markers shall be installed to delineate the limits of the approved outside storage area.

General Conditions to be complied with during and after site development:

12. This permit authorizes certain regulated activities within **wetlands**. The direct impact to wetlands shall be no greater than **200 square feet (0.005 acres)** No direct impacts to watercourses are included in this permit.
13. This permit authorizes certain regulated activities within the **Upland Review Areas**, 100 feet from wetlands and 200 feet from watercourses. The impacts to the Upland Review Areas shall be no greater than **1.54 acres**. Mitigation for these impacts shall be provided with the planting of trees and shrubs at the limits of clearing and as otherwise specified on the final plans.
14. This permit authorizes certain regulated activities within the wetlands and watercourse **Vegetated Buffer Zones**. The impacts to the Vegetated Buffer Zones shall be no greater than **0.5 acres**. Mitigation for impacts to the Vegetated Buffer Zones 50 feet from wetlands and 75 feet from watercourses shall be provided with an equal area of enhanced or new buffer vegetation at the limit of clearing at wetland restoration areas and as otherwise specified on the final plans. New or enhanced wetland vegetated buffers are part of the total mitigation for impacts to the established Upland Review Areas.

7. Mylar copies of certain plan sheets shall also be submitted, on 24" x 36" sheets, for signing and filing on the Land Records.

Conditions which must be met prior to the Issuance of a Certificate of Compliance:

8. No Certificate of Compliance or other final approval shall be issued until the Zoning Enforcement Officer has signed off on the final work. When minor site work cannot be completed because of weather or other pertinent reasons, a conditional approval may be issued for a period not to exceed 180 days, providing satisfactory surety shall be posted with the Town of Bloomfield in an amount sufficient to complete the site work and with surety acceptable to the Building and Land Use Director.
9. All traffic safety signs and markings shall be in place.
10. Complete as-built plans shall be submitted prior to the issuance of any certificates of zoning compliance. The as-built plan shall also contain a certification by a Professional Engineer that they have inspected the site improvements and that they have been installed in accordance with the approved plans. Any deviations or omissions must be noted.

General Conditions:

11. The conditions of this approval shall be binding on the applicant, land owners, and their successors and assigns.
12. This approval is also subject to Conditions of Approval from the Inland Wetlands and Watercourses Commission.
13. All pertinent construction shall conform to all applicable Town of Bloomfield standard specifications and details.
14. This approval is for the specific use and structures identified in the application. Any significant change in the nature of the use or the structure will require new approvals from the Bloomfield Town Plan and Zoning Commission.
15. This project shall be constructed and maintained in accordance with the referenced plans and representations made for the record. Minor modifications to the approved plans may be allowed in accordance with the regulations, subject to staff review and approval.
16. All work associated with the construction of facilities as approved must be completed by August 28, 2030 or this approval shall be rendered null and void, unless an extension is granted by the Commission.
17. By acceptance of this permit and conditions, the applicant and owner acknowledge the right of Town staff to periodically enter upon the subject property for the purpose of determining compliance with the terms of this approval.

If you have any questions please call me at 860-769-3515.

Very truly yours,

Byron Lester
Byron Lester
Chair of Town Plan and Zoning Commission

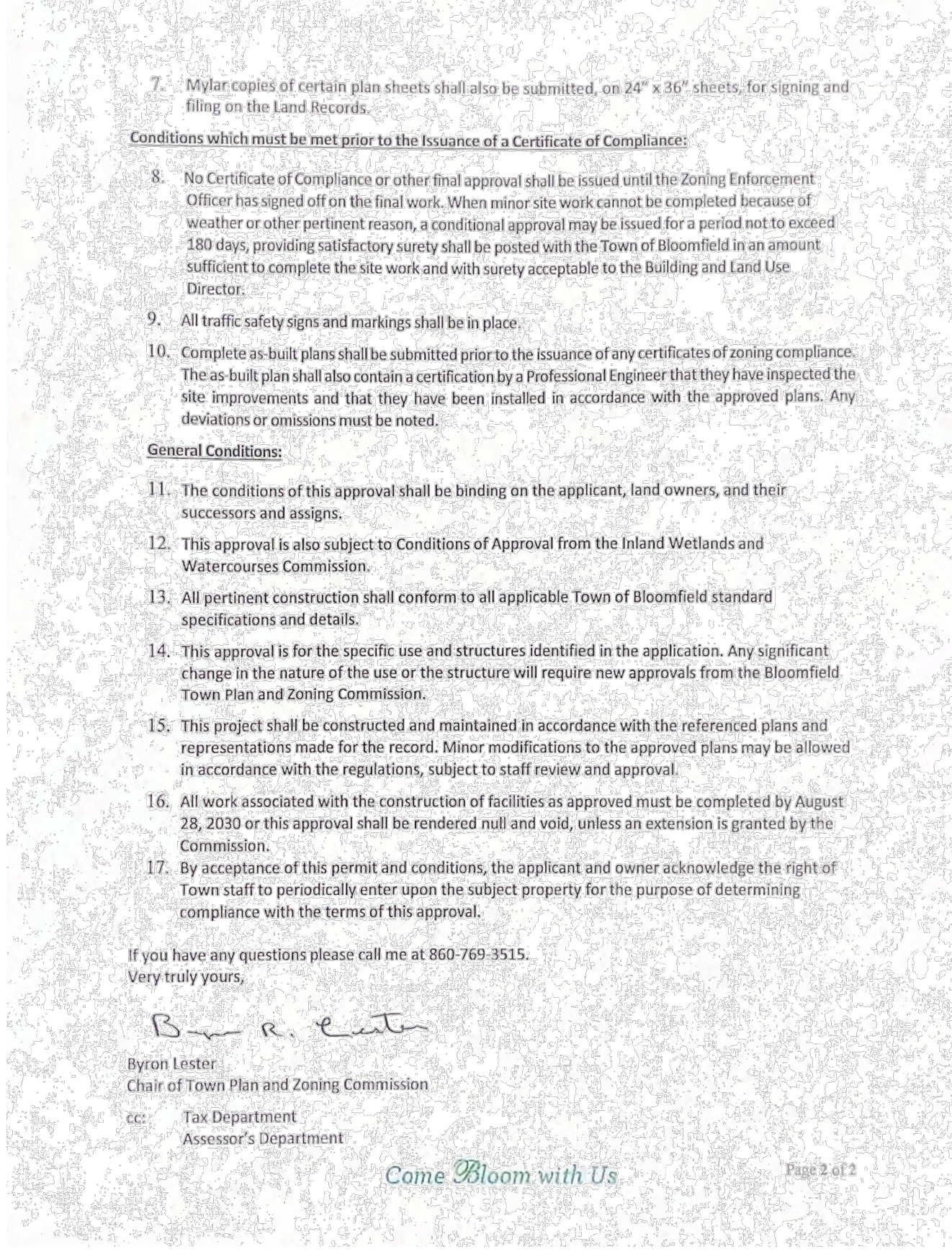
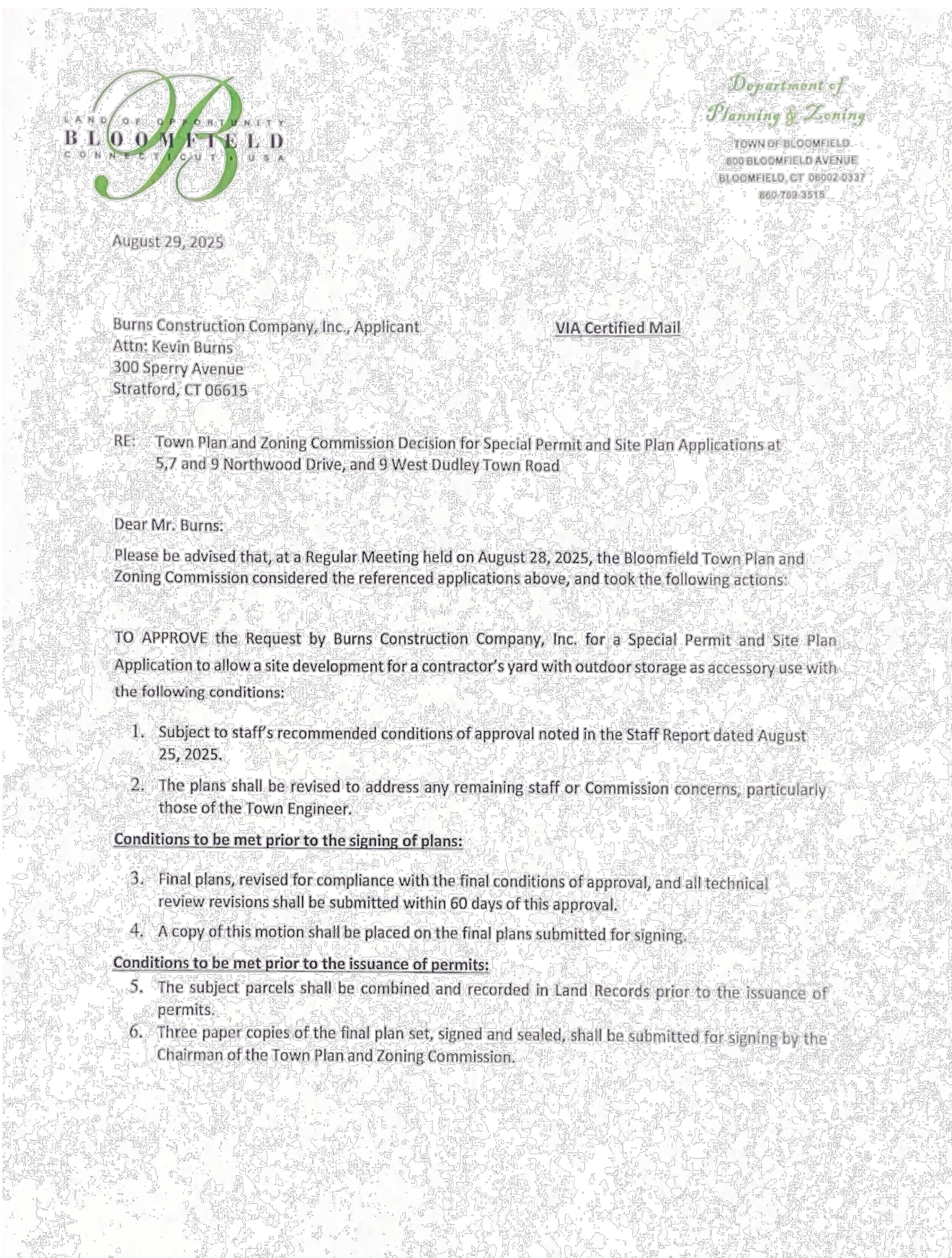
cc: Tax Department
Assessor's Department

Come Bloom with Us

Page 2 of 2

15. All areas of encroachment, over which the permittee has control, onto abutting properties and into wetlands shall be removed and restored with the removal of encroaching material to the level of the existing organic material and seeding to establish permanent ground cover with a conservation/wetlands seed mix and planted with trees and shrubs. Areas without existing organic layer shall be supplemented with a minimum six-inch layer of organic topsoil before seeding. Any missing or disturbed wetland flags shall be reset in the field.
16. The mitigation and buffer plantings shall be shown on the final plans. A Landscape Architect's Plan shall identify the number, size and species of plantings and shall be coordinated with the Wetlands Agent.
17. This Permit will expire on the same date as the expiration of the Town Plan and Zoning Commission approval, or ten years after the Wetlands Commission approval, whichever is sooner.
18. Stormwater management basins, and their outfalls, shall be constructed and fully stabilized during the first construction season and before any other site improvements are constructed, and clearly indicated in the Construction Sequence.
19. In accordance with Section 11.13 of the Wetlands Regulations, the permittee shall engage and pay for an independent third-party consultant, soil scientist, civil engineer, biologist, wetlands scientist, or other professional, acceptable to the Commission or Agent, to report on the progress of the project, and the results of any monitoring and/or inspections as required by the Commission and to provide periodic reports to the Commission regarding sensitive issues such as soil stabilization, siltation or other contamination or pollution of wetlands and watercourses, or the impacts of development or its operation upon completion. Said professional shall, during all phases of construction, perform soil erosion and sediment control measure inspections, and prepare and submit written reports, on forms provided by or approved by the Wetlands Agent, on the status of these measures on a weekly basis and within 48 hours of the end of a rain event of one half inch or more in a 24-hour period. Reports shall be submitted to the permittee and the site contractor, and submitted in writing to the Wetlands Agent, at 800 Bloomfield Avenue, Bloomfield, CT 06002, or by e-mail.
20. Any areas disturbed for this project shall be restored to their previous existing condition, as much as possible, with the planting of trees, shrubs and/or groundcover, within two years of the date of approval, or within one year of the initial site disturbances, if the project is cancelled or delayed by the applicant. The plan set shall include a Contingency Replanting/Restoration Plan that identifies the areas to be replanted or restored and specifications for implementing the plan.
21. Annual Stormwater Quality/Maintenance reports shall be submitted to the Wetlands Agent, and shall include copies of the inspection reports, identification of any shortcomings or regular maintenance and documentation of the maintenance work completed.

22. A summary plan and schedule for post-construction stormwater management and erosion control, in accordance with the 2024 Connecticut Stormwater Quality Manual, shall be added to the plans.
23. In accordance with the Wetlands Regulations Section 11.6 the permit cannot be transferred from the permittee to another party without the approval of the Commission. This permit is to be assigned to the **applicant: Burns Construction, LLC**.
24. All trash and debris shall be removed from the wetlands and watercourses before any construction activities are commenced. The limits of this removal shall be coordinated with the Wetlands Agent.
25. The permittee shall notify the Commission in writing of a change in the ownership of the property for which a Permit was issued on the same day that the deed is filed on the Land Records; and of any changes to the ownership or directors of the corporation or company to whom the Permit was issued.
26. Any modifications to the regulated activities due to the approval or review of the project by the Town Plan and Zoning Commission, the Health District, the DEEP or other state agency, the ACOE or other federal agency shall be submitted to the Wetlands Commission for review.



FOR PERMITTING PURPOSES ONLY
NOT RELEASED FOR CONSTRUCTION

PROPOSED CONTRACTOR YARD
5, 7, 9 NORTHWOOD DRIVE & 9 WEST DUDLEY ROAD
BLOOMFIELD, CONNECTICUT 06002

Desc: RESPONSE TO TOWN COMMENTS
Date: 8/20/2025
No: 1
2
3
4
5
6
RESPONSE TO TOWN COMMENTS
RESPONSE TO TOWN COMMENTS
REVISIONS PER TOWN ENGINEER COMMENTS

Designed J.N.B.
Drawn J.N.B.
Reviewed R.M.R.
Scale 1"=40'
Project No. 2302699
Date 2/10/2025
CAD File: G2302699-00

Title
APPROVAL LETTERS

Sheet No.

C7.00